

SOUTH WEBER CITY COUNCIL AGENDA

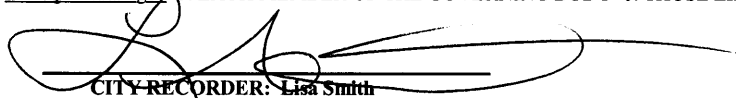
PUBLIC NOTICE is hereby given that the City Council of SOUTH WEBER CITY, Utah, will meet in a regular public meeting on Tuesday, 26 March 2019 at the City Council Chambers, 1600 E. South Weber Dr., commencing at 6:00 p.m.

COUNCIL MEETING

1. **Pledge of Allegiance:** Councilwoman Petty
2. **Prayer:** Councilman Winsor
3. **Approval of Consent Agenda**
 - a. Minutes 2019-03-12
 - b. Minutes 2019-03-19
4. **Public Comment:**
 - a. Please state your name and address
 - b. Please keep public comments to 3 minutes or less per person
 - c. Please address the entire city council
 - d. City council will not respond during the public comment period
5. **UTOPIA Presentation by Roger Timmerman, UTOPIA Executive Director**
6. **RES 19-13: Award of the Contract for the 2019 SR-60 Sidewalk Project**
7. **RES 19-14: Approval of Final Plat & Improvement Plans for Freedom Landing, Phase 3**
8. **New Business**
9. **Reports:**
 - a. Mayor
 - b. City Council
 - c. City Manager
10. **Adjourn public meeting and open CLOSED EXECUTIVE SESSION – UTAH CODE 52-4-205(1)(d): THE COUNCIL MAY CONSIDER A MOTION TO ENTER INTO CLOSED SESSION FOR THE PURPOSE OF STRATEGY SESSIONS TO DISCUSS THE PURCHASE, EXCHANGE, OR LEASE OF REAL PROPERTY.**

THE UNDERSIGNED DULY APPOINTED CITY RECORDER FOR THE MUNICIPALITY OF SOUTH WEBER CITY HEREBY CERTIFIES THAT A COPY OF THE FOREGOING NOTICE WAS MAILED, EMAILED, OR POSTED TO: 1. CITY OFFICE BUILDING 2. FAMILY ACTIVITY CENTER 3. CITY WEBSITE www.southwebercity.com 4. UTAH PUBLIC NOTICE WEBSITE www.pmn.utah.gov 5. EACH MEMBER OF THE GOVERNING BODY 6. THOSE LISTED ON THE AGENDA

DATE: March 21st, 2019


CITY RECORDER: Lisa Smith

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, INDIVIDUALS NEEDING SPECIAL ACCOMMODATIONS DURING THIS MEETING SHOULD NOTIFY THE CITY RECORDER, 1600 EAST SOUTH WEBER DRIVE, SOUTH WEBER, UTAH 84405 (801-479-3177) AT LEAST TWO DAYS PRIOR TO THE MEETING.

SOUTH WEBER CITY CITY COUNCIL MEETING

DATE OF MEETING: 12 March 2019

TIME COMMENCED: 6:02 p.m.

LOCATION: South Weber City Office at 1600 East South Weber Drive, South Weber, UT

PRESENT: MAYOR:

Jo Sjoblom

COUNCIL MEMBERS:

**Blair Halverson
Kent Hyer (excused)
Angie Petty
Merv Taylor
Wayne Winsor**

FINANCE DIRECTOR:

Mark McRae

CITY RECORDER:

Lisa Smith (excused)

CITY MANAGER:

David Larson

Transcriber: Minutes transcribed by Michelle Clark

ATTENDEES: Kelly Sparks, Derek Tolman and Farrell Poll.

Mayor Sjoblom called the meeting to order and welcomed those in attendance.

PLEDGE OF ALLEGIANCE: Councilman Winsor

PRAYER: Mayor Sjoblom

CONFLICT OF INTEREST: None

Sheriff Kelly Sparks, of Davis County Sheriff's Department, introduced himself. He said he has served as Sheriff for two months and looks forward to working with South Weber City. He has spent many hours in South Weber as a Deputy Sheriff. He was raised in East Layton and has family members living in South Weber.

CONSENT AGENDA:

- Approval of 2019 January Budget to Actual
- Approval of 2019 February Check Register
- Approval of 2019 February 12 City Council Meeting Minutes
- Approval of 2019 February 19 City Council Meeting Minutes

Councilman Taylor moved to approve the consent agenda. Councilwoman Petty seconded the motion. Mayor Sjoblom called for the vote. Council Members Halverson, Petty, Taylor and Winsor voted yes. The motion carried.

Councilman Winsor thanked the city staff for putting together the budget information.

PUBLIC COMMENTS: Mayor Sjoblom said anyone who would like to participate in public comment may come to the pulpit, state name and address, and keep comments to three minutes. There was no public comment.

ORDINANCE 19-07: Amendment to City Code

Mayor Sjoblom stated we recently had a review of our city code and ordinances passed since 2014. During this review several questions were asked concerning the actual wording and syntax of several ordinances. Doug Ahlstrom, our City Attorney, has reviewed these ordinances and created two ordinances (Ordinance 19-07 and 19-08) to make technical clarifications and corrections.

Councilman Winsor moved to approve Ordinance 19-07: Amendment to City Code. Councilman Halverson seconded the motion. Mayor Sjoblom called for the vote. Council Members Halverson, Petty, Taylor and Winsor voted yes. The motion carried.

ORDINANCE 19-08: Amendment to Zoning and Subdivision Codes

Councilman Winsor moved to Ordinance 19-08: Amendment to Zoning and Subdivision Codes. Councilman Halverson seconded the motion. Mayor Sjoblom called for the vote. Council Members Halverson, Petty, Taylor and Winsor voted yes. The motion carried.

ORDINANCE 19-09: Amusement and Recreation Conditional Use 10.5H.5

Mayor Sjoblom stated the Planning Commission held a public hearing on the issue of adding amusement and recreation activities on properties over one acre as a conditional use to Highway Commercial (C-H) zoning districts. Councilman Halverson felt this is a good addition to those zones. Councilwoman Petty appreciated the thought process into providing this option.

Councilman Halverson moved to approve Ordinance 19-09: Amusement and Recreation Conditional Use 10.5H.5. Councilman Taylor seconded the motion. Mayor Sjoblom called for the vote. Council Members Halverson, Petty, Taylor and Winsor voted yes. The motion carried.

RESOLUTION 19-08: Interlocal Cooperation Agreement for Municipal Election Services

Mayor Sjoblom stated that every two years municipal elections are held. 2019 is an election year. South Weber contracts with Davis County to provide the services necessary to hold our municipal election. This year's election will be the mail-in ballot form. Mail-in ballots have proven to be the most effective method to get maximum voter participation. The cost of each election is approximately \$8,000. Thus, if we hold both a Primary and a General election, the city's cost will be around \$16,000. It was asked if there is going to be a polling station. Mark McRae stated a polling station would be available for those with disabilities.

Councilwoman Petty moved to approve Resolution 19-08: Interlocal Cooperation Agreement for Municipal Election Services. Councilman Winsor seconded the motion. Mayor Sjoblom called for the vote. Council Members Halverson, Petty, Taylor and Winsor voted yes. The motion carried.

RESOLUTION 19-09: Interlocal Cooperation Agreement for Davis County Animal Control

Mayor Sjoblom stated South Weber City contracts with Davis County for Animal Control Services. The original agreement was signed in 2016 with amendments adjusting the fee for service adopted in 2017 & 2018. The adjusted fees for 2019 have been presented by Davis County in the form of Amendment #3.

The total fees for 2019 of \$19,380.93 is an increase of \$1,180.93 or 6.5%. Previous increases have been 23% in 2017 and 12% in 2018.

Councilman Winsor moved to approve Resolution 19-09: Interlocal Cooperation Agreement for Davis County Animal Control. Councilwoman Petty seconded the motion. Mayor Sjoblom called for the vote. Council Members Halverson, Petty, Taylor and Winsor voted yes. The motion carried.

Discussion of Civic Building

The old Civic Building located next to the Fire Station is in disrepair and needs a new roof \$8,000 and back doors of \$4,000. It is currently being used as storage for the Fire Department. There is an option to demolish it at approximately \$600 and get a shed. Councilman Winsor asked if the Civic Building is on the same lot at the Fire Station. Chief Tolman said they have separate addresses. Councilman Winsor asked about selling the property. Chief Tolman said the lot isn't very big. He said if the long-term plan is to get rid of it, then he would prefer to have a new shed. Councilman Halverson feels the demolition will cost more than \$600. It was stated it is used by the Country Fair Days Committee. Chief Tolman said they use the refrigerator and store some items during Country Fair Days, but he is willing to allow them to use the Fire Station. David Larsen researched and said the Civic Building and Fire Station are one parcel. Councilman Winsor said we need to discuss repurposing that lot if the building is to come down. Chief Tolman said we don't want to waste money by fixing it if the city is going to get rid of it eventually. David Larsen asked if there is any historical value to it, bricks that should be saved etc.

Councilman Halverson moved to demolish the South Weber Civic Building and allow the Fire Department and Public Works Department to look at options for the property. Also, before it is demolished city staff should salvage anything that should be historically preserved such as the bricks. Councilwoman Petty seconded the motion. Mayor Sjoblom called for the vote. Council Members Halverson, Petty, Taylor and Winsor voted yes. The motion carried.

NEW BUSINESS: None

REPORTS:

Mayor Sjoblom: She reported that the tax reform bill has been tabled. There is a possibility of a special session to revisit the bill during the summer. She also met with David Larsen and potential developers concerning the Ray Store located across from City Hall. The City is in the process of applying for a grant which could help move this project along.

Councilman Taylor: He said the Public Safety Committee met this afternoon to discuss Davis County Sheriff's Department.

Councilman Halverson: He explained the Planning Commission has been looking at an ordinance for short term rentals. Changes will be made to the ordinance and come before the City Council in the next few weeks. The Planning Commission will be meeting every fourth Thursday to work on amending the General Plan.

Councilwoman Petty: She informed the council the Parks and Recreation Committee met to discuss the budget.

Councilman Winsor: He reported the Mosquito Abatement District will be teaching the elementary school kids about mosquitos. He stated the street lighting has been discussed by the Municipal Utilities Committee. He said they also discussed the potential for a Public Works Building and establishing evaluation criteria. He said the bridge over the canal is under construction. The remediation of the tank is the next phase of that project for next year's budget.

Davis Larsen, City Manager: He thanked those committees who are currently working on the budget. He said a tentative budget will be adopted by May. He updated the council on the two-question survey. He said the city has not contacted the state concerning a liquor store. There were a total of 390 responses. 52.5% voted no on a liquor store. The responses concerning types of businesses included: small grocery store, food establishments, and a car wash.

Farrell Poll, 2316 E. 7800 S: He suggested the council use tact when discussing the Civic Building. He said there might be people who will question why the city wants to demolish it.

ADJOURNED: Councilman Taylor moved to adjourn the Council Meeting at 6:41 p.m. Councilman Halverson seconded the motion. Council Members Halverson, Petty, Taylor and Winsor voted yes. The motion carried.

APPROVED: _____ **Date:** _____

Mayor: Jo Sjoblom

Transcriber: Michelle Clark

Attest: City Recorder: Lisa Smith

SOUTH WEBER CITY CITY COUNCIL MEETING

DATE OF MEETING: 19 March 2019

TIME COMMENCED: 6:01 p.m.

LOCATION: South Weber City Office at 1600 East South Weber Drive, South Weber, UT

PRESENT: **MAYOR:**

Jo Sjoblom

COUNCIL MEMBERS:

**Blair Halverson
Kent Hyer (via phone)
Angie Petty
Merv Taylor
Wayne Winsor (absent)**

CITY MANAGER:

David Larson

CITY ENGINEERS:

Brandon Jones, Dana Shuler

CITY RECORDER:

Lisa Smith

Minutes by Lisa Smith

ATTENDEES: Tim Grubb, Henry DeVarona, Mark Burnett, Evan Burnett, and Farrell Poll

Mayor Sjoblom called the meeting to order and welcomed those in attendance.

APPROVAL OF ELECTRONIC MEETING:

Council Member Halverson moved to approve the electronic connection by phone of Councilman Hyer. Council Member Taylor seconded the motion. Mayor Sjoblom called for the vote. Council Members Halverson, Hyer, Petty, and Taylor voted aye. The motion carried.

PLEDGE OF ALLEGIANCE: Councilman Taylor

PRAYER: Councilman Halverson

CONFLICT OF INTEREST: None

PUBLIC COMMENTS: Mayor Sjoblom said anyone who would like to participate in public comment may come to the pulpit, state name and address, and keep comments to three minutes.

There were no public comments.

RESOLUTION 19-10: Award of Contract for the South Bench Drive Phase 1 Project

Mayor Sjoblom said ten bids were received and engineer Brandon Jones reviewed each bid and recommended Staker Parson Companies. Contract requires substantial completion by September 15, 2019 with no more than 120 days from start to finish.

Councilman Hyer asked if there are stipulations or penalties for missing the completion deadline. Brandon stated liquidated damages would be assessed if the road is not finished according to contract's time constraints. Councilman Taylor wondered what the city's portion of the amount would be. Brandon was not able to provide the exact amount as the City is still awaiting an answer from Davis County regarding possible financial assistance. Brandon explained that the City will pay Staker Parson and will be reimbursed from impact fees, capital improvements and other funds. Councilman Halverson asked if agreements with property owners have been finalized. Brandon was confident everything will be complete within two weeks. He further declared bids came in less than estimated and were competitive. Mayor Sjoblom inquired about the landscape boulder placement and was informed they will be placed in the island within the road and on the corner near the Little's home. It was also pointed out that the road will be one hundred feet farther away and the corner will be fully xeriscaped.

Council Member Taylor moved to approve Resolution 19-10: Award of Contract for the South Bench Drive Phase 1 Project. Council Member Petty seconded the motion. Mayor Sjoblom called for the vote. Council Members Halverson, Hyer, Petty, and Taylor voted aye. The motion carried.

PRESENTATION on Sewer System Update by Jones and Associates.

Mayor Sjoblom stated there have been multiple inquiries for development on the East Side of the City which has forced a review of our sewer system to audit actual flow levels and design options which would create greater flexibility for long term planning. Dana Shuler presented a power point presentation. She offered some viable options for consideration:

1. Make no changes to projected current land use and continue with currently planned projects without any overlays.
2. Create alternate flow routes which would not involve South Weber Drive in addition to the currently planned projects.
 - a. Saves money on UDOT excavation expenses
 - b. Serves the same purpose but would be less expensive
 - c. Creates more service to the east end of town
 - d. Would rely on development to pay for basic lines
 - e. Sewer would be located in the road which is a preferred placement
3. Request decrease in regulatory requirements from the State
 - a. Would require large amounts of data to show time, season, location and year variances (estimated time 3-5 years)

The City Engineers recommended continuing with current plans while considering alternative routes. They proposed buying five additional sewer meters which are around \$6,000 each noting they have a long life. The data collected would be useful for many purposes and the City could petition the state in the future for a variance. They suggested installing the sewer in South Bench Drive as it continues to be developed and review each proposed development on a case by case basis.

David Larson clarified that the city needs flexibility if the overall desire is further development. He also explained the alternate lines would create individual zones instead of having the entire city with a single trunk line. Councilman Taylor inquired if the phase 1 portion just approved would have to be torn up to accomplish this objective. Brandon stated the bid included the proposed sewer line. Councilwoman Petty wanted more financial information to decide if the alternate lines are a fiscally sound choice. Brandon explained that if the council is interested in pursuing the alternates, he would then compile estimates. The portion in South Weber Drive phase 1 is approximately \$100,000. The General Plan update would need to come first so the Engineers would have the information to calculate ERUs and compare to current conditions. David further stated that the cost for the optional lines is estimated to come in equal or less than the upsizing of the trunk line which was previously approved. The developers would be paying for the new line with the city paying only to upsize the pipes. The council advised staff to continue with the current bid and to review the utility budget for next fiscal year for the meters. The staff will also check into availability of state funds for the meters. The Planning Commission is already in process of amending the General Plan which will give a more solid basis for future Council decisions regarding development and planning.

NEW BUSINESS: None

REPORTS:

Mayor Sjoblom: She informed the Council that Central Weber Sewer Improvement District is in the preliminary stage of partnering with Weber Basin to purify waste water to be used for secondary purposes freeing more water for culinary use.

Council Member Taylor: He thanked the Public Works department for filling in several pot holes.

Council Member Halverson: He updated everyone on the last Planning Commission meeting. The commission reviewed the General Plan: There was a lengthy discussion on easements especially HAFB noise, crash, and pollution zones. Some of the easements are held by the State and not available through Davis County records. Staff was directed to create an easement map. Commissioner Taylor has access to information through his vocation that may aid the process. Freedom Landing, phase 3 final plat and improvement plan was recommended for approval and will be on the next City Council agenda. He also reminded Council that RAB meeting is scheduled for April 25th and he was advised the ULCT conference conflicts. He will have Commissioner Osborne attend. He inquired about the timing of sidewalk installation within a development. Brandon replied that the sidewalk must be installed within two years from the start of construction of the applicable phase.

City Manager, David Larson: He apprised Council that City Staff met with both Layton City Police and Davis County Sheriff's Office regarding contracts for police services. Staff will present the information to the Public Safety Committee next Tuesday at 4:30 p.m. Cottonwood Drive potholes have been filled. Due to the time of year it was a cold patch which is not as effective as the hot patch. Utah League of Cities and Towns is April 24- 26 so he questioned whether the Council would like to cancel the April 23rd meeting. He was directed to cancel it.

CLOSED EXECUTIVE SESSION—UTAH CODE 52-4-205(1)(D) DISCUSSION OF THE PURCHASE, EXCHANGE, OR LEASE OR REAL PROPERTY.

Council Member Halverson moved to close the public session and open a closed executive session. Council Member Taylor seconded the motion. Council Members Halverson, Petty, Taylor, and Winsor voted aye. The motion carried.

Closed Session Commenced at 7:04 pm.

In Attendance: Mayor Jo Sjoblom, Council Member Kent Hyer (via phone), Council Member Blair Halverson, Council Member Angie Petty, Council Member Merv Taylor, City Manager David Larson, and City Recorder Lisa Smith.

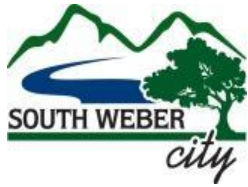
Council Member Taylor moved to adjourn the closed session at 7:16 p.m. Council Member Halverson seconded the motion. Council Members Halverson, Petty, Hyer and Taylor voted aye. The motion carried.

City Council meeting reconvened at 7:17 p.m. Councilman Hyer was excused at that time.

ADJOURNED: **Council Member Halverson moved to adjourn the Council Meeting at 7:17 p.m. Council Member Taylor seconded the motion. Council Members Halverson, Petty, and Taylor voted aye. The motion carried.**

APPROVED: _____ **Date** _____
Mayor: Jo Sjoblom

Attest: City Recorder: Lisa Smith



Council Meeting Date: March 26, 2019

Name: David Larson

Agenda Item: 5

Objective: UTOPIA Presentation by Roger Timmerman, UTOPIA Executive Director

Background: In City Council Meeting on January 8, 2019 the City Council directed City Manager David Larson to reach out to UTOPIA in an information gathering activity. David met with UTOPIA Executive Director Roger Timmerman on March 13, 2019, learned of the current service delivery model UTOPIA employs and has arranged for Roger to present before the entire City Council what our options might be for high speed internet in the City.

Summary: UTOPIA Presentation

Committee Recommendation: NA

Planning Commission Recommendation: NA

Staff Recommendation: NA

Attachments: NA

Budget Amendment: NA

SOUTH WEBER CITY RESOLUTION 19-13

AWARD OF CONTRACT FOR THE 2019 STATE ROAD 60 SIDEWALK PROJECT

WHEREAS, the City desires to provide the safest environment possible for its citizens and feels one way to accomplish that goal is installation of additional sidewalks; and

WHEREAS, the City applied for multiple grants through the Utah Department of Transportation (UDOT) to provide sidewalks along State Road 60; and

WHEREAS, UDOT granted South Weber City a 75-25% fund match through its Safe Sidewalk program for the Skyhaven Cove portion of the proposed project equaling \$228,750; and

WHEREAS, UDOT also granted South Weber City the amount of \$216,500 through its Transportation Alternatives Program (TAP); and

WHEREAS, notice of bid requirements and deadlines were published, accepted and opened per Utah code; and

WHEREAS, South Weber City's Engineer, Brandon Jones, reviewed the submitted bids as well as the qualifications of each contractor and based upon that information has recommended to the City to award the contract to Leon Poulsen Construction Co., Inc. with a bid of \$292,598.55; and

WHEREAS, the City Council thoroughly reviewed the bid proposals and the Engineer's recommendation and has elected to award the contract to Leon Poulsen Construction Co., Inc.;

NOW THEREFORE BE IT RESOLVED by the Council of South Weber City, Davis County, State of Utah, as follows:

SECTION 1: The contract for the 2019 sidewalk construction project on State Road 60 is awarded to Leon Poulsen Construction Co., Inc.

PASSED AND APPROVED by the South Weber City Council this 26th day of March 2019.

REPEALER CLAUSE: All ordinances or resolutions or parts thereof, which are in conflict herewith, are hereby repealed.

	Aye	Nay
Blair Halverson	_____	_____
Kent Hyer	_____	_____
Angie Petty	_____	_____
Merv Taylor	_____	_____
Wayne Winsor	_____	_____

Jo Sjoblom, Mayor

Attest: Lisa Smith, Recorder

BID TABULATION

South Weber City 2019 SR-60 Sidewalk Projects

Bid Opening: March 19, 2019 @ 2:00 pm, Jones & Associates

Item	Description	Qty	Unit	ENGINEER'S ESTIMATE		Leon Poulsen Construction Co., Inc		Morgan Asphalt		Triple J Concrete LLC	
				Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total
1	Work and materials necessary to comply with UPDES storm water	1	LS	\$ 3,000.00	\$ 3,000.00	\$ 855.00	\$ 855.00	\$ 4,300.00	\$ 4,300.00	\$ 10,000.00	\$ 10,000.00
2	Provide traffic control	1	LS	\$ 5,000.00	\$ 5,000.00	\$ 12,775.00	\$ 12,775.00	\$ 3,700.00	\$ 3,700.00	\$ 22,332.00	\$ 22,332.00
<i>Subtotal General</i>					\$8,000.00		\$13,630.00		\$8,000.00		\$32,332.00
Sky Haven Cove to 1200 East											
3	Remove and dispose of vegetation and other debris.	4,300	sf	\$ 0.50	\$ 2,150.00	2.25	9,675.00	1.02	4,386.00	1.00	4,300.00
4	Remove existing curb and gutter	122	lf	\$ 12.00	\$ 1,464.00	3.90	475.80	7.45	908.90	5.00	610.00
5	Remove existing driveway approach	3,400	sf	\$ 3.00	\$ 10,200.00	1.45	4,930.00	1.17	3,978.00	1.00	3,400.00
6	Remove existing sidewalk	190	sf	\$ 5.00	\$ 950.00	1.25	237.50	4.27	811.30	1.00	190.00
7	Relocate existing water meter valves to back of sidewalk.	3	ea	\$ 1,300.00	\$ 3,900.00	755.00	2,265.00	760.00	2,280.00	1,300.00	3,900.00
8	Relocated existing fence	110	lf	\$ 18.00	\$ 1,980.00	15.80	1,738.00	30.75	3,382.50	15.00	1,650.00
9	Relocate existing sign	1	ea	\$ 200.00	\$ 200.00	370.00	370.00	435.00	435.00	400.00	400.00
10	Relocate existing mailbox	2	ea	\$ 300.00	\$ 600.00	170.00	340.00	435.00	870.00	400.00	800.00
11	Remove and dispose existing tree.	4	ea	\$ 750.00	\$ 3,000.00	1,565.00	6,260.00	700.00	2,800.00	2,000.00	8,000.00
12	Furnish and install 2" PVC (5' length) conduit under new sidewalk	9	ea	\$ 60.00	\$ 540.00	26.00	234.00	71.00	639.00	25.00	225.00
13	Furnish and install 5' wide concrete sidewalk.	833	lf	\$ 20.00	\$ 16,660.00	30.50	25,406.50	38.50	32,070.50	32.50	27,072.50
14	Furnish and install 4' wide concrete sidewalk.	50	lf	\$ 25.00	\$ 1,250.00	28.00	1,400.00	44.25	2,212.50	26.00	1,300.00
15	Furnish and install 4' to 5' wide concrete sidewalk transition.	22	lf	\$ 35.00	\$ 770.00	30.50	671.00	62.25	1,369.50	32.50	715.00
16	Furnish and install UDOT ADA compliant pedestrian access ramp.	1	ea	\$ 2,500.00	\$ 2,500.00	1,990.00	1,990.00	2,050.00	2,050.00	2,000.00	2,000.00
17	Furnish and install driveway approach.	2,650	sf	\$ 7.50	\$ 19,875.00	6.85	18,152.50	8.25	21,862.50	7.50	19,875.00
18	Furnish and install new curb and gutter	755	lf	\$ 25.00	\$ 18,875.00	26.75	20,196.25	31.50	23,782.50	32.00	24,160.00
19	Furnish and install granular borrow (12" thick)	245	ton	\$ 25.00	\$ 6,125.00	28.25	6,921.25	44.00	10,780.00	20.00	4,900.00
20	Furnish and install road base (7" thick)	76	cy	\$ 40.00	\$ 3,040.00	77.00	5,852.00	68.00	5,168.00	33.50	2,546.00
21	Furnish and install asphalt (7" thick)	158	ton	\$ 115.00	\$ 18,170.00	137.35	21,701.30	122.00	19,276.00	140.00	22,120.00
22	Furnish and install parkstrip	780	sf	\$ 5.00	\$ 3,900.00	3.75	2,925.00	4.30	3,354.00	3.00	2,340.00
<i>Subtotal Sky Haven Cove to 1200 East</i>					\$116,149.00		\$131,741.10		\$142,416.20		\$130,503.50

				ENGINEER'S ESTIMATE		Leon Poulsen Construction Co., Inc		Morgan Asphalt		Triple J Concrete LLC	
Item	Description	Qty	Unit	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total
500 East to 600 East											
23	Remove and dispose of vegetation and other debris.	4,700	sf	\$ 0.50	\$ 2,350.00	2.25	10,575.00	1.10	5,170.00	1.00	4,700.00
24	Remove existing driveway approach	4,900	sf	\$ 3.00	\$ 14,700.00	1.45	7,105.00	1.21	5,929.00	1.00	4,900.00
25	Remove and dispose existing tree.	4	ea	\$ 750.00	\$ 3,000.00	1,565.00	6,260.00	595.00	2,380.00	2,000.00	8,000.00
26	Relocate existing water meter valves to back of sidewalk.	4	ea	\$ 1,300.00	\$ 5,200.00	755.00	3,020.00	760.00	3,040.00	1,300.00	5,200.00
27	Relocated existing fence	135	lf	\$ 18.00	\$ 2,430.00	15.80	2,133.00	30.75	4,151.25	15.00	2,025.00
28	Furnish and install 1'-3' retaining wall	280	lf	\$ 100.00	\$ 28,000.00	70.25	19,670.00	86.00	24,080.00	60.00	16,800.00
29	Furnish and install 4' wide concrete sidewalk.	123	lf	\$ 20.00	\$ 2,460.00	21.75	2,675.25	33.50	4,120.50	26.00	3,198.00
30	Furnish and install 5' wide concrete sidewalk.	151	lf	\$ 25.00	\$ 3,775.00	30.50	4,605.50	40.25	6,077.75	32.50	4,907.50
31	Furnish and install 6' wide concrete sidewalk.	424	lf	\$ 30.00	\$ 12,720.00	35.85	15,200.40	40.25	17,066.00	39.00	16,536.00
32	Furnish and install driveway approach.	4,200	sf	\$ 7.50	\$ 31,500.00	6.85	28,770.00	7.50	31,500.00	7.50	31,500.00
33	Furnish and install new curb and gutter	705	lf	\$ 25.00	\$ 17,625.00	26.75	18,858.75	30.50	21,502.50	32.00	22,560.00
34	Furnish and install granular borrow (12" thick)	196	ton	\$ 25.00	\$ 4,900.00	28.25	5,537.00	44.50	8,722.00	20.00	3,920.00
35	Furnish and install road base (6"thick)	61	cy	\$ 40.00	\$ 2,440.00	88.10	5,374.10	79.00	4,819.00	33.50	2,043.50
36	Furnish and install asphalt (6" thick)	127	ton	\$ 115.00	\$ 14,605.00	137.35	17,443.45	125.00	15,875.00	125.00	15,875.00
Subtotal 500 East to 600 East				\$145,705.00		\$147,227.45		\$154,433.00		\$142,165.00	
TOTAL (Items 1-36)				\$269,854.00		\$292,598.55		\$304,849.20		\$305,000.50	


Project Engineer



Date 3/19/2019

MEMORANDUM

TO: South Weber City Mayor and City Council

FROM: Brandon K. Jones, P.E.
South Weber City Engineer 

CC: David Larson – South Weber City Manager
Mark Larsen – South Weber City Public Works Director

RE: 2019 SR-60 SIDEWALK PROJECT

Date: March 21, 2019

On March 19, 2019 at 2:00 pm., bids were opened for the 2019 SR-60 SIDEWALK PROJECT. Three bids were received. The results of the bidding are shown on the enclosed Summary of Proposals Received. We have checked the bids and found one minor error, which did not change the position of any of the bidders.

We have reviewed all bids and recommend that the City Council award the contract for the Project to **LEON POULSEN CONSTRUCTION CO. INC.**, based upon their experience in doing similar work and their low bid of **\$292,598.55** (see attached Summary of Proposals Received).

If the Council agrees with this recommendation, please pass a motion accepting the bid and awarding the Project to LEON POULSEN CONSTRUCTION CO. INC. with their bid of \$292,598.55. Please sign the Contract Agreements and the Notices of Award and return them to our office. We will deliver the documents to the contractors for their signatures. In addition to the signed Notices of Award and Contract Agreements, the Contractors are also responsible to submit the following within 10 days:

1. Performance Bond
2. Payment Bond
3. Insurance Certificates

When these documents have been received, we will schedule a Preconstruction Conference. At this conference we will issue a Notice to Proceed and discuss the construction details with the contractor prior to beginning the work. The substantial completion date for this project is June 30, 2019. However, due to the mill and overlay project that UDOT is doing on South Weber Drive, the curb, gutter and asphalt portion of the project must be completed by May 15, 2019.

RESOLUTION 19-14

RESOLUTION OF THE SOUTH WEBER CITY COUNCIL APPROVING THE FINAL PLAT AND IMPROVEMENT PLANS FOR FREEDOM LANDING SUBDIVISION, PHASE 3

WHEREAS, an application for subdividing 3.87 acres at approximately 6500 S 425 E into 34 building lots was offered by Aspire Homes; and

WHEREAS, both the City Planner and the City Engineer have analyzed all forms presented and found all conditions of City Code met and relayed their findings to the Planning Commission; and

WHEREAS, The South Weber City Planning Commission held a public hearing for the entire subdivision on the 13th day of July 2017; and

WHEREAS, the Planning Commission reviewed all the supporting documents of phase 3 in an open public meeting on the 14th day of March 2019 and gave a favorable recommendation for approval by the City Council at the same hearing; and

WHEREAS, the City Council verified all reviews and recommendations in a public meeting on the 26th day of March 2019 and after thorough consideration approved the plat and plans as presented;

NOW THEREFORE BE IT RESOLVED by the Council of South Weber City, Davis County, State of Utah, as follows:

SECTION 1: The final plat and improvement plans of Freedom Landing subdivision, phase 3 are hereby approved.

PASSED AND APPROVED by the South Weber City Council this 26th day of March 2019.

REPEALER CLAUSE: All ordinances or resolutions or parts thereof, which are in conflict herewith, are hereby repealed.

	Aye	Nay
Blair Halverson	_____	_____
Kent Hyer	_____	_____
Angie Petty	_____	_____
Merv Taylor	_____	_____
Wayne Winsor	_____	_____

Jo Sjoblom, Mayor

Attest: Lisa Smith, Recorder

Action on Freedom Landing Phase 3 Improvement Plans and Final Plat (34 lots) 8.78 acres located at approximately 6500 S 425 E by applicant Aspire Homes.

Commissioner Johnson felt we should recommend changing vinyl fencing to masonry fencing. Commissioners Grub, Pitts, Walton and Osborne were OK with vinyl fencing. Commissioner Osborne would like a Masonry Fencing option but didn't feel OK changing the requirement when earlier phases were approved with vinyl fencing.

Brandon Jones brought up parking and stated there is not much guest parking but feels they met the requirement already. Commissioner Grub stated that 13 guest stalls without the parking Brandon is recommending is more than previous phases and 20' driveways are enough for 2 cars to park. Brandon spoke about the roads being only 28 feet from face of curb to face of curb. The City does have a no parking requirement on the roads in the subdivision.

The City will receive a 15' Easement and the HOA will maintain all surfaces not owned by the City.

Commissioner Walton asked where snow will be piled and if Private Street B is where the City will be pushing snow into the side of the street. Brandon stated he is not sure how they will handle snow removal but stated it would be taken care of.

Barry Burton's memo of 6 March 2019 is as follows:

General Information: This is a 34-unit phase that conforms to the approved Preliminary Plat. This phase ties Phases 1 & 2 together with a private street creating two access points and meeting the 30 unit maximum with a single access requirement. Open space requirements have been met and the landscape plans appear to be adequate. There is no buffer yard requirement.

The improvement plans indicate the existence of the trail that was started in Phase 2 and is the extension of the I-84 frontage trail, but it is not indicated as an easement. There will need to be an easement to the City for public use on the trail.

Plat: The plat appears to be in order with two exceptions. The trail designate col cl on should state that it is an easement and the owner's dedication should also reflect that the trail is an easement to the City for public use.

STAFF RECOMMENDATION: I recommend the Planning Commission forward this proposal to the City Council with a recommendation of approval subject to:

1. Showing a public use easement for the trail on the plat.

These things should all be done and verified by staff prior to presenting the proposal to the City Council.

Brandon Jones, City Engineer, memo of 6 March 2019 is as follows:

Our office has completed a review of the Final Plat and Improvement Plans for the Freedom Landing Townhomes Phase 3, received on February 11, 2019. We recommend approval, subject to the following items being addressed prior to final approval from City Council.

GENERAL

1. An approval letter needs to be provided from South Weber Irrigation Company for this final phase.

PLAT

2. The address for Unit #59 needs to be 6491 S. (instead of 6497 S.).

3. The following Easement Approval blocks need to be included: PacifiCorp, Central Weber Sewer District, Weber Basin Water Conservancy District, and Riverdale Bench Canal Company.
4. The trail easement needs to be 15' wide, and match Phase 2.
5. Even though they overlap, the easements for Central Weber Sewer District, Weber Basin Water Conservancy District, and Riverdale Bench Canal Company need to be clearly shown and dimensioned.
6. The streets need to be labeled as "Private."

IMPROVEMENT PLANS

7. The 10' wide asphalt trail needs to show as being constructed with this phase. A cross section of the proposed trail improvements also needs to be provided to match Phase 2.
8. There is space for additional visitor parking stalls between the 8 proposed stalls on the south side of the road across the street from units 77 – 80. We would recommend that this space be filled in with additional parking stalls.
9. The sidewalk at the northwest end of the street should show a connection to the trail.
10. The buffer yard landscaping is no longer required.

Commissioner Grubb moved to approve Freedom Landing Phase 3 Improvement Plans and Final Plat (34 Unit) 8.78 acres located at approximately 6500 S 425 E by applicant Aspire Homes subject to the following:

- 1. Barry Burton, City Planner's, memo of 6 March 2019.**
- 2. Brandon Jones, City Engineer's, memo of 6 March 2019 except the additional parking space**

Commissioner Walton seconded the motion. Commissioners Pitts and Osborne voted no. Commissioners Grubb, Johnson and Walton voted yes. The motion carried 3 to 2.

Freedom Landing Townhomes, Phase 3

PART OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 5 NORTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
CITY OF SOUTH WEBER, DAVIS COUNTY, UTAH
MARCH, 2019

NORTHEAST CORNER OF SECTION 20, TOWNSHIP 25 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, (FOUND BCM DATED 2004)

Legend

- = FOUND SECTION CORNER
- = SET 5/8" REBAR & PLASTIC CAP STAMPED "REEVE & ASSOCIATES"
- = BOUNDARY LINE
- = EXISTING FENCE
- = ADJOINING PROPERTY
- = EASEMENT LINE
- = OVER-HEAD POWER LINE
- = RIGHT-OF-WAY CENTERLINE
- = MONUMENT TIE LINE
- ▨ = PRIVATE UNITS
- ▨ = LIMITED COMMON AREA (DRIVEWAY)
- ▨ = COMMON AREA / OPEN SPACE
- ▨ = 30" POWERLINE EASEMENT
- ▨ = 15' TRAIL EASEMENT
- (WBWCD) = WEBER BASIN WATER CONSERVANCY DISTRICT
- (CWSD) = CENTRAL WEBER SEWER DISTRICT
- (RBCC) = RIVERDALE BENCH CANAL COMPANY



Vicinity Map
(NOT TO SCALE)

Rocky Mountain Power /PacifiCorp

PURSUANT TO UTAH CODE ANNEXATION 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.

PURSUANT TO UTAH CODE ANNEXATION 17-27A-603(4)(C)(I) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE P.U.E. AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN HAS UNDER (1) A RECORDED EASEMENT OR RIGHT-OF-WAY (2) THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS (3) TITLE 54, CHAPTER 8A, DAMAGE TO UNDERGROUND FACILITIES OR (4) ANY OTHER PROVISION OF LAW.

Notes

- ALL BUILDING TIES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- ALL AREA NOT SHOWN HEREON AS UNITS, PRIVATE/PUBLIC RIGHT-OF-WAY, OR LIMITED COMMON AREA IS TO BE CONSIDERED COMMON AREA/OPEN SPACE.
- NO STREET PARKING IS ALLOWED IN THIS SUBDIVISION.
- ALL UNITS ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- ALL DRIVEWAYS ARE CONSIDERED LIMITED COMMON AREA.
- ALL DRIVEWAYS ARE PERPENDICULAR TO UNITS UNLESS OTHERWISE NOTED.
- ALL COMMON AREA/OPEN SPACE AND PRIVATE ROAD ARE CONSIDERED P.U.E. AND IS TO BE MAINTAINED BY THE HOA. PRIVATE UNIT AREA - 33% (41,391 SQUARE FEET OR 0.95 ACRES) LIMITED COMMON AREA - 10% (12,103 SQUARE FEET OR 0.28 ACRES) COMMON AREA/OPEN SPACE - 56% (114,976 SQUARE FEET OR 2.64 ACRES)
- THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
- 10' ASPHALT TRAIL WAS MADE BY OTHERS AND WAS SHOWN FOR REFERENCE

Basis of Bearings

THE BASIS OF BEARINGS FOR THIS PLAT IS THE LINE BETWEEN THE SOUTHEAST CORNER AND THE NORTHEAST CORNER OF SECTION 20, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. SHOWN HEREON AS N00°24'04"W.

Narrative

THE PURPOSE OF THIS PLAT IS TO DIVIDE THE SUBJECT PROPERTY INTO UNITS, LIMITED COMMON AREA, COMMON AREA, AND PRIVATE STREETS. THE BOUNDARY WAS DETERMINED BY THE ADJACENT SUBDIVISIONS, RIGHT-OF-WAY LINES, AND ALSO BY DEED RECORDED IN THE OFFICE OF THE DAVIS COUNTY RECORDER USING THE MONUMENTS SHOWN HEREON. THE NORTH LINE WAS DETERMINED BY THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE-84 AS SHOWN AS MONUMENTED NORTHWEST OF THE SUBDIVISION. THE EAST LINE WAS DETERMINED BY THE SOUTHERLY LINES WERE DETERMINED BY THE PHASE LINES OF FREEDOM LANDING TOWNHOMES PHASES 1 AND 2. THE WESTERLY LINES WERE DETERMINED BY RETRACING AND MATCHING THE EASTERLY LINES OF OLD MAPLE FARMS PHASE 3. ALL BOUNDARY CORNERS WERE SET WITH A 5/8" REBAR AND PLASTIC CAP STAMPED "REEVE & ASSOCIATES".

Boundary Description

PART OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE-84, SAID POINT LIES N00°24'04"W ALONG THE LINE BETWEEN THE SOUTHEAST CORNER AND THE NORTHEAST CORNER OF SAID SECTION 20, 748.51 FEET AND S89°35'56"W 406.30 FEET FROM THE SOUTHEAST CORNER OF SAID SECTION 20; AND RUNNING THENCE S01°11'30"W 127.65 FEET TO THE NORTHEAST CORNER OF FREEDOM LANDING TOWNHOMES PHASE 2; THENCE ALONG THE NORTHERLY LINES OF FREEDOM LANDING TOWNHOMES PHASE 2, THE FOLLOWING THREE (3) COURSES; (1) N88°48'30"W 146.94 FEET; (2) S00°30'12"W 79.54 FEET; (3) N89°29'48"W 100.16 FEET TO A POINT ON THE EAST LINE OF FREEDOM LANDING TOWNHOMES PHASE 1; THENCE ALONG THE BOUNDARY OF FREEDOM LANDING TOWNHOMES PHASE 1, THE FOLLOWING NINE (9) COURSES; (1) N00°42'21"E 13.91 FEET; (2) N89°38'59"W 101.09 FEET; (3) N00°21'01"E 170.75 FEET; (4) ALONG A NON-TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 80.65 FEET, AN ARC LENGTH OF 50.72 FEET, A DELTA ANGLE OF 36°01'49", A CHORD BEARING OF N19°23'24"E, AND A CHORD LENGTH OF 49.89 FEET; (5) N50°41'01"W 39.01 FEET; (6) ALONG A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 119.50 FEET, AN ARC LENGTH OF 66.54 FEET, A DELTA ANGLE OF 31°54'18", A CHORD BEARING OF S22°05'32"W, AND A CHORD LENGTH OF 65.69 FEET; (7) N89°38'59"W 18.26 FEET; (8) S00°21'01"W 10.68 FEET; (9) N89°38'59"W 73.85 FEET TO A POINT ON THE EAST LINE OF OLD MAPLE FARMS PHASE 3; THENCE ALONG THE EASTERLY LINES OF OLD MAPLE FARMS PHASE 3, THE FOLLOWING FOUR (4) COURSES; (1) N00°21'01"E 28.99 FEET; (2) N22°14'54"W 84.93 FEET; (3) N37°14'35"W 141.98 FEET; (4) N39°53'07"E 217.19 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE-84; THENCE S51°08'39"E ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE-84, 589.97 FEET TO THE POINT OF BEGINNING.

CONTAINING 168,471 SQUARE FEET OR 3.868 ACRES MORE OR LESS

SOUTH EAST CORNER OF SECTION 20, TOWNSHIP 25 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, (FOUND BCM)

SOUTH WEBER CITY PLANNING COMMISSION

APPROVED THIS _____ DAY OF _____, 20____, BY THE SOUTH WEBER CITY PLANNING COMMISSION.

CHAIRMAN, SOUTH WEBER CITY PLANNING COMMISSION

SOUTH WEBER CITY ENGINEER

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

SOUTH WEBER CITY ENGINEER DATE

SOUTH WEBER CITY COUNCIL

PRESENTED TO THE SOUTH WEBER CITY COUNCIL THIS THE _____ DAY OF _____, 20____, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

SOUTH WEBER CITY MAYOR ATTEST: CITY RECORDER

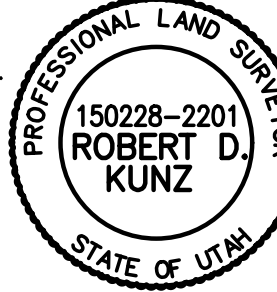
SURVEYOR'S CERTIFICATE

I, **ROBERT D. KUNZ**, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF **FREEDOM LANDING TOWNHOMES, PHASE 3** IN **SOUTH WEBER CITY, DAVIS COUNTY**, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE **DAVIS COUNTY** RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND. I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **SOUTH WEBER CITY, DAVIS COUNTY** CONCERNING ZONING REQUIREMENTS REGARDING UNIT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 20____.

150228-2201

UTAH LICENSE NUMBER



OWNERS DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO UNITS, AND STREETS AS SHOWN ON THE PLAT AND NAME SAID TRACT **FREEDOM LANDING TOWNHOMES, PHASE 3**, AND DO HEREBY DEDICATE ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS PRIVATE STREET TO THE HOME OWNERS ASSOCIATION, THE SAME TO BE USED AS PRIVATE THOROUGHFARES AND IS TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION, AND DO HEREBY GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREON AS COMMON AREA / OPEN SPACE TO BE USED AS PUBLIC UTILITY EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE, AND/OR STORM DRAINAGE FACILITIES, WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY THE GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN SUCH EASEMENTS.

SIGNED THIS _____ DAY OF _____, 20____.

ACKNOWLEDGMENT

STATE OF UTAH)ss.
COUNTY OF _____)

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, (AND) _____ SIGNER(S) OF THE ABOVE OWNER'S DEDICATION AND CERTIFICATION, WHO BEING BY ME DULY SWORN, DID ACKNOWLEDGE TO ME _____ SIGNED IT FREELY, VOLUNTARILY, AND FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES _____ NOTARY PUBLIC

ACKNOWLEDGMENT

STATE OF UTAH)ss.
COUNTY OF _____)

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, (AND) _____ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ AND _____ OF SAID CORPORATION AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES _____ NOTARY PUBLIC

PROJECT INFORMATION

Surveyor: **R. KUNZ** Project Name: **FREEDOM LANDING TOWNHOMES PHASE 3**
Designer: **D. CAVE** Number: **5081-C16**
Begin Date: **2-14-2018** Scale: **1"=40'**
Revision: **3-21-19 cc**



Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 FAX: (801) 621-2000 www.reeve-associates.com
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

DAVIS COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____
AND RECORDED, _____ AT _____
IN BOOK _____ OF _____
THE OFFICIAL RECORDS, PAGE _____

RECORDED FOR:

DAVIS COUNTY RECORDER

DEPUTY:

SOUTH WEBER CITY ATTORNEY

APPROVED BY THE SOUTH WEBER CITY ATTORNEY THIS THE _____ DAY OF _____, 20____.

SOUTH WEBER CITY ATTORNEY

EASEMENT APPROVAL

THIS PLAT IS HEREBY APPROVED BY:

WEBER BASIN WATER CONSERVANCY DISTRICT DATE

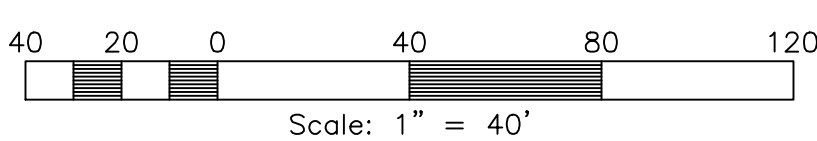
RIVERDALE BENCH CANAL COMPANY DATE

CENTRAL WEBER SEWER DISTRICT DATE

ROCKY MOUNTAIN POWER/PACIFICORP DATE

Curve Table

#	RADIUS	ARC LENGTH	CHD. LENGTH	TANGENT	CHD. BEARING	DELTA
C1	80.65	50.72	49.89	26.23	N19°23'24"E	36°01'49"
C2	119.50	66.54	65.69	34.16	S22°05'32"W	31°54'18"
C3	62.00	7.71	7.71	3.86	S47°26'36"E	7°07'31"
C4	62.00	48.50	47.27	25.57	S21°28'20"E	44°49'02"
C5	42.50	38.44	37.14	20.68	S25°05'36"E	51°49'31"
C6	23.00	20.68	19.99	11.10	S25°15'05"E	51°30'34"



- Project Narrative/Notes/Revisions
1. 10/17/17

CK - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.
2. 11/14/17

CK - UPDATED 42" IRRIGATION PER OLD MAPLE FARMS PHASE 3 CHANGES.
3. 03/14/19

CK - UPDATED PER CITY REVIEW COMMENTS.

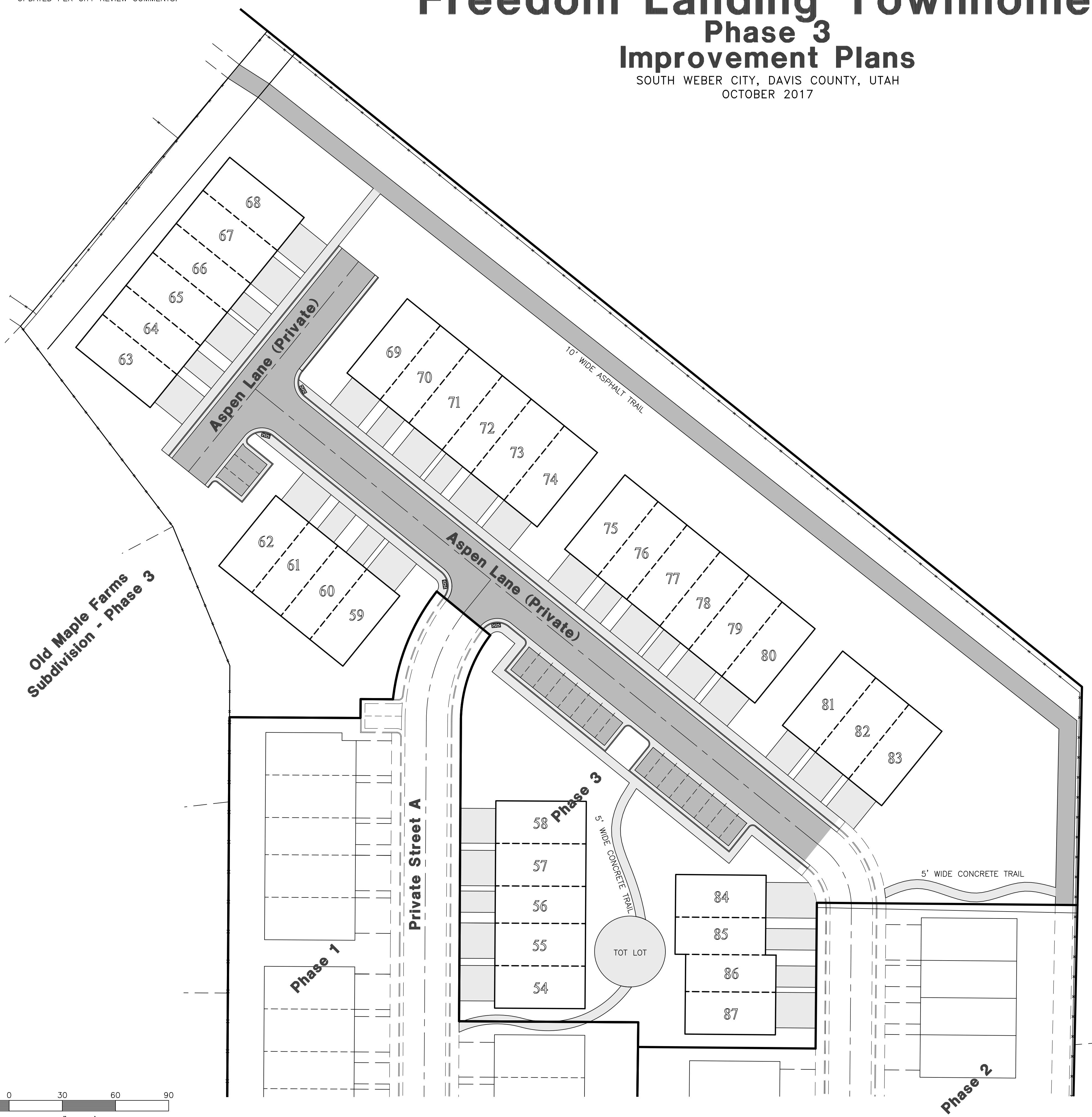
Freedom Landing Townhomes

Phase 3

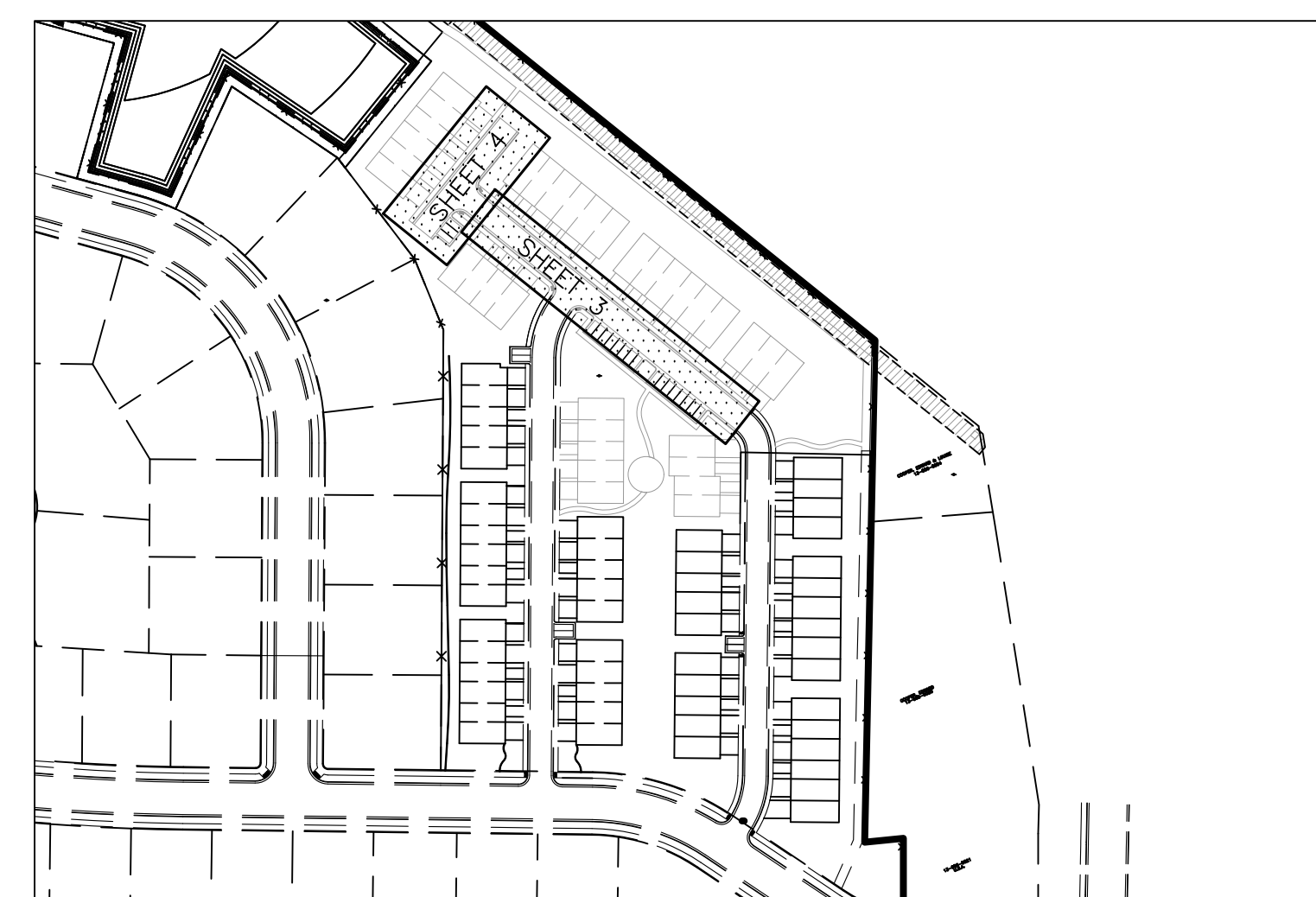
Improvement Plans

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

OCTOBER 2017



Vicinity Map
NOT TO SCALE



Sheet Index Key Map
NOT TO SCALE

Sheet Index

- Sheet 1 - Cover/Index Sheet
- Sheet 2 - Notes/Legend/Street Cross-Section
- Sheet 3 - Aspen Lane - 13+00.00 - 18+00.00
- Sheet 4 - Aspen Lane - 11+00.00 - 13+00.00
- Sheet 5 - Site Plan
- Sheet 6 - Grading & Drainage Plan
- Sheet 7 - Utility Plan
- Sheet 8 - Storm Water Pollution Prevention Plan Exhibit
- Sheet 9 - Storm Water Pollution Prevention Plan Details
- Sheet L1 - Landscape Plan
- Sheet L2 - Landscape Details

Site Information

TOTAL PHASE 3 AREA.....	168,706 s.f.	
IMPERVIOUS AREA.....	79,871 s.f.	47.4%
LANDSCAPE AREA.....	88,836 s.f.	52.6%

Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Developer Contact:

Ovation Homes
Brad Frost
893 N. Marshall Way, #A
Layton City, Ut. 84041
PH: (801) 564-3898

Blue Stakes Location Center
Call: Toll Free
1-800-662-4111
Two Working Days Before You Dig

Reeve & Associates, Inc.

3160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-assoc.com

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

RA

REVISIONS	DATE	DESCRIPTION
11-14-17	CK	42" Irr. Change
03-14-19	CK	City Review

Freedom Landing Townhomes
Phase 3

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Cover/Index Sheet



Project Info.	
Engineer:	J. NATE REEVE, P.E.
Drafter:	C. KINGSLEY
Begin Date:	OCTOBER 2017
Name:	FREEDOM LANDING TOWNHOMES
	PHASE 3
Number:	5061-C16

Sheet	9
1	Sheets

1/4/2016 | thunt | G:\5061\C16 - Old Maple Forms Apts. So Weber\improvements\F3\Old Maple Forms Apts P3 Imp.dwg Reeve & Associates, Inc. - Solutions You Can Build On

General Notes:

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UN-INCORPORATED), INDIVIDUAL PRODUCT MANUFACTURERS, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), AND THE DESIGN ENGINEER. THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW GEOTECHNICAL RECOMMENDATIONS FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, RETAINING WALLS AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH THE PROJECT GEOTECHNICAL ENGINEER.
- TRAFFIC CONTROL, STRIPING & SIGNAGE TO CONFORM TO CURRENT GOVERNING AGENCIES' TRANSPORTATION ENGINEER'S MANUAL AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD, INCLUDING OBTAINING REQUIRED INSPECTIONS.
- ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH BY THE GEOTECHNICAL ENGINEER.
- CATCH SLOPES SHALL BE GRADED AS SPECIFIED ON GRADING PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAGMEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY HIMSELF BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS HE MAY PREFER OF THE LOCATIONS OF THE PROPOSED WORK AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK. IF, DURING THE COURSE OF HIS EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO HIM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, HE SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING HIS BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, HE HAS RELIED AND IS RELYING ON HIS OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON HIS OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT HE HAS NOT RELIED SOLELY UPON OWNER'S OR ENGINEER-FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING HIS BID.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
- CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR, PRIOR TO ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE HIGHEST QUALITY ARE TO BE USED.
- CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS IN THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY WATER BLASTING.
- CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH LOCAL, STATE, AND NATIONAL SAFETY CODES, ORDINANCES, OR REQUIREMENTS FOR EXCAVATION AND TRENCHES.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE

Utility Notes:

- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, AND INTERNET.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS (BY OTHERS), PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CONTRACTOR SHALL POT HOLE ALL UTILITIES TO DETERMINE IF CONFLICTS EXIST PRIOR TO BEGINNING ANY EXCAVATION. NOTIFY ENGINEER OF ANY CONFLICTS. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES TO WHICH NEW UTILITIES WILL BE CONNECTED. PRIOR TO COMMENCING ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE REQUIRED PROCEDURES.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT HIS EXPENSE.
- ALL VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE.
- CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE.
- CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOX WITH NON-SHRINKING GROUT, INCLUDING PIPE VOIDS LEFT BY CUTTING PROCESS, TO A SMOOTH FINISH.
- CONTRACTOR SHALL GROUT WITH NON-SHRINK GROUT BETWEEN GRADE RINGS AND BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX.
- SILT AND DEBRIS IS TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DE-WATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- MAINTAIN A MINIMUM 18" VERTICAL SEPARATION DISTANCE BETWEEN ALL UTILITY CROSSINGS.
- CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL BOLTED FITTINGS MUST BE GREASED AND WRAPPED.
- UNLESS SPECIFICALLY NOTED OTHERWISE, MAINTAIN AT LEAST 2 FEET OF COVER OVER ALL STORM DRAIN LINES AT ALL TIMES (INCLUDING DURING CONSTRUCTION).
- ALL WATER LINES SHALL BE INSTALLED A MINIMUM OF 48" BELOW FINISHED GRADE.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, PIPE EDGE TO PIPE EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, THE SEWER LINE AND WATER LINE SHALL BE LAID IN SEPARATE TRENCHES AND THE BOTTOM OF THE WATER LINE SHALL BE AT LEAST 18" ABOVE THE TOP OF THE SEWER LINE.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.
- STREET LIGHTS TO BE CONSTRUCTED PER ROCKY MOUNTAIN POWER STANDARD DETAILS AND REQUIREMENTS.

Erosion Control General Notes:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCY'S ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT OPEN FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE GOVERNING AGENCIES.

Maintenance:

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

EXPOSED SLOPES:

ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:

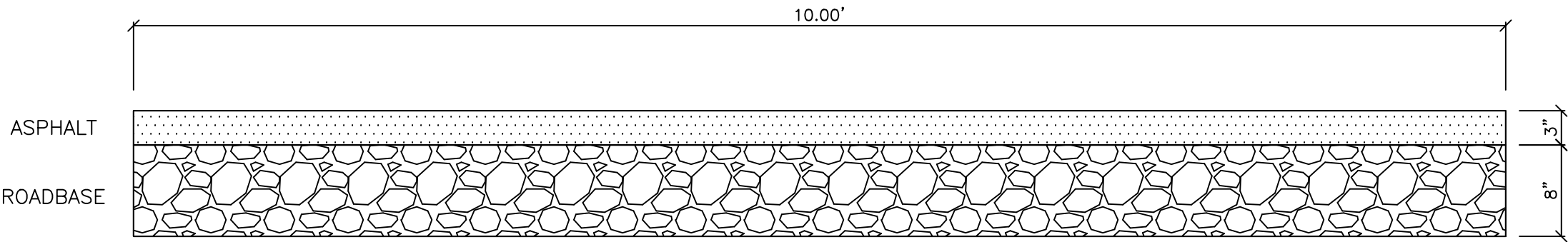
- A) SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
- B) TRACKING STRAW PERPENDICULAR TO SLOPES
- C) INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

Survey Control Note:

THE CONTRACTOR OR SURVEYOR SHALL BE RESPONSIBLE FOR FOLLOWING THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS) MODEL STANDARDS FOR ANY SURVEYING OR CONSTRUCTION LAYOUT TO BE COMPLETED USING REEVE & ASSOCIATES, INC. SURVEY DATA OR CONSTRUCTION IMPROVEMENT PLANS. PRIOR TO PROCEEDING WITH CONSTRUCTION STAKING, THE SURVEYOR SHALL BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON AN ALTA SURVEY, IMPROVEMENT PLAN, OR ANY ELECTRONIC DATA PROVIDED. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN FIVE (5) EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY REEVE & ASSOCIATES, INC. AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION STAKING.

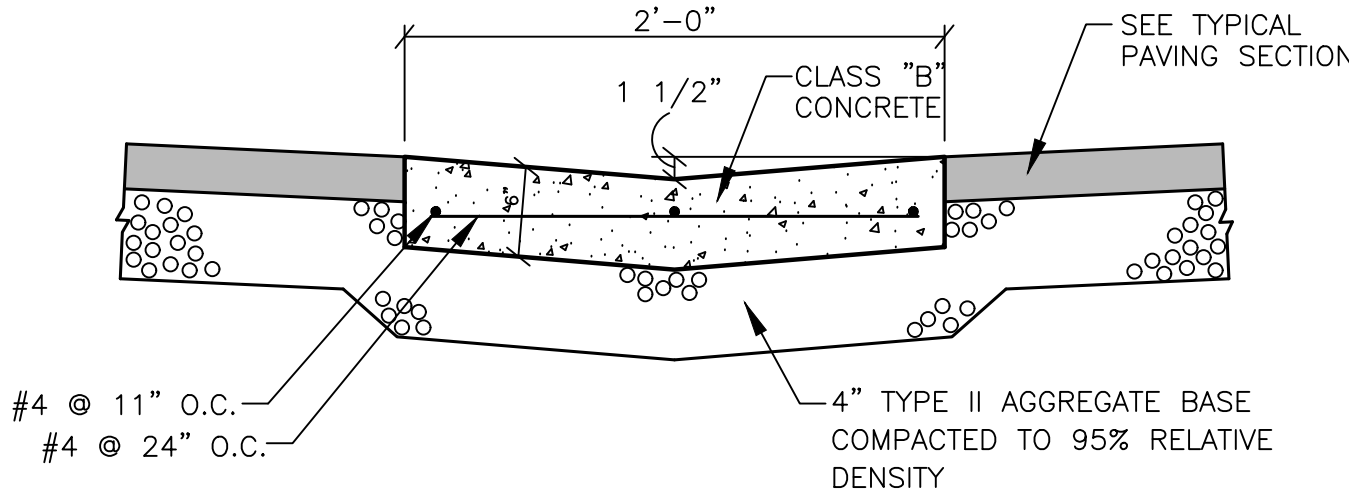
Legend

—W—	= PROPOSED CULINARY WATER LINE	CB	= CATCH BASIN	TOI	= TOP OF PUMP ISLAND
—EX.W---	= EXISTING CULINARY WATER LINE	C.F.	= CUBIC FEET	TSW	= TOP OF SIDEWALK
—SS—	= PROPOSED SANITARY SEWER LINE	C.F.S.	= CUBIC FEET PER SECOND	W	= CULINARY WATER
—EX.SS---	= EXISTING SANITARY SEWER LINE	FC	= FENCE CORNER	WM	= WATER METER
—SD—	= PROPOSED STORM DRAIN LINE	FF	= FINISH FLOOR		= EXISTING ASPHALT PAVEMENT
—EX.SD---	= EXISTING STORM DRAIN LINE	FFE	= FINISH FLOOR ELEVATION		= EXISTING CONCRETE
—X—X—	= FENCE LINE	FG	= FINISHED GRADE		= PROPOSED ASPHALT PAVEMENT
●	= PROPOSED FIRE HYDRANT	FH	= FIRE HYDRANT		= PROPOSED CONCRETE
○	= EXISTING FIRE HYDRANT	FL	= FLOW LINE		
●	= PROPOSED MANHOLE	GB	= GRADE BREAK		
○	= EXISTING MANHOLE	INV	= INVERT		
●	= PROPOSED SEWER CLEAN-OUT	L.F.	= LINEAR FEET		
X	= PROPOSED GATE VALVE	NG	= NATURAL GRADE		
X	= EXISTING GATE VALVE	PP	= POWER/UTILITY POLE		
■	= PROPOSED WATER METER	P.U.E.	= PUBLIC UTILITY EASEMENT		
■	= EXISTING WATER METER	RCP	= REINFORCED CONCRETE PIPE		
■	= PROPOSED CATCH BASIN	RIM	= RIM OF MANHOLE		
□	= EXISTING CATCH BASIN	R.O.W.	= RIGHT-OF-WAY		
■	= PLUG W/ 2' BLOW-OFF	SD	= STORM DRAIN		
■	= PLUG & BLOCK	SS	= SANITARY SEWER		
○	= STREET LIGHT	TBC	= TOP BACK OF CURB		
■	= SIGN	TOA	= TOP OF ASPHALT		
BLDG	= BUILDING	TOC	= TOP OF CONCRETE		
C&G	= CURB & GUTTER	TOFF	= TOP OF FINISHED FLOOR		



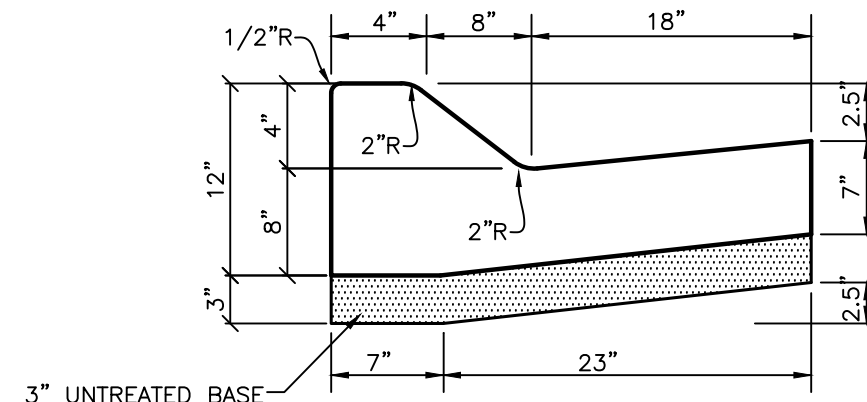
10' Wide Asphalt Trail Detail

SCALE: 1"=1'

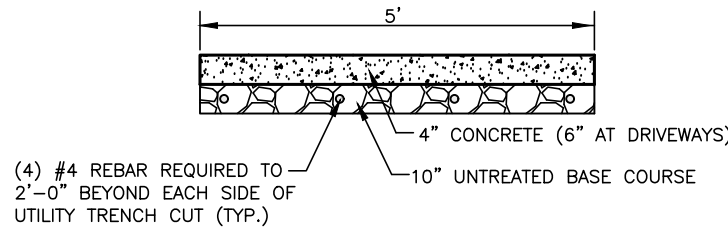


2' Waterway Detail

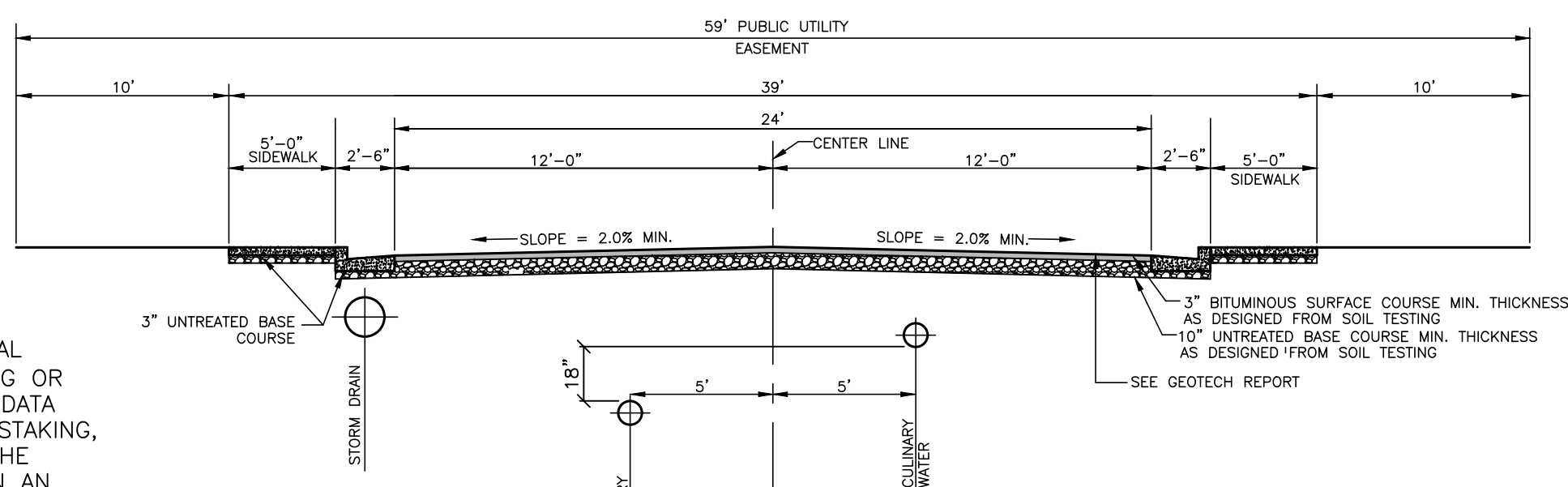
SCALE: NONE



Type M1 Curb & Gutter



Sidewalk/Driveway Section



PRIVATE STREET SECTION (24' PAVEMENT)

SCALE: NONE

Reeve & Associates, Inc. 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405 TEL: (801) 681-1000 FAX: (801) 681-8666 www.reeve-assoc.com LAND FARMERS • ONL ENGINEERS • LAND SURVEYORS TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

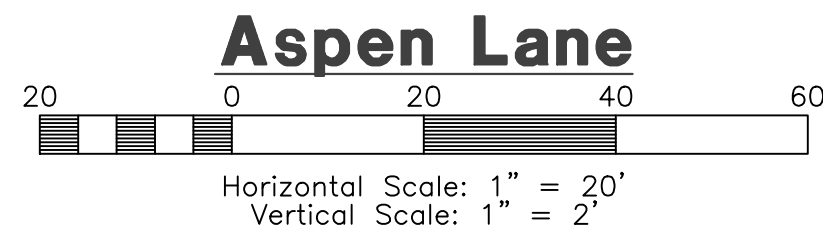
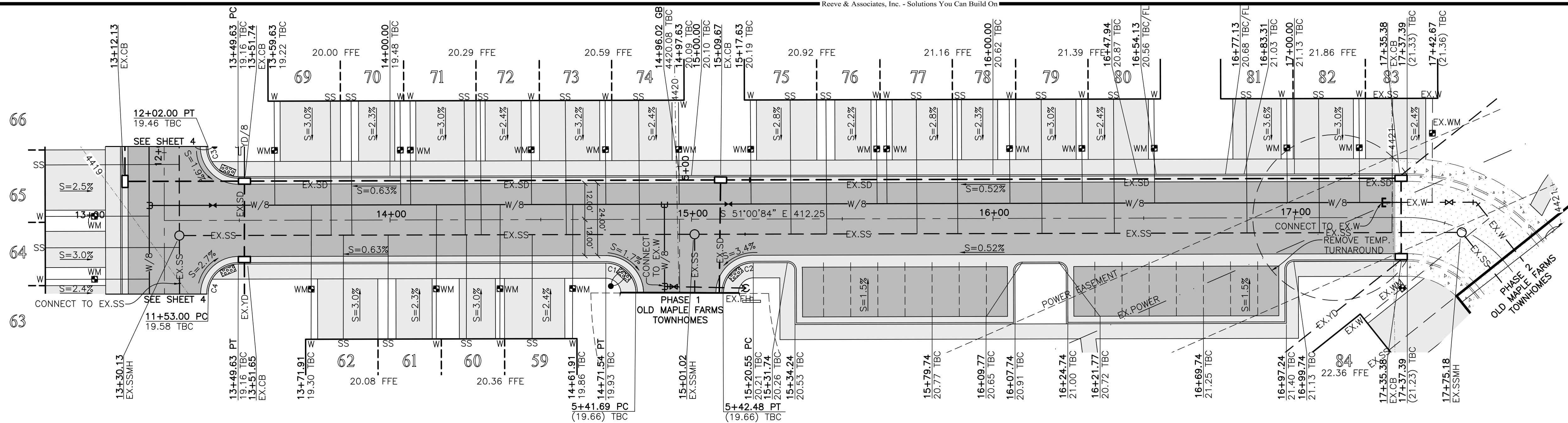
REVISIONS	DATE	DESCRIPTION
	11-14-17	CK 42" Irr. Change
	03-14-19	CK City Review

Freedom Landing Townhomes Phase 3 SOUTH WEBER CITY, DAVIS COUNTY, UTAH Notes/Legend/ Street Cross-Section

REGISTERED PROFESSIONAL ENGINEER 375328 J. NATE REEVE 03/21/2016 STATE OF UTAH

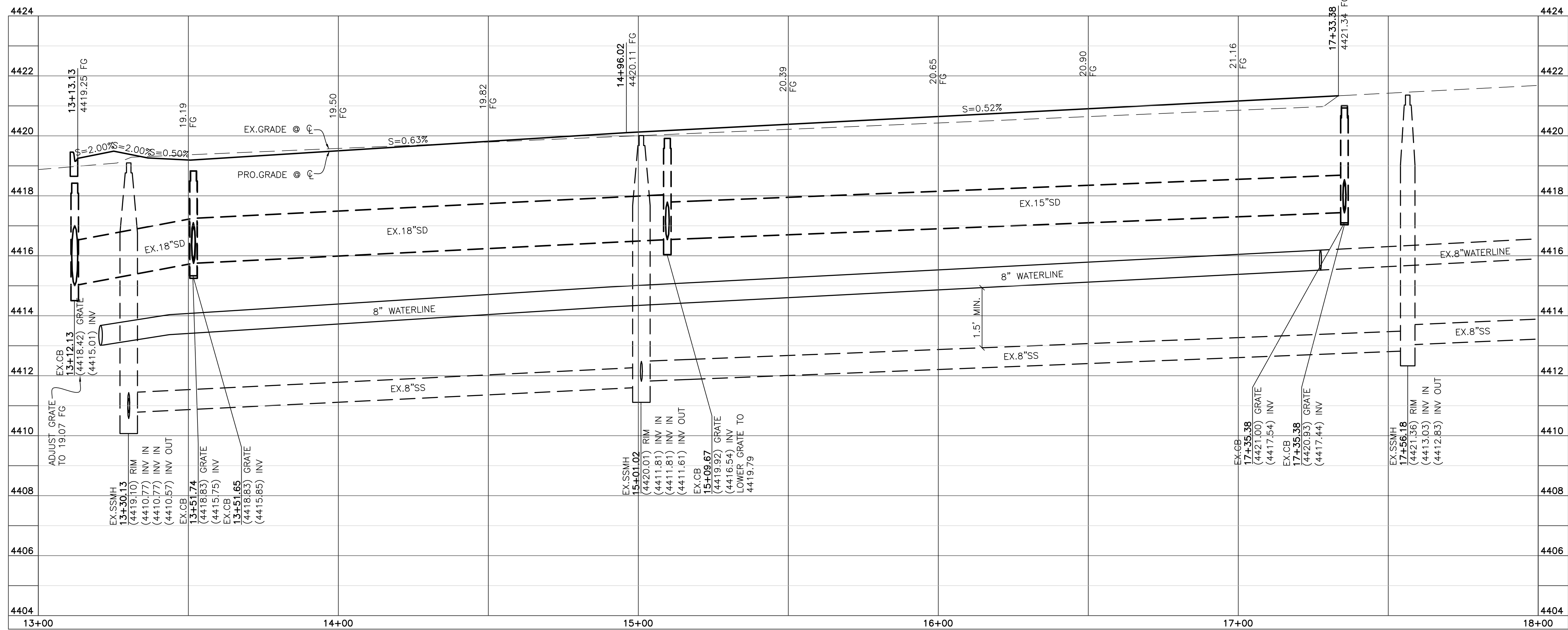
Project Info.	
Engineer:	J. NATE REEVE, P.E.
Drafter:	C. KINGSLEY
Begin Date:	OCTOBER 2017
Name:	FREEDOM LANDING TOWNHOMES
PHASE 3	
Number:	5061-C16

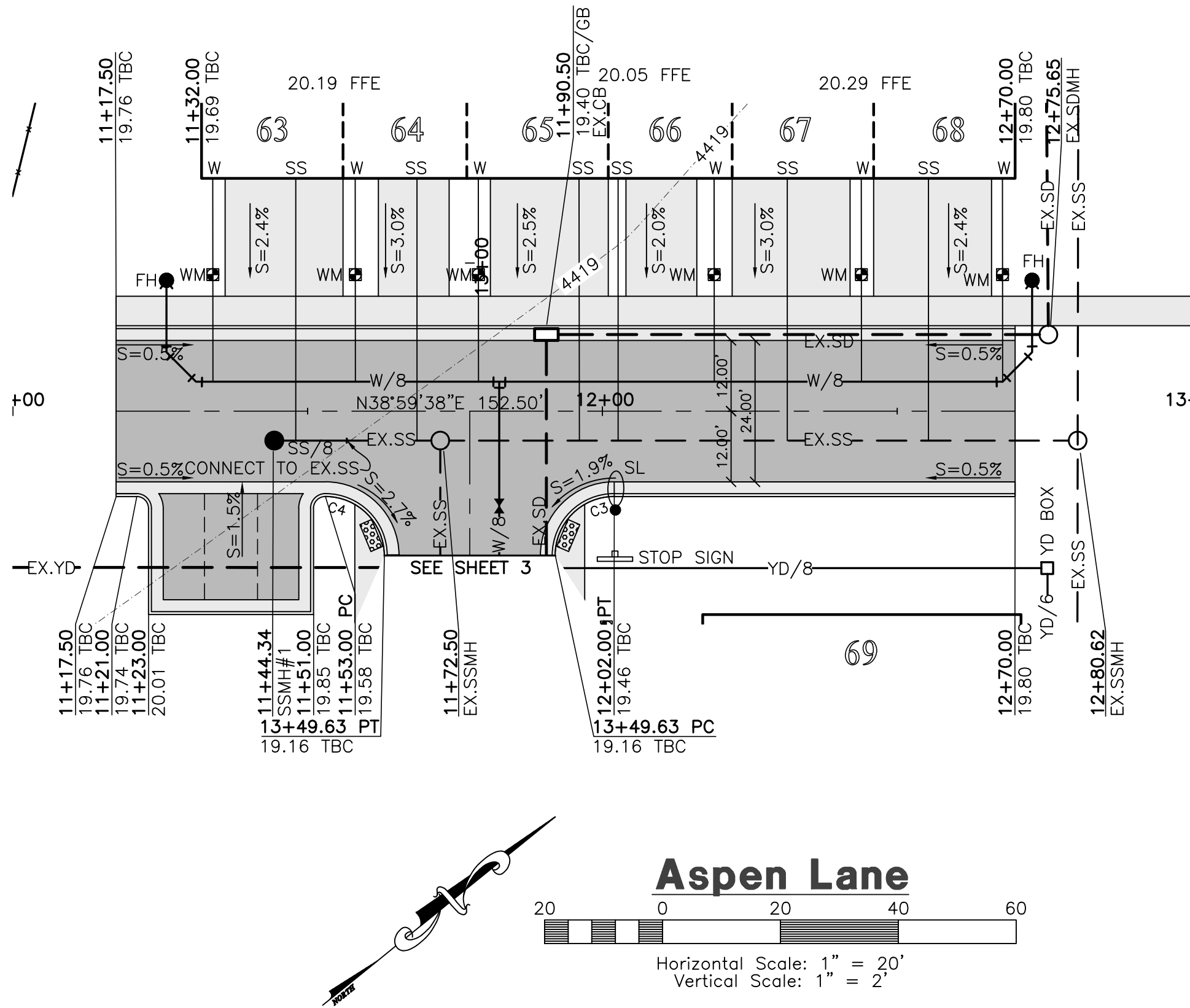
Sheet	9
2	Sheets



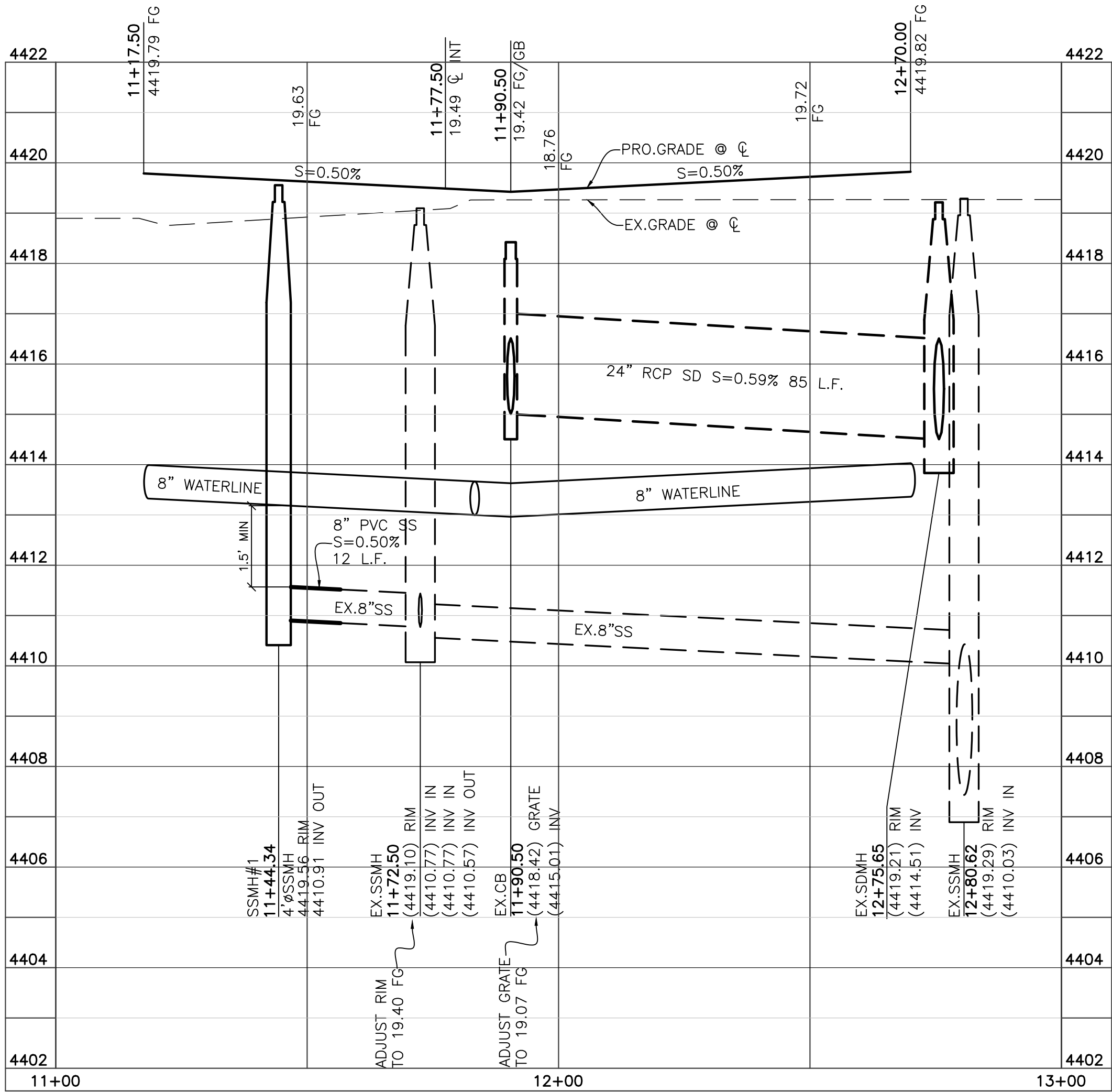
TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	CH Length
C1	34°58'32"	10.00'	6.10'	3.15'	N33°31'06"W	6.01'
C2	91°33'55"	10.00'	15.98'	10.28'	S83°12'41"W	14.34'
C3	90°00'00"	10.00'	15.71'	10.00'	S6°00'22"E	14.15'
C4	90°00'00"	10.00'	15.71'	10.00'	S83°59'38"W	14.15'



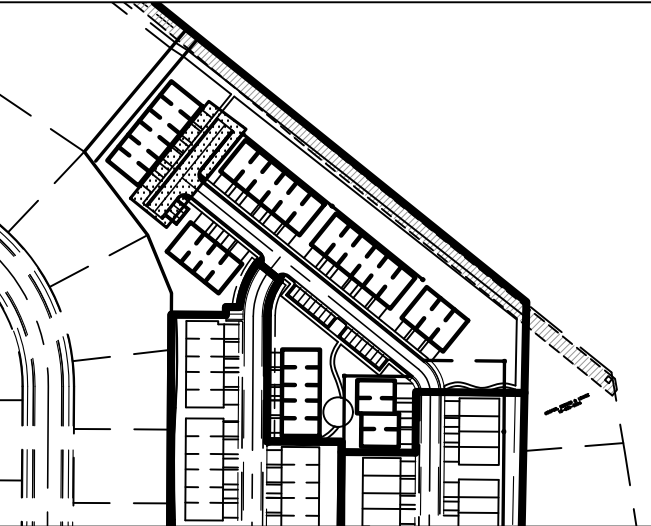


TBC Curve Data						
#	Delta	Radius	Length	Tangent	Chord	CH Length
C3	90°00'00"	10.00'	15.71'	10.00'	S6°00'22"E	14.15'
C4	90°00'00"	10.00'	15.71'	10.00'	S83°59'38"W	14.15'



Key Map

NOT TO SCALE



Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

CULINARY WATER

W - 1" TYPE K COPPER W/1" METER
SEE CITY STANDARD DRAWING CS-06
W/8 - 8" DI AWWA C151-02 CLASS 51 W/POLY WRAP

SECONDARY WATER

SW/8 - 8" PVC IRR C-900 DR-14

SANITARY SEWER

SS - 4" PVC 3034 SEWER PIPE
SS/8 - 8" PVC ASTM 3034 SEWER LINE

NOTE: ANY CULINARY OR IRRIGATION WATERLINE LOOPS TO BE PER SOUTH WEBER CITY STANDARDS

Freedom Landing Townhomes Phase 3

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Aspen Lane
11+00.00 - 13+00.00



Project Info.

Engineer:
J. NATE REEVE, P.E.
 Drafter:
C. KINGSLEY
Begin Date:
OCTOBER 2017
Name:
FREEDOM LANDING
TOWNHOMES
PHASE 3
Number: 5061-C16

Blue Stakes Location Center

Call: Toll Free
1-800-662-4111

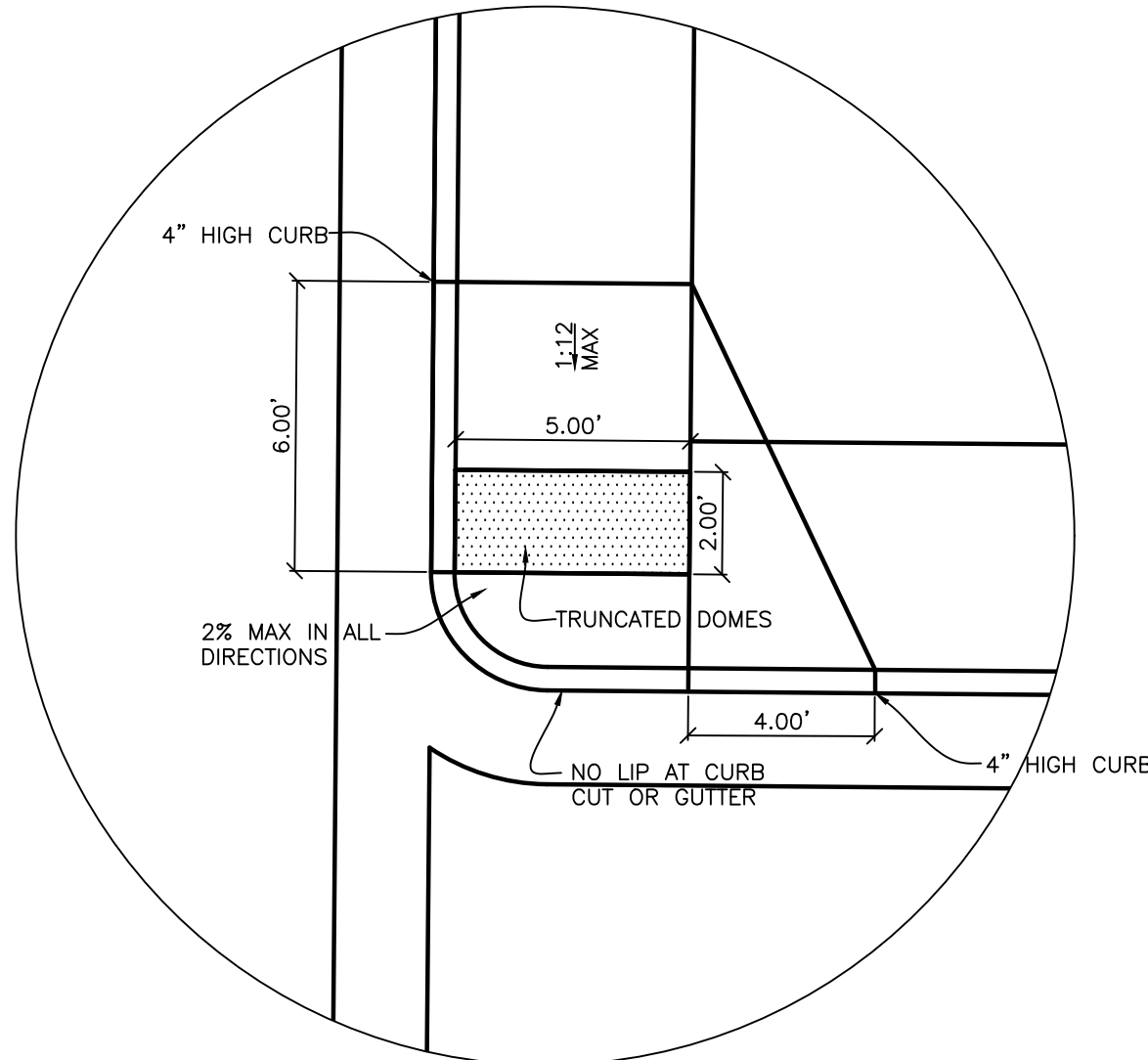
Two Working Days Before You Dig

Sheet

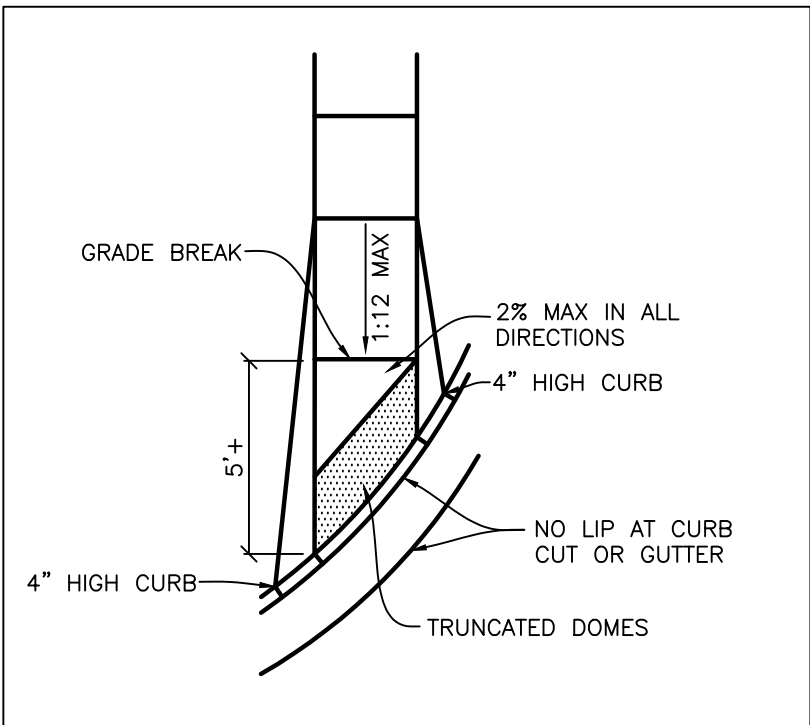
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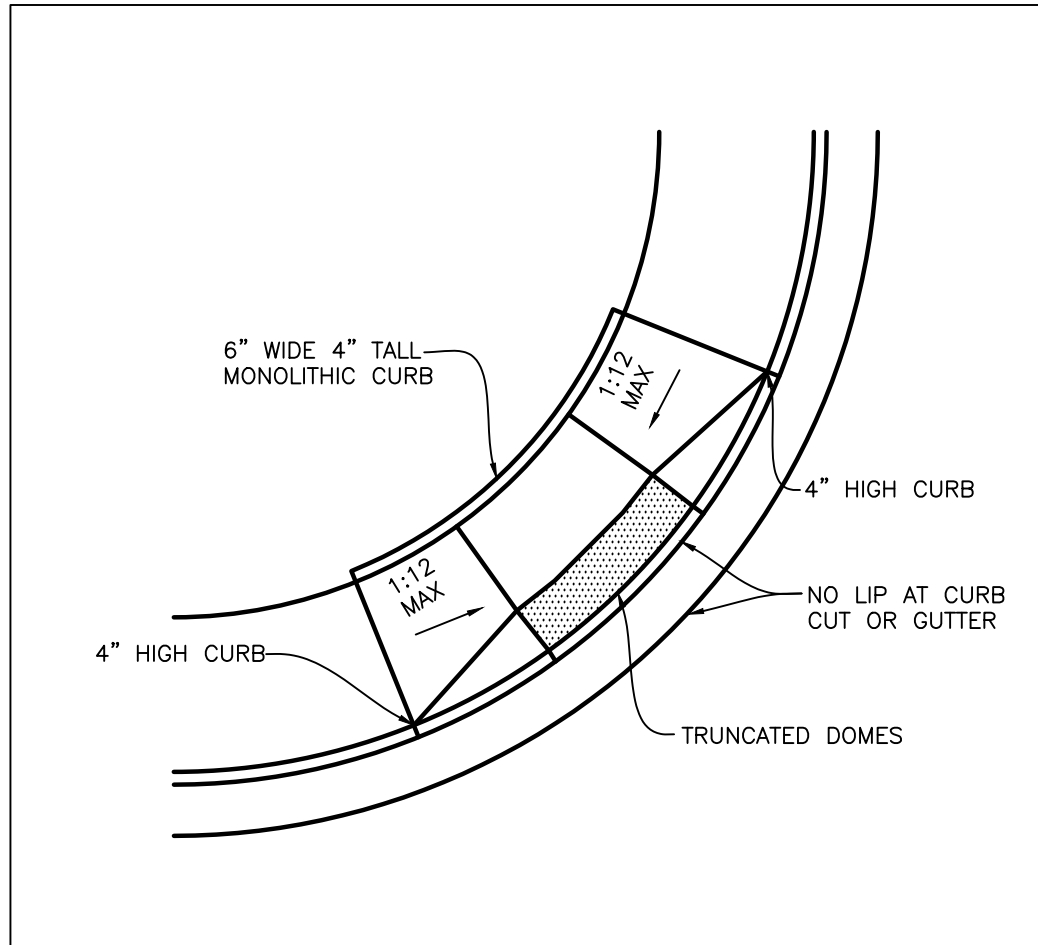
Sheets



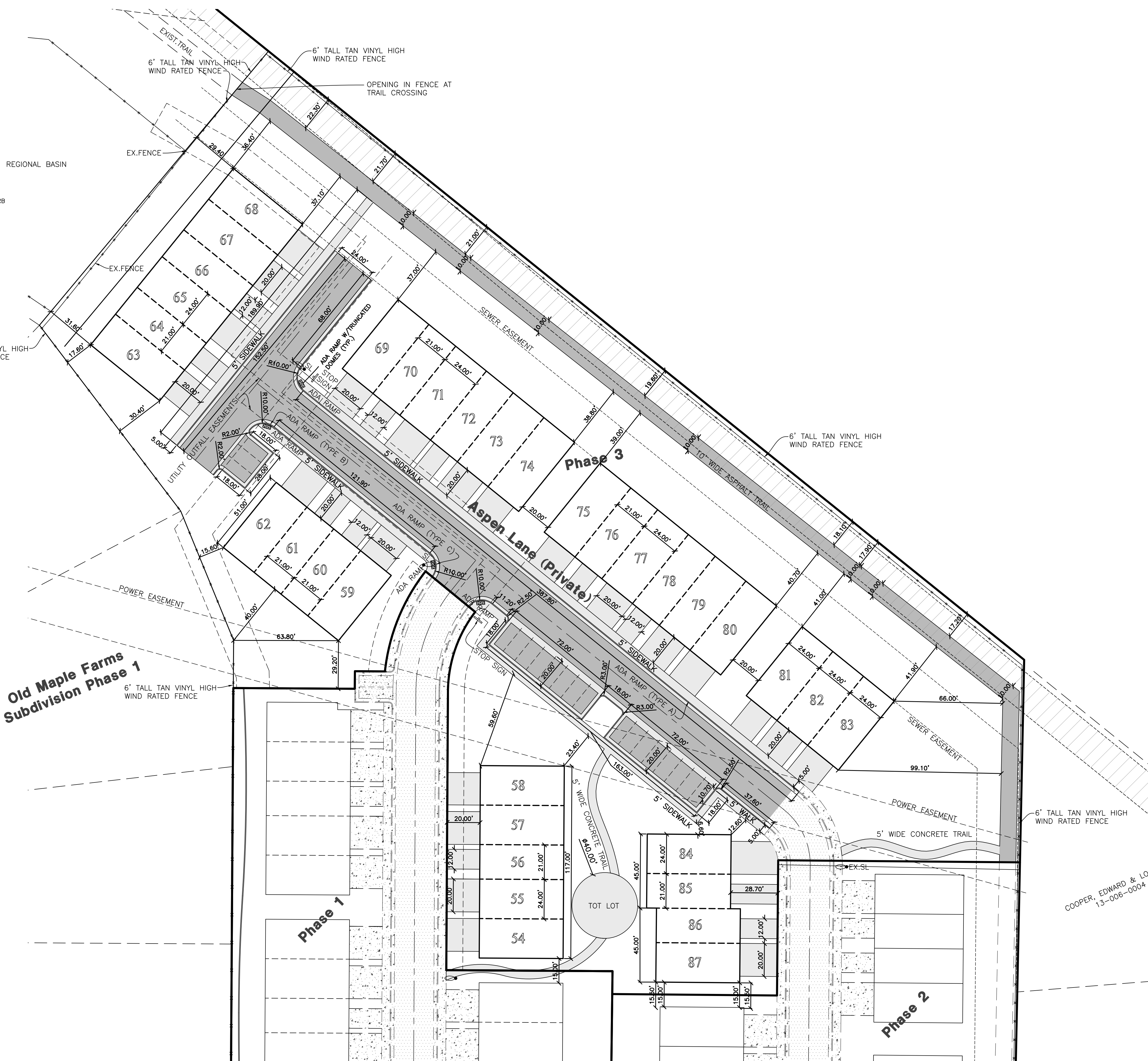
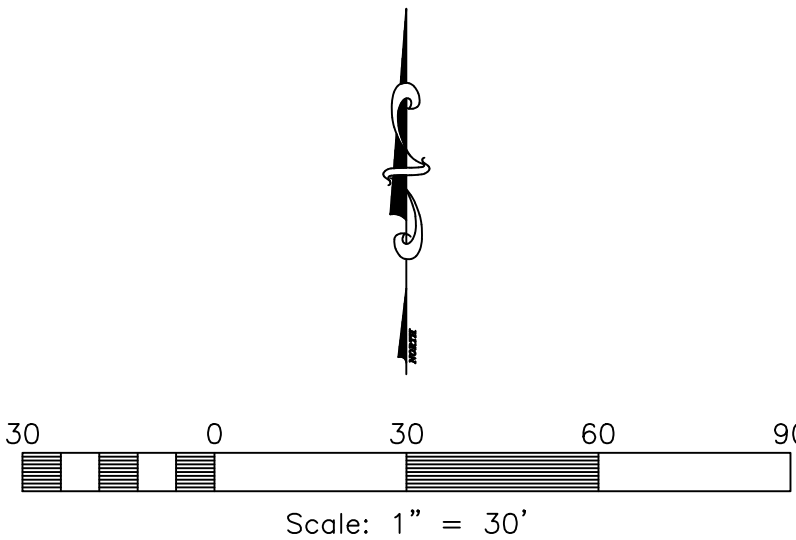
ADA Ramp Detail (Type A)
SCALE: NONE



ADA Ramp Detail (Type B)
SCALE: NONE



ADA Ramp Detail (Type C)
SCALE: NONE

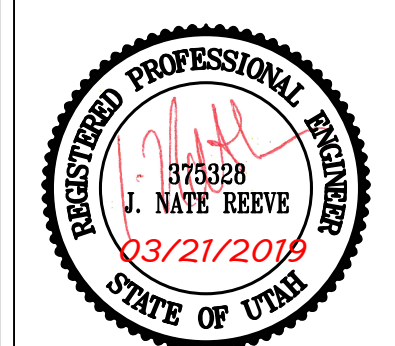


Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 681-1000 FAX: (801) 681-2666 www.reeve-associates.com
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REVISIONS	DATE	DESCRIPTION
11-14-17	CK	42" Irr. Change
03-14-19	CK	City Review

Freedom Landing Townhomes
Phase 3
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Site Plan



Project Info.	
Engineer:	J. NATE REEVE, P.E.
Drafter:	C. KINGSLEY
Begin Date:	OCTOBER 2017
Name:	FREEDOM LANDING TOWNHOMES PHASE 3
Number:	5061-C16

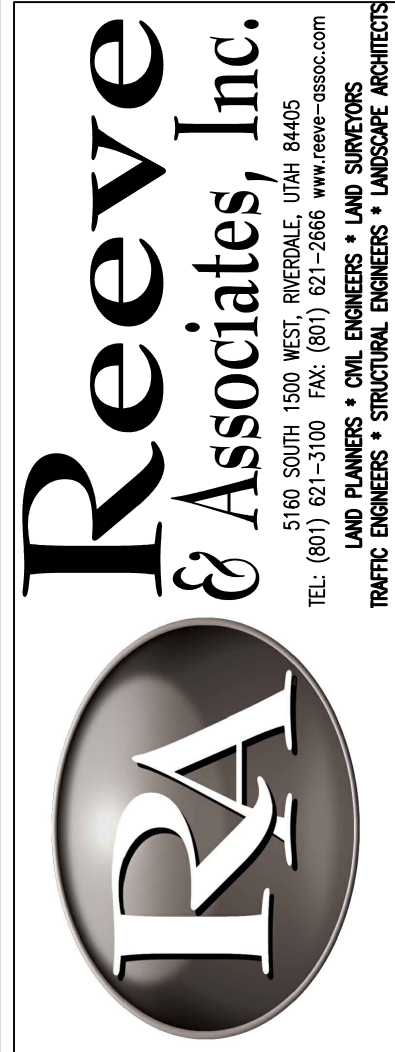
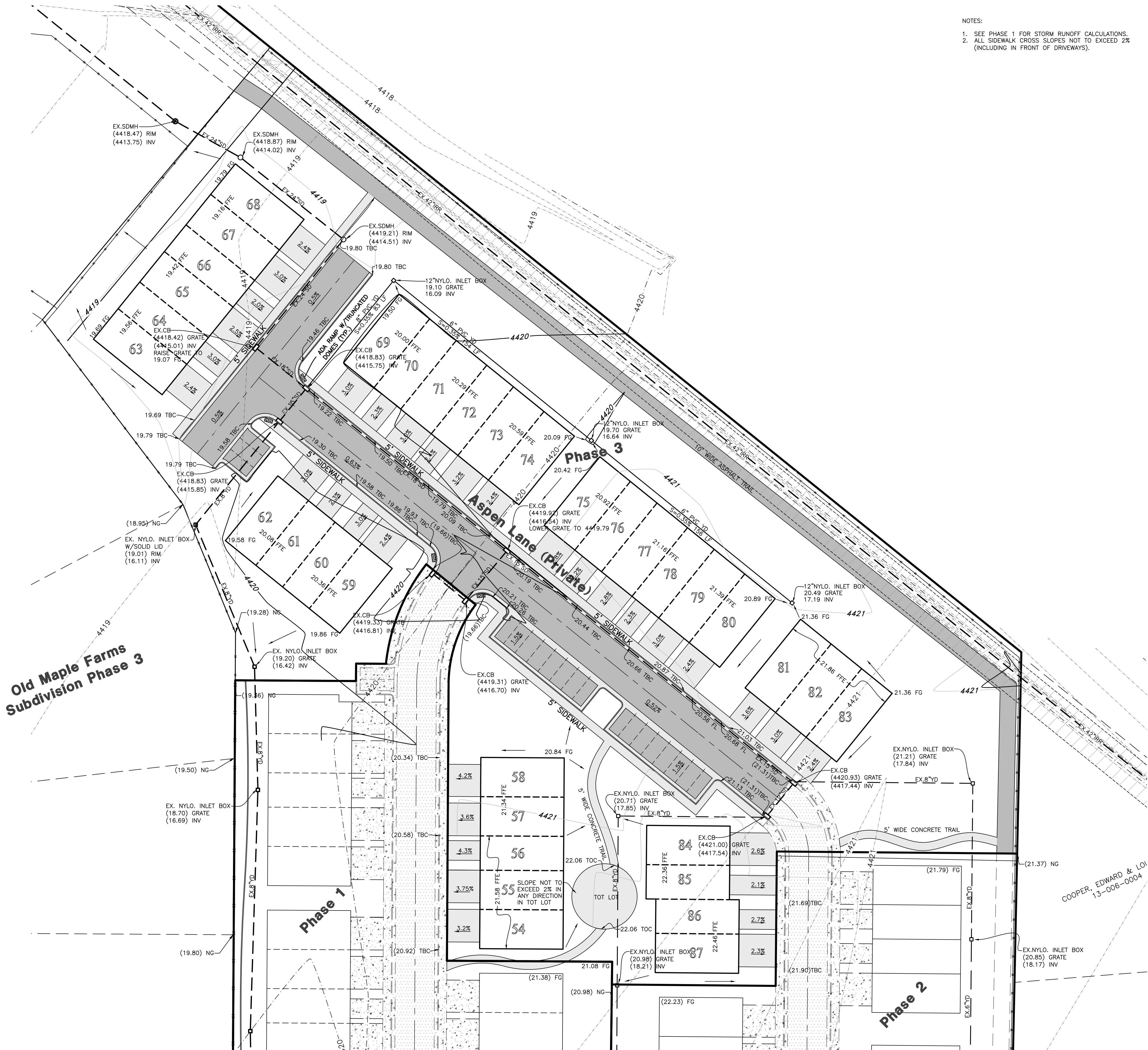
Sheet	9
5	Sheets

Elevation Datum

PROJECT BENCHMARK - FOUND BRASS CAP MONUMENT
AT THE SOUTHEAST CORNER OF SECTION 20, T.5N.,
R.1W., SLB&M, U.S. SURVEY.
(DATED 2004) NAVD 88 AS PER GPS MEASUREMENTS,
4427.593 ELEV

NOTES:

1. SEE PHASE 1 FOR STORM RUNOFF CALCULATIONS.
2. ALL SIDEWALK GROSS SLOPES NOT TO EXCEED 2% (INCLUDING IN FRONT OF DRIVEWAYS).



REVISIONS	DATE	DESCRIPTION
11-14-17	CK	42" Irr. Change
03-14-19	CK	City Review

Freedom Landing Townhomes

Phase 3

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Grading & Drainage Plan

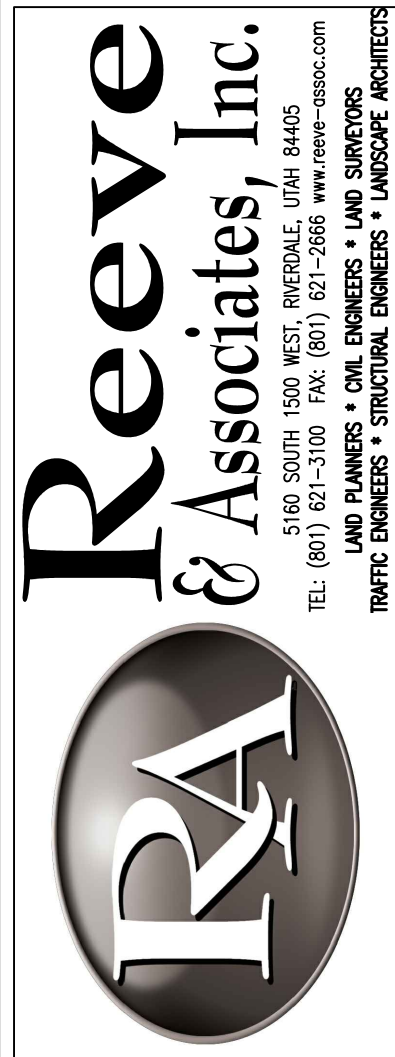
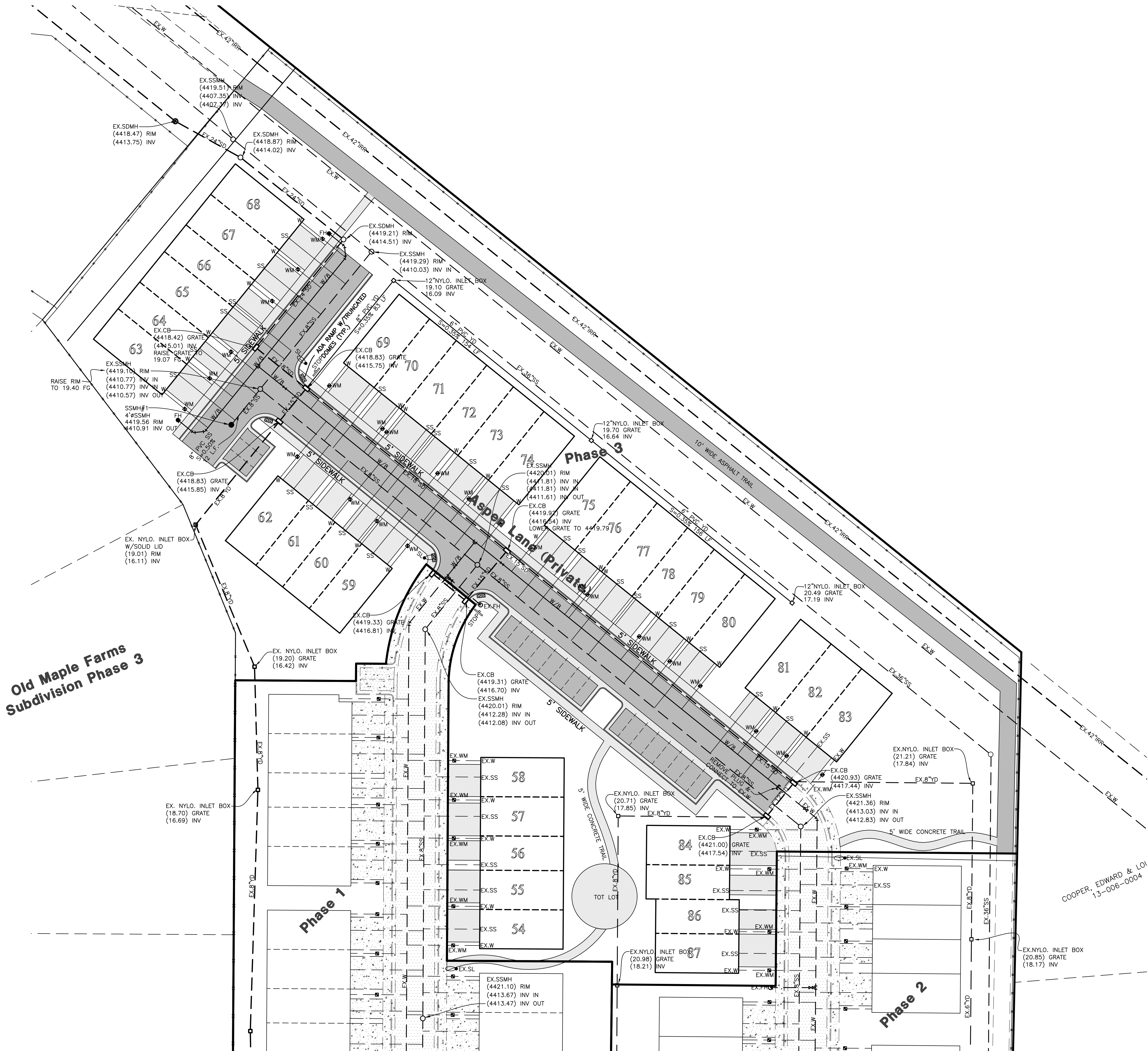


Project Info.

Engineer:
J. NATE REEVE, P.E.
Drafter:
C. KINGSLEY
Begin Date:
OCTOBER 2017
Name:
FREEDOM LANDING
TOWNHOMES
PHASE 3
Number:
5061-C16

Sheet
6
9
Sheets

- NOTES:
1. "NO PARKING FIRE LANE" SIGNS TO BE COORDINATED WITH THE CITY & DEVELOPER
 2. SEE SHEET 5 FOR EASEMENTS.
 3. SECONDARY WATER STUBS WERE INSTALLED OFF OLD MAPLE ROAD. CONNECT & LOOP TO EXISTING SYSTEM. SEE PHASE 1 & 2 FOR STUB LOCATIONS.



REVISIONS	DATE	DESCRIPTION
11-14-17	CK	42" Irr. Change
03-14-19	CK	City Review

Freedom Landing Townhomes Phase 3

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Utility Plan



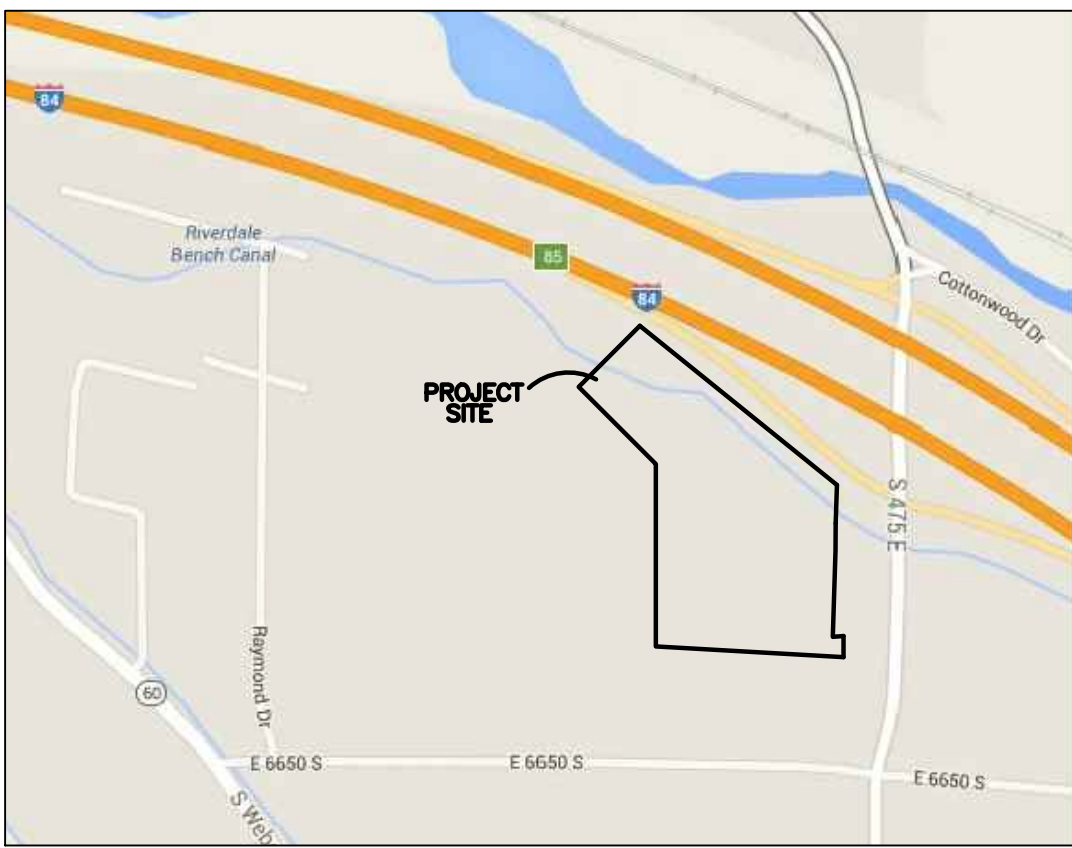
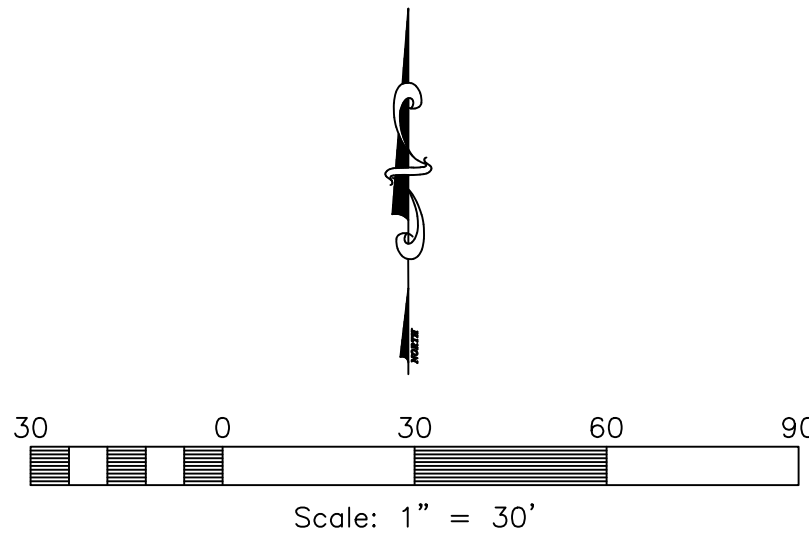
Project Info.	
Engineer:	J. NATE REEVE, P.E.
Drafter:	C. KINGSLEY
Begin Date:	OCTOBER 2017
Name:	FREEDOM LANDING TOWNHOMES PHASE 3
Number:	5061-C16

Sheet	9
7	Sheets

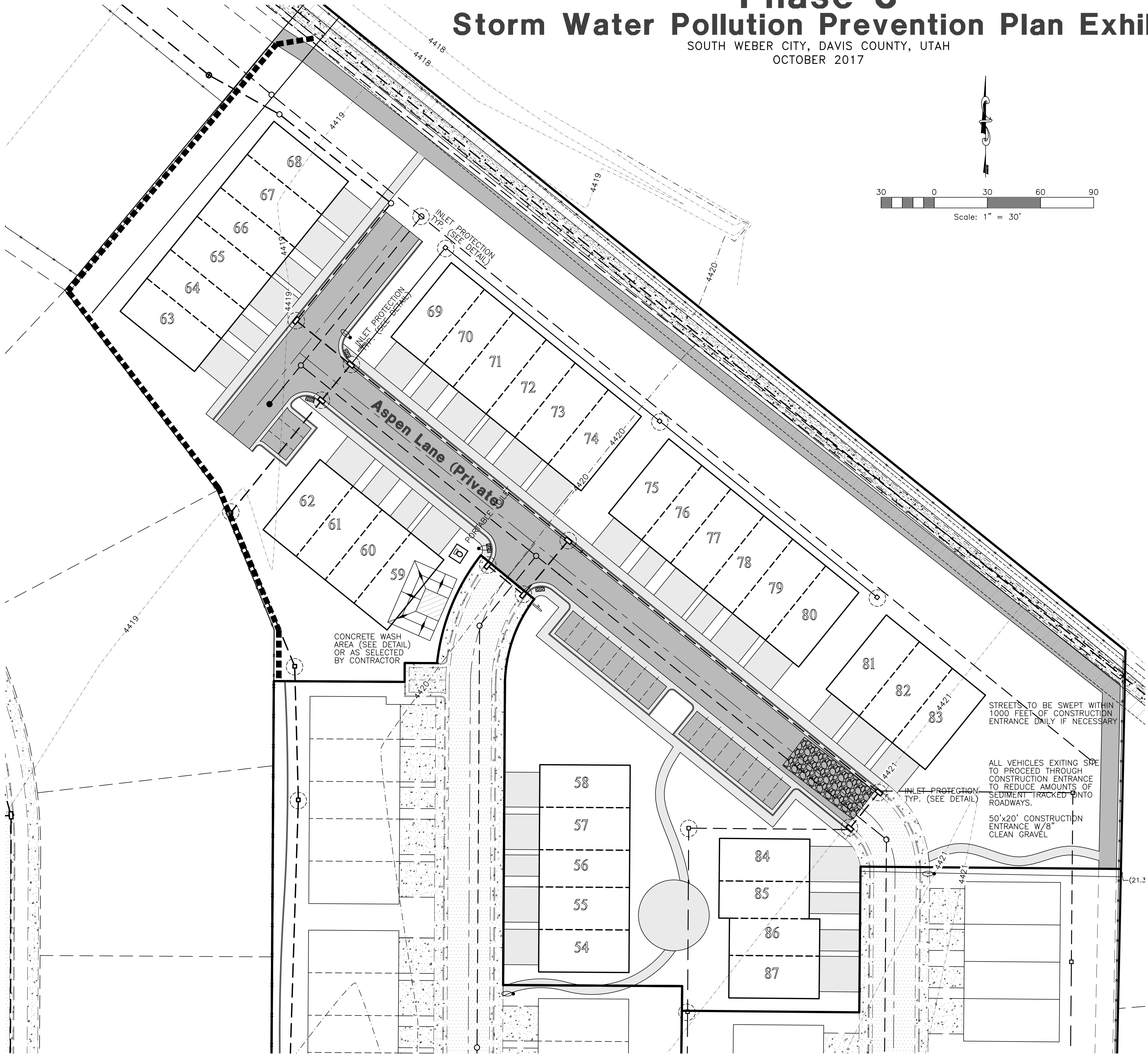
Freedom Landing Townhomes Phase 3

Storm Water Pollution Prevention Plan Exhibit

SOUTH WEBER CITY, DAVIS COUNTY, UTAH
OCTOBER 2017



Vicinity Map
NOT TO SCALE



Construction Activity Schedule

- PROJECT LOCATION.....SOUTH WEBER CITY, DAVIS COUNTY, UTAH
- PROJECT BEGINNING DATE.....OCTOBER 2017
- BMP'S DEPLOYMENT DATE.....OCTOBER 2017
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....BRAD FROST (801) 564-3898
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER

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9160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
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REVISIONS	DATE	DESCRIPTION
11-14-17	CK	42" Irr. Change
03-14-19	CK	City Review

**Freedom Landing Townhomes
Phase 3**
SOUTH WEBER CITY, DAVIS COUNTY, UTAH
**Storm Water Pollution
Prevention Plan Exhibit**



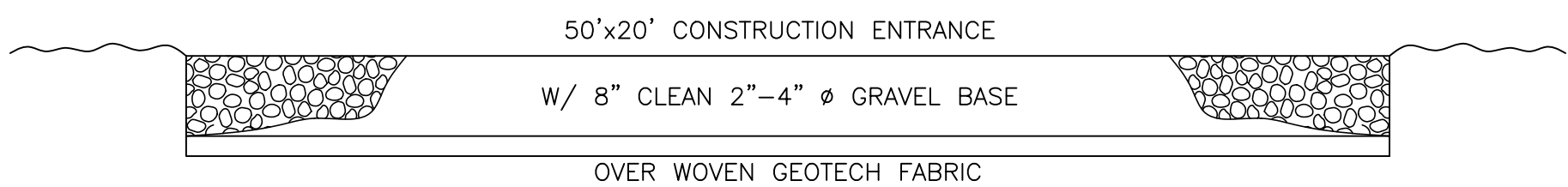
Project Info.	
Engineer:	J. NATE REEVE, P.E.
Drafter:	C. KINGSLEY
Begin Date:	OCTOBER 2017
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Sheet	9
8	Sheets

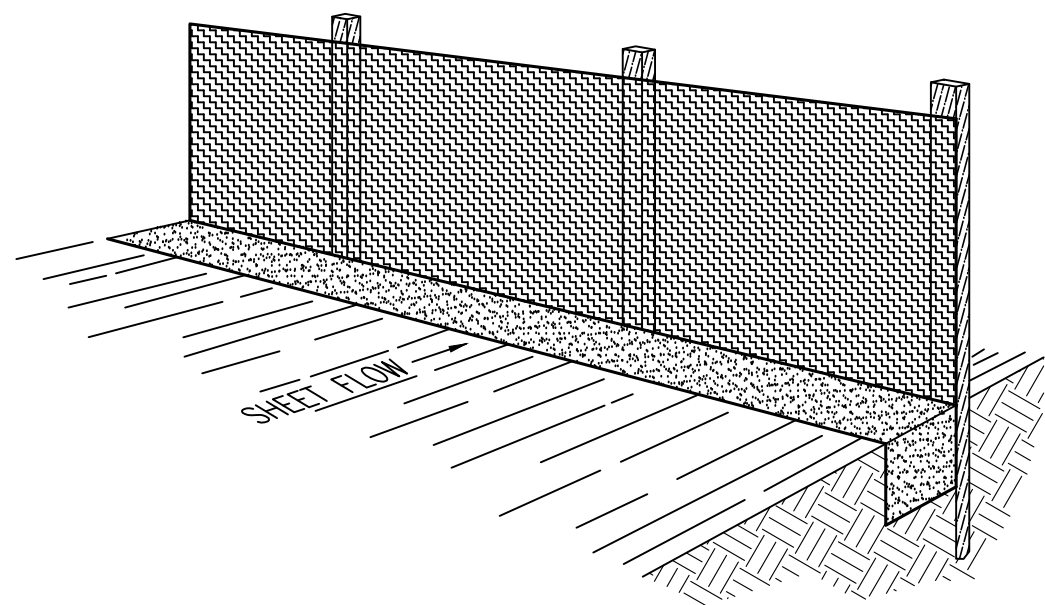
1/4/2016 | thunt | G:\5061\016 - Old Maple Forms Apts. So Weber\improvements\PA3\Old Maple Forms Apts P3 Imp.dwg Reeve & Associates, Inc. - Solutions You Can Build On

Notes:

- Describe all BMP's to protect storm water inlets:
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
 - Equipment / building / concrete wash areas:
To be performed in designated areas only and surrounded with silt fence barriers.
 - Soil contaminated by soil amendments:
If any contaminates are found or generated, contact environmental engineer and contacts listed.
 - Areas of contaminated soil:
If any contaminates are found or generated, contact environmental engineer and contacts listed.
 - Fueling area:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle maintenance areas:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle parking areas:
To be performed in designated areas only and surrounded with silt fence.
 - Equipment storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Materials storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Waste containment areas:
To be performed in designated areas only and surrounded with silt fence.
 - Service areas:
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
 - Maintenance
 - Maintain all construction equipment to prevent oil or other fluid leaks.
 - Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
 - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
 - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
 - Fueling
 - If fueling must occur on-site, use designated areas away from drainage.
 - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
 - Cover retention area with an impervious material and install in in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
 - Use drip pans for any oil or fluid changes.
 - Washing
 - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
 - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
 - Use phosphate-free, biodegradable soaps.
 - Do not permit steam cleaning on-site.
- Spill Prevention and Control
 - Minor Spills:
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
 - Contain the spread of the spill.
 - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
 - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up and properly dispose of contaminated soil.
 - If the spill occurs during rain, cover the impacted area to avoid runoff.
 - Record all steps taken to report and contain spill.
 - Major Spills:
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
 - Maintain good housekeeping practices.
 - Enclose or cover building material storage areas.
 - Properly store materials such as paints and solvents.
 - Store dry and wet materials under cover, away from drainage areas.
 - Avoid mixing excess amounts of fresh concrete or cement on-site.
 - Perform washout of concrete trucks offsite or in designated areas only.
 - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
 - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
 - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
 - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
 - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
 - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
 - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
 - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
 - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
 - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
 - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the engineer of record of the governing agency.
 - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the engineer of record.
 - Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
 - Erosion control devices will be modified as need as the project progresses and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
 - Part III.D.4 of general permit UTR300000 identifies the minimum inspection requirements.
 - Part II.D.4.C identifies the minimum inspection report requirements.
 - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.



Cross Section 50' x 20' Construction Entrance



Perspective View

Figure 2

INSTALLATION

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

TABLE 1: Recommended Maximum Slope Lengths for Silt Fence (Richardson & Middlebrooks, 1991)		
Slope Steepness (%)	Max. Slope Length m (ft)	
<2%	30.5m (100ft)	
2-5%	22.9m (75ft)	
5-10%	15.2m (50ft)	
10-20%	7.6m (25ft)	
>20%	4.5m (15ft)	

PREFABRICATED SILT FENCE ROLLS

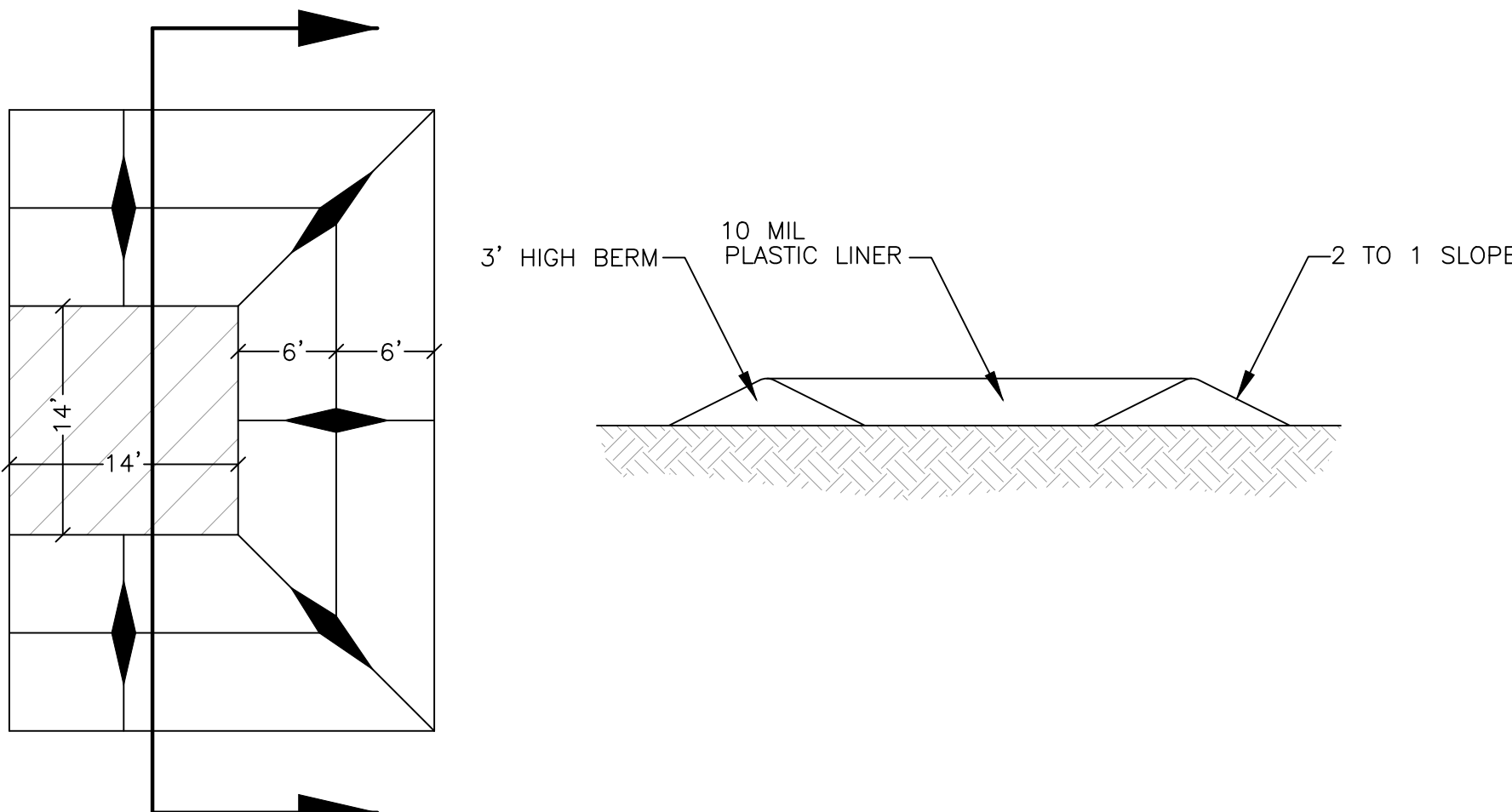
- *Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- *Unroll the silt fence, positioning the post against the downstream wall of the trench.
- *Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
- *Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
- *Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

FIELD ASSEMBLY:

- *Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- *Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing

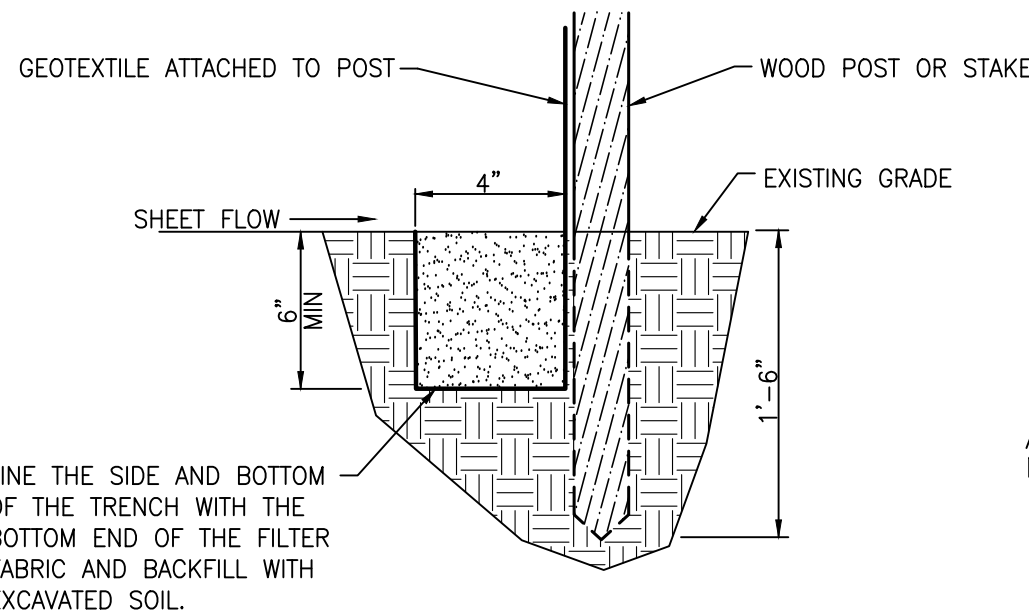
Silt Fence Detail

SCALE: NONE

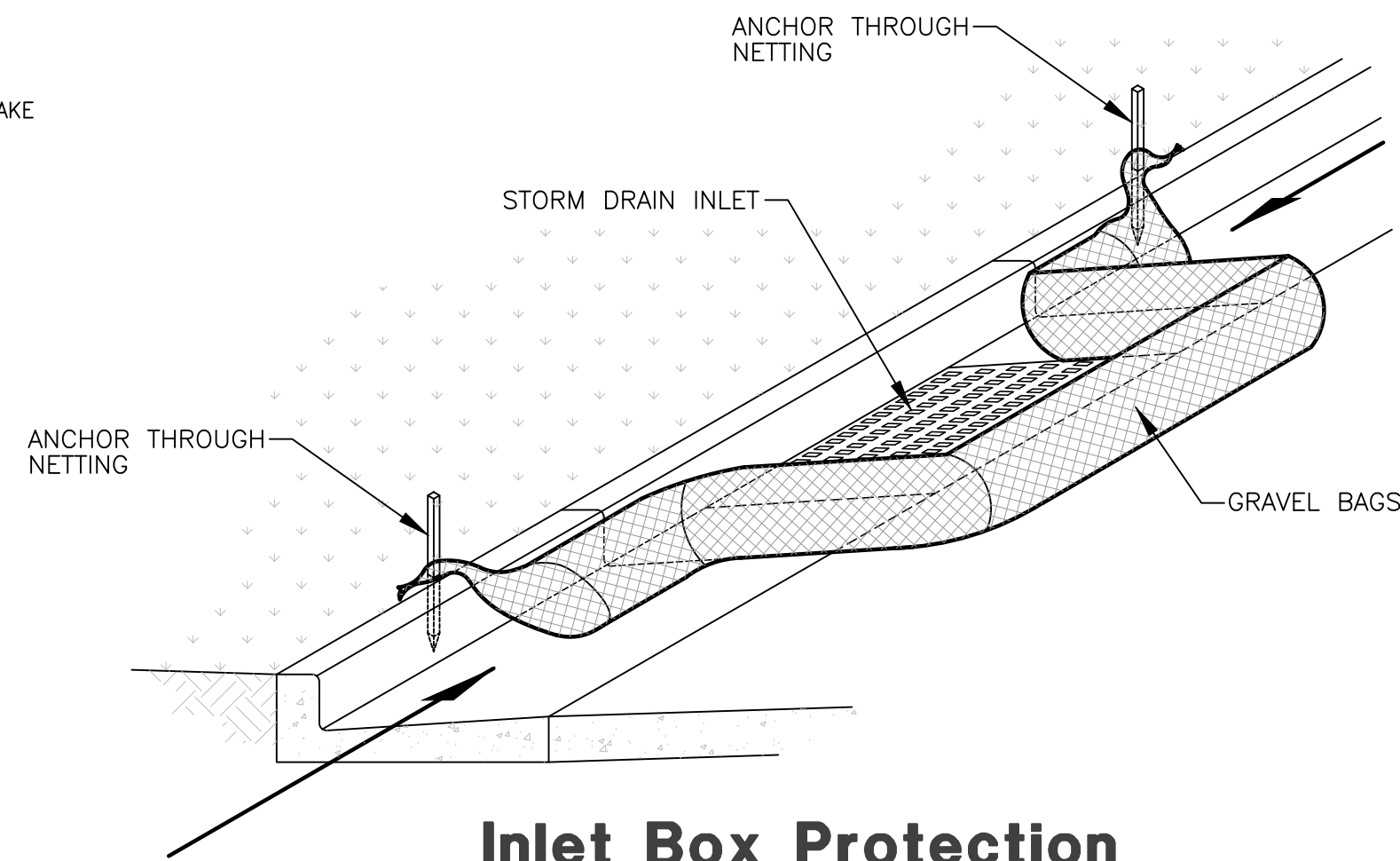


Concrete Washout Area
w/ 10 mil Plastic Liner

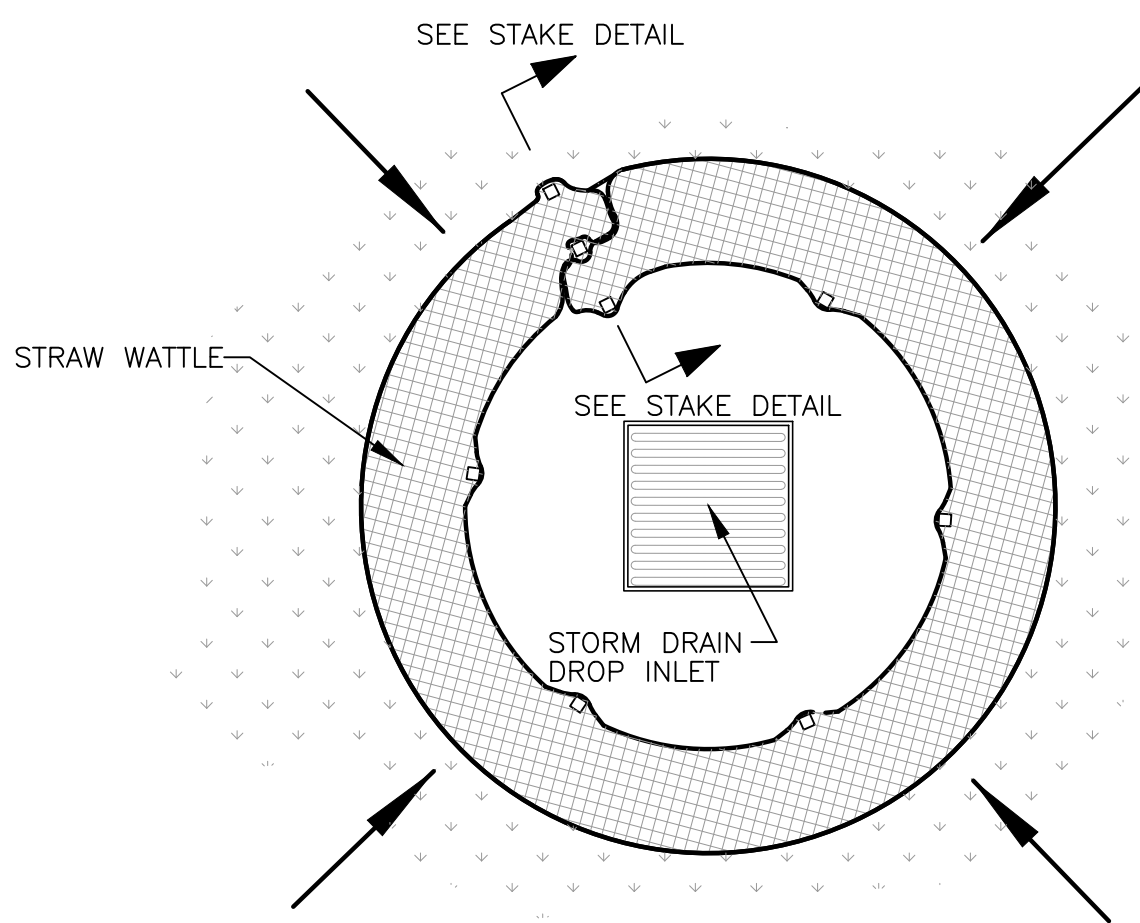
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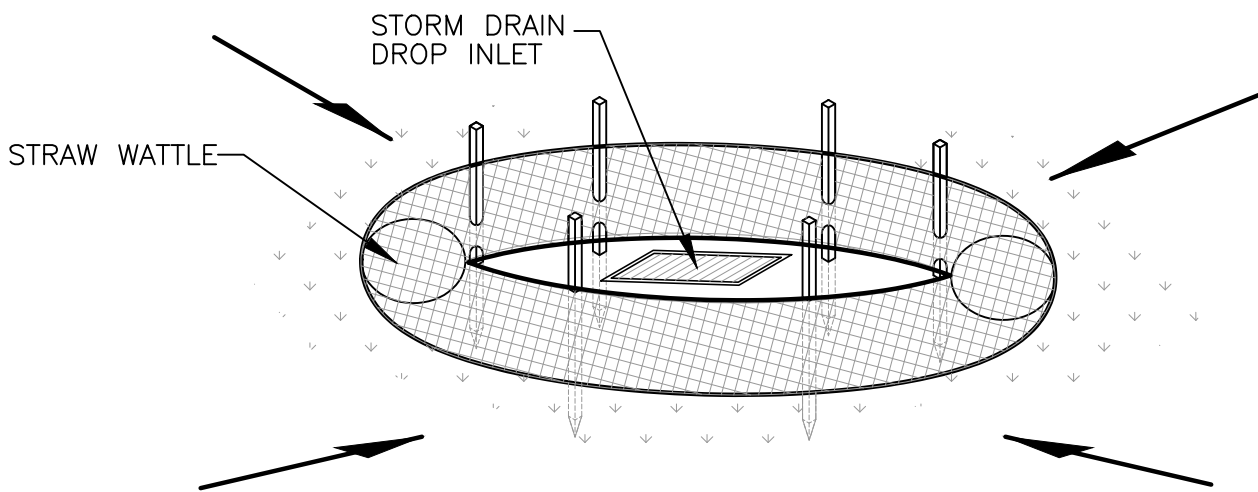
Section



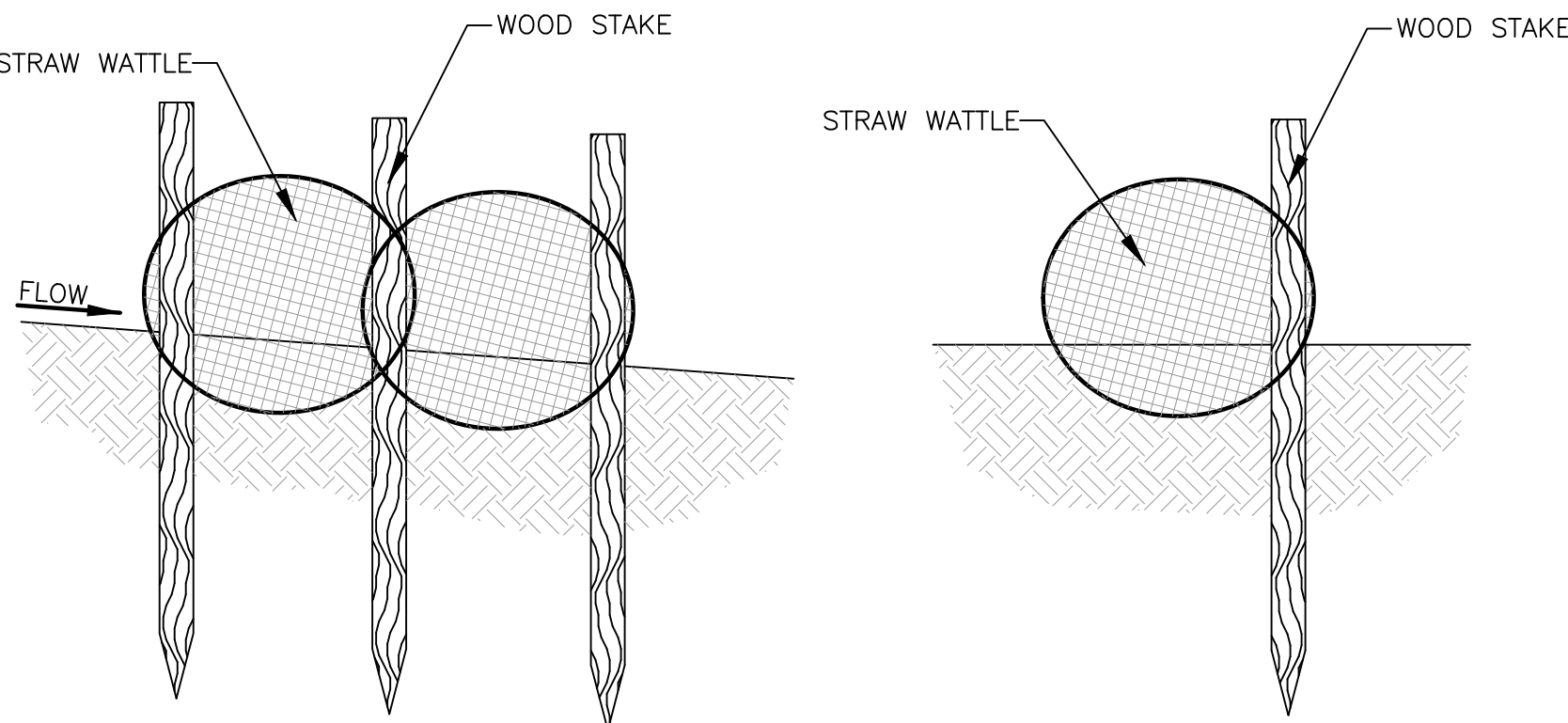
Inlet Box Protection



Plan View



Drop Inlet Protection



Stake Detail

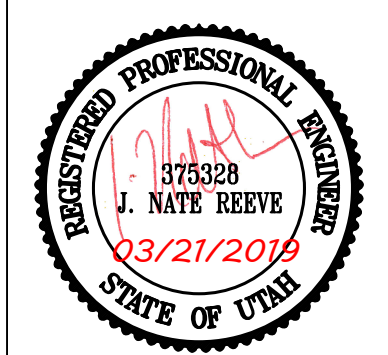


REVIEWS	DATE	DESCRIPTION
	11-14-17 CK	42" Irr. Change
	03-14-19 CK	City Review

Freedom Landing Townhomes Phase 3

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Storm Water Pollution Prevention Plan Details




Project Info.

Engineer:
J. NATE REEVE, P.E.
Drafter:
C. KINGSLEY
Begin Date:
OCTOBER 2017
Name:
FREEDOM LANDING
TOWNHOMES
PHASE 3
Number: 5061-C16

Sheet	9
9	Sheets

MEMORANDUM

TO: South Weber City Mayor and Council

FROM: Brandon K. Jones, P.E.
South Weber City Engineer 

CC: David Larsen – South Weber City Manager
Mark Larsen – South Weber City Public Works Director

RE: **FREEDOM LANDING TOWNHOMES PHASE 3**
Final Review

Date: March 21, 2019

Our office has completed a review of the Final Plat and Improvement Plans for the Freedom Landing Townhomes Phase 3, received today, March 21, 2019. We recommend approval, and have no additional comments.

GENERAL

1. No comments.

PLAT

2. No comments.

IMPROVEMENT PLANS

3. No comments.