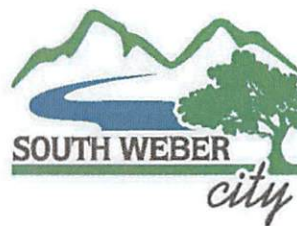


For Office Use Only

Fees received by: LL Date of submittal: 5/18/18
Amount Paid: 900 Receipt #: _____

Initial Review, all of the required supporting materials have been provided: _____

PC/CC Meeting Date: 6/14/18



Final Plan Application

Project/Subdivision Name: HIDDEN VALLEY MEADOWS PHASE 3

Approx. Location: 6825 SOUTH 475 EAST

Parcel Number(s): 13-023-0118 & 0183 Total Acres: 1.98 acres

Current Zone: R-LM

Surrounding Land Uses: RESIDENTIAL

Number of Lots: 6 LOTS # Lots Per Acre: 3.03

Phase: 3 of 3 PUD: Yes / No _____

Contact Information

Developer or Agent

Name: BRUCE NILSON
Company Name: NILSON HOMES
Address: 5617 SOUTH 1475 EAST
City/State/Zip: OGDEN, UT 84403
Phone: 801-392-8100 Fax: 801-399-0802
Email: bruce@nilsonhmoes.com

Best Way/Preferred Method of Contact:

☒ Email ☐ Phone ☐ Fax ☐ Mail

Developer's Engineer

Name: J. NATE REEVE
Company: REEVE & ASSOCIATES, INC
License #: 375328
Address: 5160 SOUTH 1500 WEST
City/State/Zip: RIVERDALE, UT 84405
Phone: 801-621-3100 Fax: 801-621-2666
Email: nreeve@reeve-assoc.com

Best Way/Preferred Method of Contact:

☒ Email ☐ Phone ☐ Fax ☐ Mail

Surveyor

☒ Check here if same as Engineer

Name: _____
Company: _____
License #: _____
Address: _____
City/State/Zip: _____
Phone: _____ Fax: _____
Email: _____

Property Owner(s)

☐ Check here if same as Developer

Name: BRENT LESLIE WINCHESTER, TR
Address: _____
City/State/Zip: _____
Phone: _____ Fax: _____
Email: _____

Final Plan Requirements

- ☐ Complete all conditions/requirements set by the Planning Commission at Preliminary Approval
- ☐ Finalized Draft of Covenants, Conditions, and Restrictions (if applicable)
- ☐ Finalized Storm Drain Calculations
- ☐ Any applicable agreements finalized, signed, and proof of recording with county provided (agreements with South Weber City must be finalized and remain unsigned)
- ☐ Finalized set of certified, stamped construction drawings and specifications as prepared by a licensed civil engineer**

**One full sized (24" x 36"), one reduced (11" x 17"), and one electronic PDF form shall be submitted of the following (the north area to point up or to the left):

- ☐ Format of Final Plat for Recording Required by the County

*All plans must be prepared and stamped by a licensed and/or certified professionals including, but not limited to, architects, landscape architects, land planners, engineers, surveyors, transportation engineers or other professionals as deemed necessary by the City Planner.

Applicant Certification


I certify under penalty of perjury that this application and all information submitted as a part of this application are true, complete, and accurate to the best of my knowledge. I also certify that I am the owner of the subject property and that the authorized agent noted in this application has my consent to represent me with respect to this application. Should any of the information or representations submitted in connection with this application be incorrect or untrue, I understand that The City of South Weber may rescind any approval, or take any other legal or appropriate action. I also acknowledge that I have reviewed the applicable sections of the South Weber City Land Development Code and that items and checklists contained in this application are basic and minimum requirements only and that other requirements may be imposed that are unique to individual projects or uses. Additionally, I agree to pay all fees associated with this project, as set by the current adopted Consolidated Fee Schedule as well as any fees associated with any City Consultant (i.e. engineer, attorney). The applicant shall also be responsible for all collection fees incurred including a collection fee of up to 40% (pursuant to the provisions of the Utah Code Ann. §12-1-11). I also agree to allow the Staff, Planning Commission, or City Council or appointed agent(s) of the City to enter the subject property to make any necessary inspections thereof.

Applicant's Signature: Bruce Lubin Date: 5/17/18

Property Owner's Signature: Bobby Winkler Date: MAY 18

MEMORANDUM

TO: South Weber City Planning Commission

FROM: Brandon K. Jones, P.E.
South Weber City Engineer 

CC: Barry Burton – South Weber City Planner
Mark Larsen – South Weber City Public Works Director
Lisa Smith – South Weber City Planning Coordinator

**RE: HIDDEN VALLEY MEADOWS, PHASE 3 SUBDIVISION
Amended Preliminary and Final Review**

Date: June 7, 2018

Our office has completed a review of the amended preliminary plans received on May 17, 2018. The purpose of the amended preliminary is to include the lots now shown as Phase 3. We have also reviewed the Final Plat and Improvement Plans for the Hidden Valley Meadows, Phase 3 Subdivision, also received on May 17th. We recommend approval, subject to the following comments and items being addressed prior to final approval from the City Council.

GENERAL

1. A letter is needed from the geotechnical engineer in order to produce the numbers for the Basement Table on the plat (similar to the letter provided with Phases 1 and 2).
2. An approval letter from the South Weber Irrigation Company is needed.

PLAT

3. The following are the addresses:
 - a. Lot 301-R: 456 East
 - b. Lot 302-R: 432 East
 - c. Lot 303-R: 408 East
 - d. Lot 304-R: 405 East
 - e. Lot 305-R: 429 East
 - f. Lot 306-R: 459 East
4. The depths for the Basement Table need to be acquired and filled in.
5. The fences should be removed from the plat. Only current and proposed property lines should be shown.

IMPROVEMENT PLANS

- The improvements are a part of and were approved with Phase 2. We have no further comments.



Community and Economic Development

Davis County Administration Building - 61 S. Main Street - Farmington Utah 84025
Telephone: (801) 451-3279- Fax: (801) 451-3281
Barry Burton/Director

HIDDEN VALLEY MEADOWS AMENDED PRELIMINARY/ PHASE 3 FINAL PLAT

REQUEST: Approval of a revised Preliminary Plat

PRELIMINARY PLAT: The preliminary plat has been revised by adding Phase 3 which is in two parcels on either side of a connector road to 475 East that is part of Phase 2. Phase 3 consists of 6 additional lots ranging in size from just over 10,000 square feet to almost 20,000. The lots are in conformance with zone requirements.

STAFF RECOMMENDATION: I have no issues with the Revised Preliminary Plat and recommend approval.

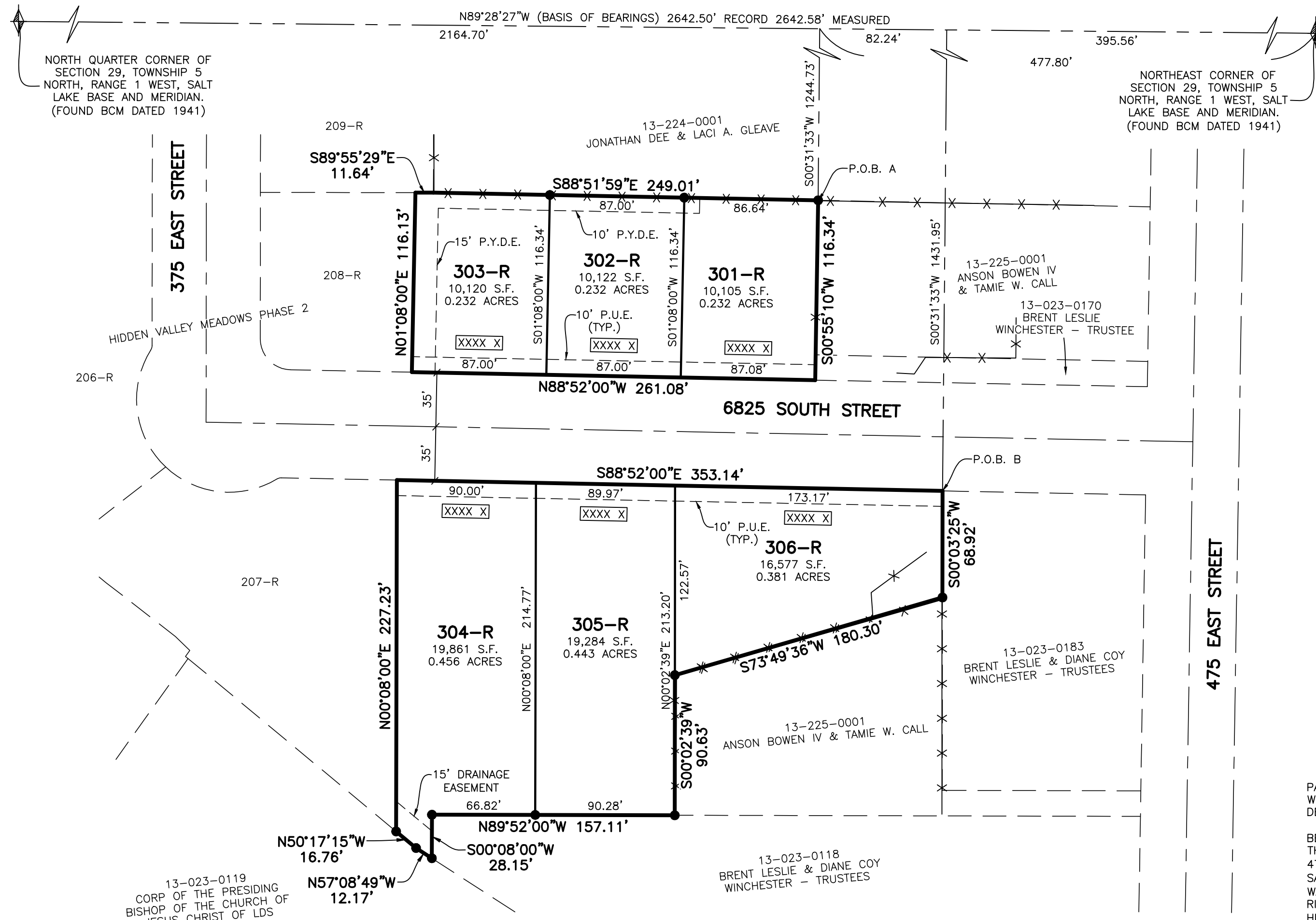
REQUEST: Approval Phase 3 of Hidden Valley Meadows Subdivision.

FINAL PLAT: There really isn't much to say about this one. All the improvements necessary for this phase were actually approved as part of Phase 2. This property was rezoned in February to R-LM in preparation for Phase 3. The only recommendation I would make is that the developer be required to establish a maximum basement depth chart as was done in the other phases as the land drain depth allows and as approved by the City Engineer.

STAFF RECOMMENDATION: I recommend approval of the final plat for Phase 3 if the maximum basement depth chart is included on the plat as stated above.

Hidden Valley Meadows Phase 3

PART OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
CITY OF SOUTH WEBER, DAVIS COUNTY, UTAH – MAY, 2018



DEVELOPER INFORMATION

HIDDEN VALLEY MEADOWS
COMMUNITY, LLC
5617 S. 1475 E.
ODGEN, UT 84403

VICINITY MAP

(NOT TO SCALE)

LEGEND

- = SECTION CORNER
- = SET 5/8" REBAR & PLASTIC CAP STAMPED "REEVE & ASSOCIATES"
- = BOUNDARY LINE
- = LOT LINE
- = ADJOINING PROPERTY
- = EXISTING FENCE
- = RIGHT-OF-WAY CENTER LINE
- = SECTION TIE LINE
- = 10' P.U.E. (TYP.)
- = PUBLIC UTILITY EASEMENT
- = PRIVATE YARD DRAIN EASEMENT

Scale: 1" = 60'

BOUNDARY DESCRIPTION

PART OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT, SAID POINT BEING N89°28'27"W ALONG THE LINE BETWEEN THE NORTHEAST CORNER AND THE NORTH QUARTER CORNER OF SAID SECTION 29, 477.80 FEET AND S00°31'33"W 1244.73 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 29; THENCE S00°55'10"W 116.34 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF 6825 SOUTH STREET; THENCE N88°52'00"W ALONG SAID NORTHERLY RIGHT OF WAY LINE, 261.08 FEET TO THE SOUTHEAST CORNER OF LOT 208-R OF HIDDEN VALLEY MEADOWS PHASE 2; THENCE N01°08'00"E ALONG THE EASTERLY LINE OF SAID LOT 108-R, 116.13 FEET TO THE NORTHEAST CORNER OF SAID LOT 108-R; THENCE S89°55'29"E 11.64 FEET; THENCE S88°51'59"E 249.01 FEET TO THE POINT OF BEGINNING. CONTAINING 30,347 SQUARE FEET OR 0.697 ACRES MORE OR LESS.

TOGETHER WITH:

PART OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT, SAID POINT BEING N89°28'27"W ALONG THE LINE BETWEEN THE NORTHEAST CORNER AND THE NORTH QUARTER CORNER OF SAID SECTION 29, 395.56 FEET AND S00°31'33"W 1431.95 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 29; THENCE S00°03'25"W 68.92 FEET; THENCE S73°49'36"W 180.30 FEET; THENCE S00°02'39"W 90.63 FEET; THENCE N89°52'00"W 157.11 FEET; THENCE S00°08'00"W 28.15 FEET; THENCE N57°08'49"W 12.17 FEET; THENCE N50°17'15"W 16.76 FEET TO THE SOUTHEAST CORNER OF LOT 207-R OF HIDDEN VALLEY MEADOWS PHASE 2; THENCE N00°08'00"E ALONG THE EASTERLY LINE OF SAID LOT 207-R, 227.23 FEET TO THE NORTHEAST CORNER OF SAID LOT 207-R AND THE SOUTHERLY RIGHT OF WAY LINE OF 6825 SOUTH STREET; THENCE S88°52'00"E ALONG SAID SOUTHERLY RIGHT OF WAY LINE, 353.14 FEET TO THE POINT OF BEGINNING. CONTAINING 55,722 SQUARE FEET OR 1.279 ACRES MORE OR LESS.

ENTIRE BOUNDARY CONTAINING 86,069 SQUARE FEET AND 1.976 ACRES

NARRATIVE

THE PURPOSE OF THIS PLAT IS TO DIVIDE THIS PROPERTY INTO LOTS AND STREETS AS SHOWN ON THIS PLAT. THE BOUNDARY WAS DETERMINED BY DEED AND OCCUPATION AND BY USING THE MONUMENTS SHOWN HEREON. REAR LOT CORNERS WERE SET WITH A 3/8" REBAR AND PLASTIC CAP STAMPED "REEVE & ASSOCIATES". ALL FRONT LOT CORNERS WERE SET WITH A LEAD PLUG IN THE TOP BACK OF CURB AT THE EXTENSION OF THE SIDE LOT LINES.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS PLAT IS THE NORTH SECTION LINE BETWEEN THE NORTHEAST CORNER AND THE NORTH QUARTER CORNER OF SECTION 29, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. SHOWN HEREON AS N89°28'27"W

NOTES

1. ALL LOTS ARE SUBJECT TO THE REQUIREMENTS OF THE GEOTECHNICAL REPORT PREPARED BY GSH, DATED AUGUST 18, 2016, AND THE REVISION LETTER FROM CMT ENGINEERING DATED FEBRUARY 12, 2018.

2. R = BASEMENTS ARE ALLOWED, BUT ONLY TO THE MAXIMUM DEPTH AS SHOWN IN THE "BASEMENT TABLE." THIS DEPTH REPRESENTS THE TOP OF FLOOR SLAB DEPTH BELOW TOP BACK OF CURB IN FEET, AND ALSO REPRESENTS 18 INCHES FROM THE TOP OF FLOOR SLAB TO THE LAND DRAIN LATERAL INVERT. ALL HOMES MUST INSTALL A FOOTING AND FOUNDATION DRAIN AND CONNECT TO THE LAND DRAIN SYSTEM PROVIDED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.

BASEMENT TABLE

LOT	TOP OF FLOOR SLAB DEPTH BELOW TOP BACK OF CURB (FEET)
301	X
302	X
303	X
304	X
305	X
306	X

SOUTH WEBER CITY PLANNING COMMISSION

APPROVED THIS _____ DAY OF _____, 20____ BY THE SOUTH WEBER CITY PLANNING COMMISSION.

CHAIRMAN, SOUTH WEBER CITY PLANNING COMMISSION

SOUTH WEBER CITY ENGINEER

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

SOUTH WEBER CITY ENGINEER DATE

SOUTH WEBER CITY COUNCIL

PRESENTED TO THE SOUTH WEBER CITY COUNCIL THIS THE _____ DAY OF _____, 20____ AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

SOUTH WEBER CITY MAYOR ATTEST: CITY RECORDER

SOUTH WEBER CITY ATTORNEY

APPROVED BY THE SOUTH WEBER CITY ATTORNEY THIS THE _____ DAY OF _____, 20____.

SOUTH WEBER CITY ATTORNEY

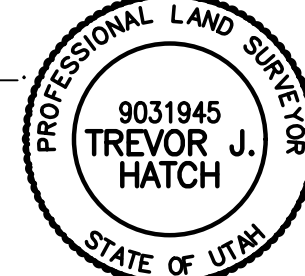
SURVEYOR'S CERTIFICATE

I, **TREVOR J. HATCH**, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF **HIDDEN VALLEY MEADOWS PHASE 3** IN **SOUTH WEBER CITY, DAVIS COUNTY, UTAH**, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE **DAVIS COUNTY** RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND, I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **SOUTH WEBER CITY, DAVIS COUNTY** CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 20____.

9031945

UTAH LICENSE NUMBER



OWNERS DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THE PLAT AND NAME SAID TRACT **HIDDEN VALLEY MEADOWS, PHASE 3**, AND DO HEREBY DEDICATE, GRANT AND CONVEY TO SOUTH WEBER CITY, DAVIS COUNTY, UTAH, ALL PARTS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER; AND ALSO DEDICATE TO SOUTH WEBER CITY THOSE CERTAIN STRIPS AS EASEMENTS FOR PUBLIC UTILITY AND DRAINAGE PURPOSES AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE AS MAY BE AUTHORIZED BY SOUTH WEBER CITY.

SIGNED THIS _____ DAY OF _____, 20____.

BRUCE NILSON – HIDDEN VALLEY MEADOWS COMMUNITY, LLC

ACKNOWLEDGMENT

STATE OF UTAH)ss.
COUNTY OF _____)

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ BEING BY ME DULY SWORN,

ACKNOWLEDGED TO ME HE IS _____ OF SAID LIMITED LIABILITY COMPANY AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES

NOTARY PUBLIC

PROJECT INFORMATION

Surveyor: **T. HATCH**
Designer: **N. ANDERSON**
Begin Date: **05-11-18**
Project Name: **HIDDEN VALLEY MEADOWS PHS. 3**
Number: **1301-D19**
Scale: **1"=60'**
Revision: _____
Checked: _____

DAVIS COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____ FILED FOR RECORD
AND RECORDED, _____ AT _____ IN BOOK _____ OF THE OFFICIAL RECORDS, PAGE _____

RECORDED FOR:

DAVIS COUNTY RECORDER

DEPUTY,





REVISIONS	
<u>DATE</u>	<u>DESCRIPTION</u>

Hidden Valley Meadows

PART OF THE NE 1/4 OF SECTION 29, T.5N., R.1W., S.1B & M., U.S. SURVEY
SOUTH WEBER CITY DAVIS COUNTY UTAH

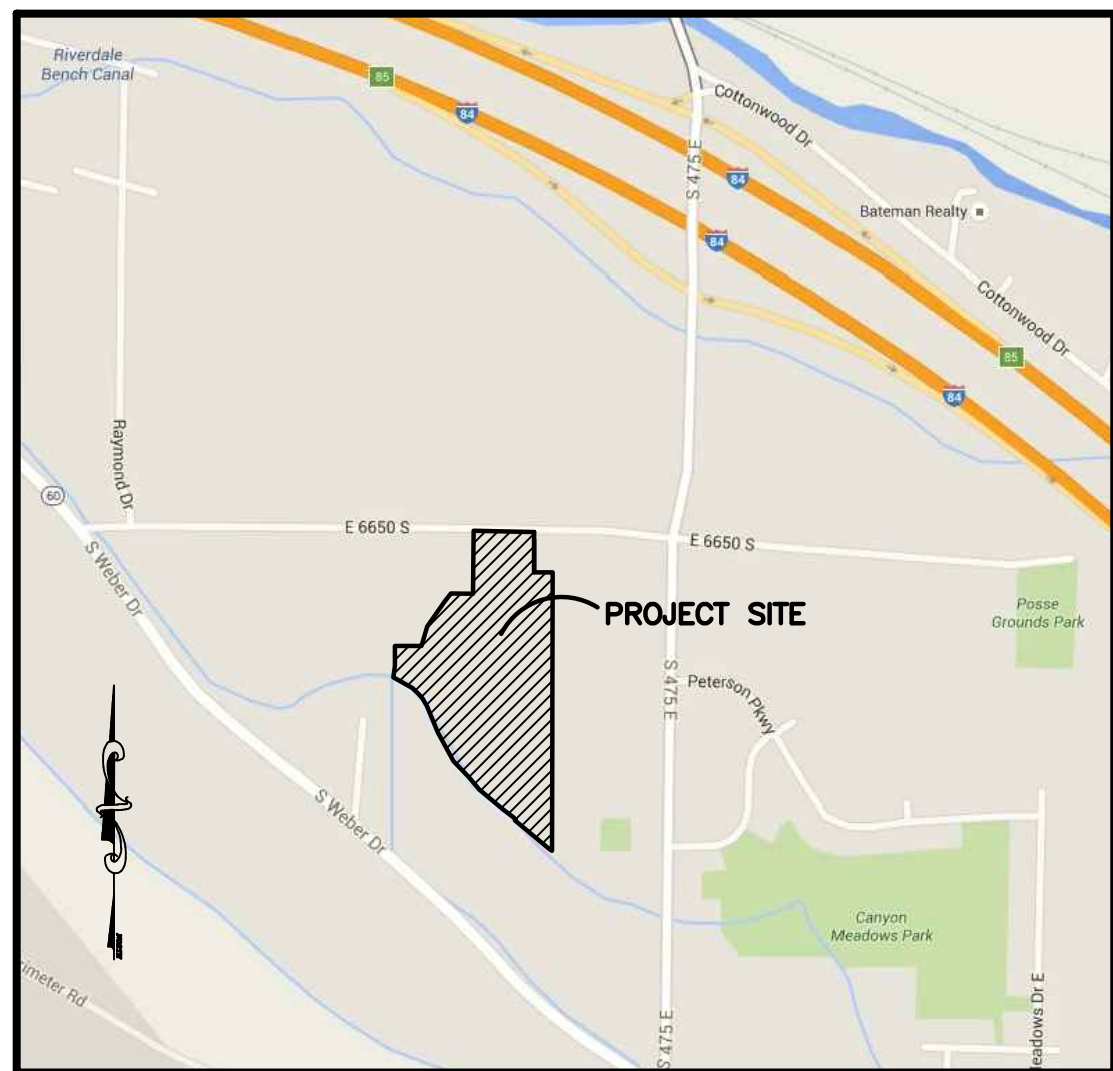
Preliminary Plat - Amended 'Not to be Recorded'

Revised: 5-15-18

Project Info.

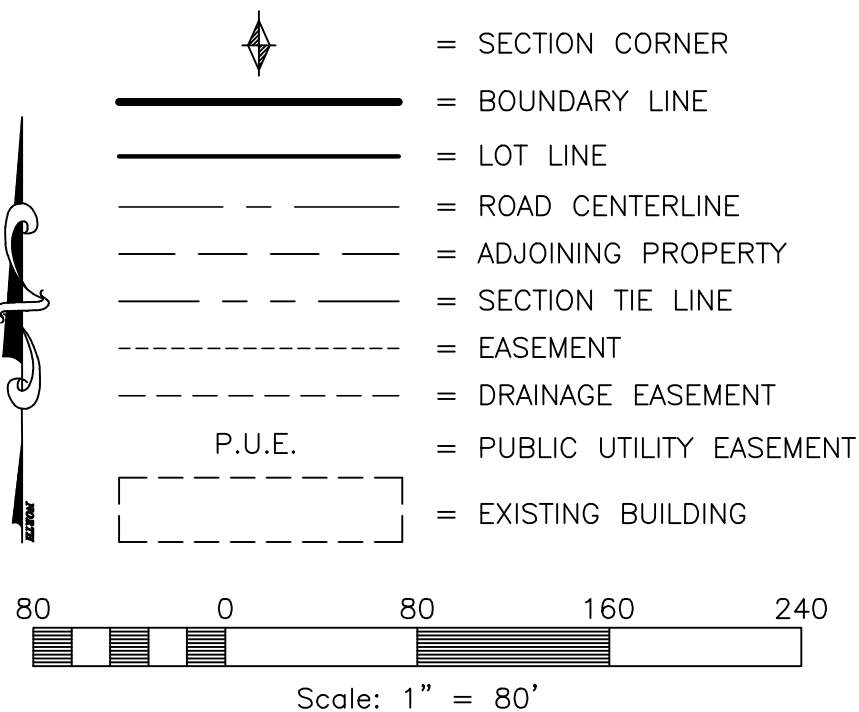
Engineer: N. Reeve
Designer: C. Cave
Begin Date: 11-16-16
Name: HIDDEN VALLEY MEADOWS
Number: 1301-D19

Sheet	2
1	Sheets



VICINITY MAP
SCALE: NONE

LEGEND

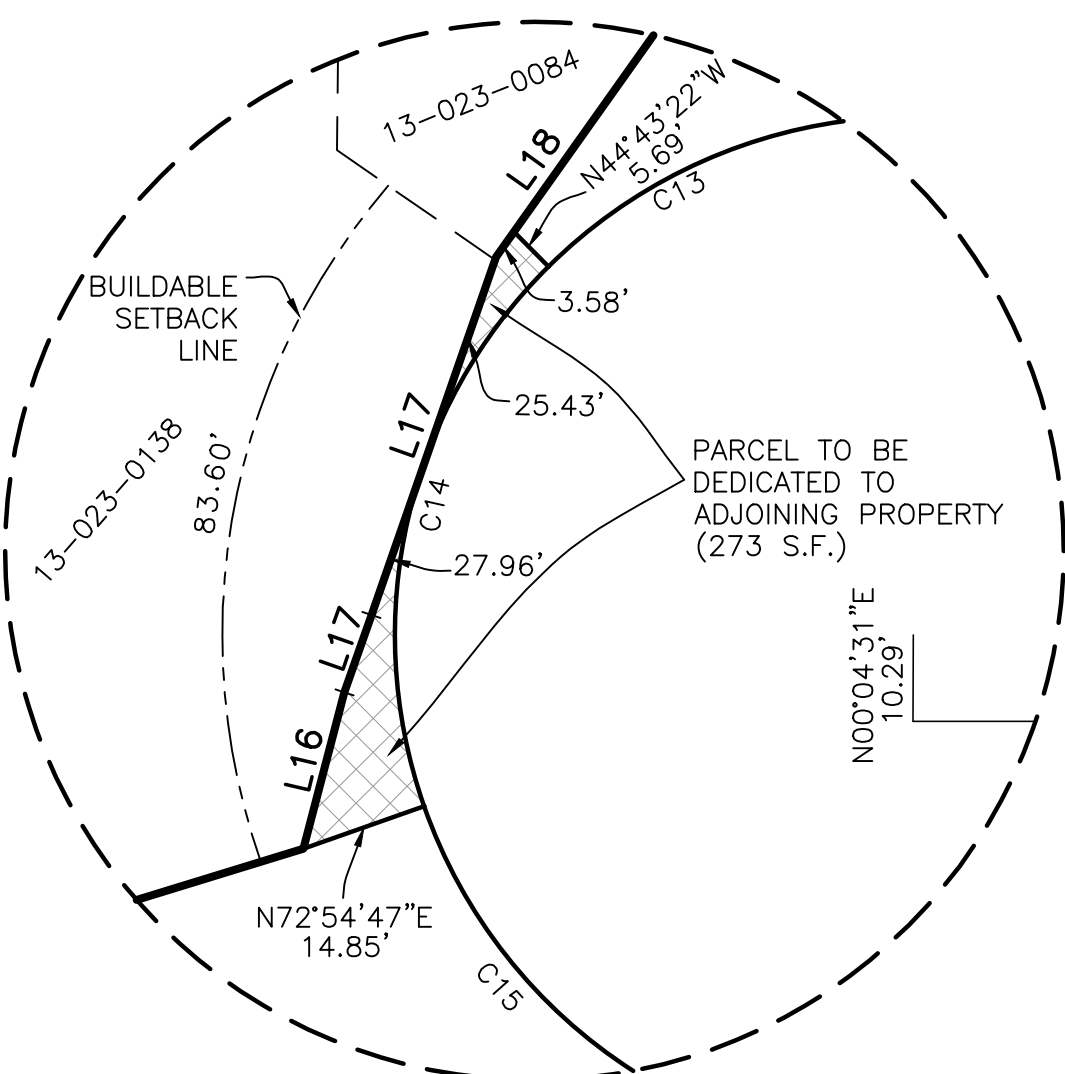


**ZONE: RLM (RESIDENTIAL
LOW-MODERATE DENSITY ZONE)**

FRONT SETBACK: 20 FEET
SIDE SETBACK: 10 FEET MIN.
SIDE SETBACK FRONTING ON A STREET: 20 FEET
REAR SETBACK: 25 FEET

DESIGN DATA

TOTAL AREA.....13.72 ACRES
13.72 ACRES X 1.85 = 25.38 DENSITY
1.82 UNITS PER ACRE



DETAIL 'A'
SCALE: NONE

BOUNDARY DESCRIPTION

PART OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 5
NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, U.S. SURVEY.
DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE CENTERLINE OF 6650 SOUTH STREET, SAID POINT BEING N89°28'27"W ALONG THE SECTION LINE BETWEEN THE NORTH QUARTER CORNER AND THE NORTHEAST CORNER OF SAID SECTION 29, 1074.31 FEET AND S00°31'33"W 294.71 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 29; AND RUNNING THENCE S88°44'15"E 260.73 FEET; THENCE S00°34'31"W 144.61 FEET; THENCE S89°37'18"E 81.58 FEET; THENCE S00°08'00"W 599.61 FEET; THENCE S00°08'21"W 100.01 FEET; THENCE S00°08'00"W 100.02 FEET; THENCE S88°51'59"E 249.01 FEET; THENCE S00°55'10"W 116.34 FEET; THENCE S88°52'00"E 214.90 FEET; THENCE S00°05'50"W 70.00 FEET; THENCE N88°52'00"W 131.38 FEET; THENCE S00°03'25"W 68.92 FEET; THENCE S73°49'36"W 180.30 FEET; THENCE S00°02'39"W 90.63 FEET; THENCE N89°52'00"W 157.11 FEET; THENCE S00°08'00"W 28.15 FEET; THENCE N57°08'49"W 12.17 FEET; THENCE N50°17'15"W 177.16 FEET; THENCE N35°09'56"E 4.77 FEET; THENCE N46°00'41"W 12.90 FEET; THENCE N52°11'17"W 56.66 FEET; THENCE N50°19'43"W 133.30 FEET; THENCE N40°15'39"W 68.56 FEET; THENCE N44°00'58"W 97.72 FEET; THENCE N28°08'52"W 142.22 FEET; THENCE N22°47'21"W 122.35 FEET; THENCE N3°00'28"W 36.10 FEET; THENCE N40°43'12"W 25.52 FEET; THENCE N45°10'01"W 34.70 FEET; THENCE N03°12'42"E 12.43 FEET; THENCE N66°42'12"E 38.56 FEET; THENCE N71°56'56"W 43.01 FEET; THENCE N00°56'00"E 3.11 FEET; THENCE N90°00'00"W 3.00 FEET; THENCE N00°56'00"E 30.00 FEET; THENCE N90°00'00"W 1.53 FEET; THENCE N00°40'35"E 91.84 FEET; THENCE N72°54'42"W 121.62 FEET; THENCE N14°44'36"E 18.72 FEET; THENCE N19°12'23"W 53.39 FEET; THENCE N35°23'23"E 55.01 FEET; THENCE N33°28'10"W 40.06 FEET; THENCE N30°27'53"E 28.88 FEET; THENCE N37°13'15"E 42.05 FEET; THENCE N33°34'52"E 8.33 FEET; THENCE S88°44'15"E 96.71 FEET; THENCE N00°39'45"E 272.25 FEET TO THE POINT OF BEGINNING.

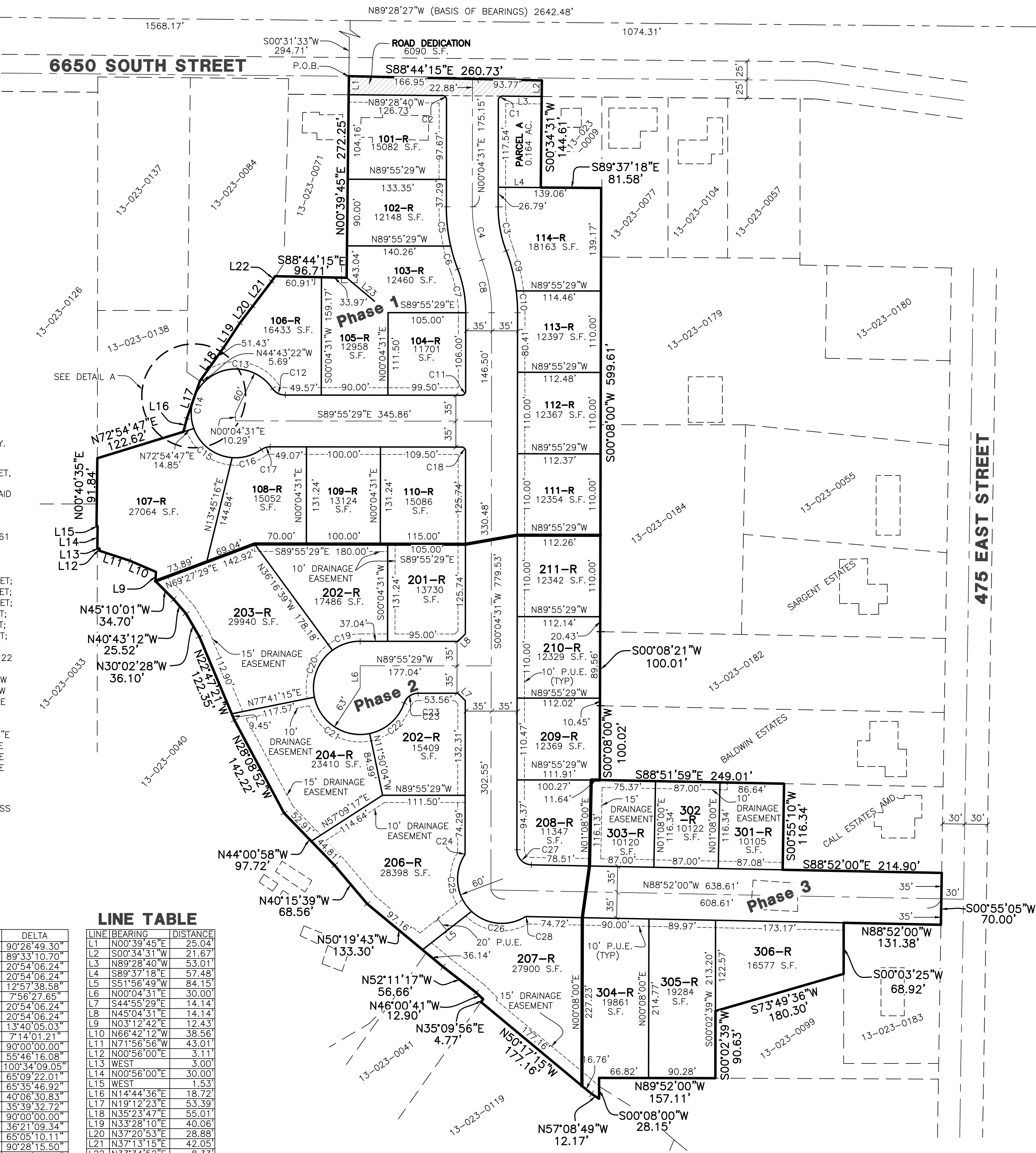
CONTAINING 676613 SQUARE FEET OR 15.533 ACRES MORE OR LESS

CURVE TABLE

#	RADIUS	ARC LENGTH	CHD LENGTH	TANGENT	CHD BEARING	DELTA
C1	5.50	8.68	7.81	5.54	S45°17'55" W	90°26'49.30"
C2	5.50	8.60	7.75	5.46	S44°42'05" E	89°33'10.70"
C3	165.00	60.19	59.86	30.43	N10°22'32" W	20°54'06.24"
C4	200.00	72.96	72.56	36.89	N10°22'32" W	20°54'06.24"
C5	235.00	53.16	53.05	26.69	S06°24'19" E	12°57'38.58"
C6	235.00	32.57	32.54	16.31	S16°51'22" E	7°56'27.65"
C7	165.00	60.19	59.86	30.43	N10°22'32" W	20°54'06.24"
C8	200.00	72.96	72.56	36.89	N10°22'32" W	20°54'06.24"
C9	235.00	56.08	55.98	28.88	S06°24'19" E	13°40'05.03"
C10	235.00	29.67	29.65	14.85	S03°32'30" W	7°14'01.21"
C11	5.50	8.64	7.78	5.50	S45°04'31" W	90°00'00.00"
C12	20.00	19.47	18.71	10.58	S62°02'21" E	55°46'16.08"
C13	60.00	105.32	92.31	72.23	S84°26'18" E	100°34'09.05"
C14	60.00	68.23	64.61	38.34	N12°41'57" E	65°09'22.11"
C15	60.00	68.29	65.00	38.66	S52°40'38" E	65°35'46.92"
C16	60.00	42.00	41.15	21.90	N74°28'13" E	40°06'30.83"
C17	60.00	128.97	117.24	72.23	N12°41'57" E	100°34'09.05"
C18	5.50	8.64	7.78	5.50	N44°55'29" W	90°00'00.00"
C19	63.00	39.97	39.20	20.68	S71°53'56" W	36°21'09.34"
C20	63.00	71.57	67.78	40.20	S21°10'46" W	65°05'10.11"
C21	63.00	99.48	89.46	63.52	N56°35'57" W	90°28'15.50"
C22	63.00	64.99	62.15	35.72	N48°36'44" E	59°06'23.29"
C23	20.00	24.79	23.23	14.27	N54°34'02" E	71°00'58.23"
C24	5.50	3.08	3.04	1.58	N10°06'51" E	32°04'30.89"
C25	60.00	82.55	76.19	49.35	S07°15'5" E	78°49'30.63"
C26	60.00	77.8	71.8	49.35	S84°34'18" W	78°49'30.63"
C27	20.00	31.05	28.02	19.63	S44°23'45" E	88°56'30.64"
C28	5.50	3.08	3.04	1.58	S75°05'40" W	32°04'30.89"

LINE TABLE

LINE	BEARING	DISTANCE
L1	N00°39'45"E	25.04
L2	S00°34'31"W	21.67
L3	N89°28'40"W	53.01
L4	S89°37'18"E	57.48
L5	S51°56'49"W	84.15
L6	N40°14'31"E	10.00
L7	S44°55'29"E	14.00
L8	N45°04'31"E	14.14
L9	N03°12'42"E	12.43
L10	N66°42'12"W	38.56
L11	N71°56'56"W	43.01
L12	N00°56'00"E	3.11
L13	WEST	3.00
L14	N00°56'00"E	30.00
L15	WEST	1.53
L16	N14°44'36"E	18.72
L17	N31°12'29"E	53.59
L18	N35°58'10"E	58.39
L19	N33°28'10"E	40.06
L20	N37°20'53"E	28.88
L21	N37°13'15"E	42.05
L22	N33°34'52"E	8.33
L23	S49°57'44"E	73.12



— NORTHEAST CORNER OF
SECTION 29, TOWNSHIP 5
NORTH, RANGE 1 WEST,
SALT LAKE BASE &
MERIDIAN, U.S. SURVEY.
FOUND BRASS CAP
MONUMENT MARKED 1941

Hidden Valley Meadows

South Weber City, Davis County, Utah

Developer:

Nilson Homes
5617 South 1475 East
Ogden, UT. 84403
(801) 392-8100

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Community and Economic Development

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Telephone: (801) 451-3279- Fax: (801) 451-3281
Barry Burton/Director

11.04.130 Fencing

- A. ~~Bordering Agricultural Land: Where land used for agricultural purposes lies adjacent to a subdivision, a six foot (6') high fence is required between the subdivision and the agricultural land.~~ Where land zoned A, Agricultural, lies adjacent to a subdivision, a six foot (6') high fence is required between the subdivision and the Agricultural zoned land. The purpose of the fence is to provide a reasonable barrier so that residents of, or visitors to, the subdivision are not inadvertently exposed to the dangers of the farm or livestock. Fencing required under this provision is not for the purpose of keeping livestock out of the subdivision. Responsibility for keeping livestock contained on the agricultural property remains the responsibility of the owner of that livestock. After receiving a recommendation from the planning commission, the city council may require any type of fence that provides a reasonable barrier to humans. Required fences shall be installed entirely within the subdivision property unless a property line fence is agreed to by the owner of the adjoining agricultural property by written agreement signed by all property owners involved. Such agreement shall be provided to the city prior to final plat approval by the city council.
- B. Bordering Canals: Where a subdivision borders a canal or canal right of way, a six foot (6') high fence is required between the subdivision and the canal. After receiving a recommendation from the planning commission, the city council may require any type of fence that provides a reasonable barrier to humans so residents of, or visitors to, the subdivision are not inadvertently exposed to the dangers of the canal. In order for the barrier to be effective, fencing of other subdivision borders may be required by the city council.
- C. Where building lots for any land use are adjacent to Interstate 84 a six foot (6') masonry fence shall be constructed along the common property line with I-84. This is for safety from wildfire and to provide some protection from auto accidents.
- D. The Planning Commission shall have the authority to waive or vary these requirements where it, in their opinion, will not compromise safety and does not accomplish the intent of the fence.

Fences shall be constructed so that individual property owners are responsible for maintaining only their portion of the fence; with posts located at all property corners. Required fencing shall be considered part of the subdivision improvements and subject to bonding requirements. The city council has final approval on fence requirements.

Adopted by Ord. 2005-7 on 10/11/2005



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PROPOSED ORDINANCE AMENDMENTS DELETING BUFFER YARDS AND ADOPTING FENCING REQUIREMENTS

It is proposed that the following amendments be made to Title 10 of the South Weber Code:

10.5C.11 Landscaping Requirements

- A. General Landscaping: At least fifteen percent (15%) of the total site shall be thoroughly landscaped, including an irrigation system to maintain such landscaping. Landscaping shall meet the requirements of SWMC 10.15. For use of exceptional design and materials, as determined by the planning commission, the landscaping may be reduced to ten percent (10%) of the total site.
- ~~B. Buffer Yard Landscaping: Buffer yard A landscaping~~ Fencing: A six foot (6') tall solid screening fence shall be required between the R-H zone and all lower density residential zones. ~~and shall meet the requirements of SWMC 10.15.~~

10.5G.12 Landscaping Requirements

- A. General Landscaping: At least fifteen percent (15%) of the total site shall be thoroughly landscaped, including an irrigation system to maintain such landscaping. Landscaping shall meet the requirements of SWMC 10.15. For use of exceptional design and materials, as determined by the planning commission, the landscaping may be reduced to ten percent (10%) of the total site.
- ~~B. Buffer Yard Landscaping: Buffer yard C landscaping~~ Fencing: A six foot (6') foot tall solid screening fence or wall shall be required between the C zone and all residential and agricultural zones. ~~and shall meet the requirements of SWMC 10.15.~~
- C. Park Strip Landscaping: Park strip landscaping shall meet the requirements of SWMC 10.15.

10.5K.11 Landscaping Requirements

- A. General Landscaping: At least fifteen percent (15%) of the total site shall be thoroughly landscaped, including an irrigation system to maintain such landscaping. Landscaping shall meet the requirements of SWMC 10.15. For use of exceptional design and materials, as determined by the planning commission, the landscaping may be reduced to ten percent (10%) of the total site.
- ~~B. Buffer Yard Landscaping: Buffer yard B landscaping~~ Fencing: A six foot (6') tall solid screening fence or wall shall be required between the P-O zone and all residential and agricultural zones. ~~and shall meet the requirements of SWMC 10.15.~~
- C. Park Strip Landscaping: Park strip landscaping shall meet the requirements of SWMC 10.15.

10.5L.6 Landscaping Requirements

- A. General Landscaping: At least fifteen percent (15%) of the total site shall be thoroughly landscaped, including an irrigation system adequate to maintain such landscaping. Landscaping shall meet the requirements of SWMC 10.15.



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- ~~B. Buffer Yard Landscaping: Buffer yard D landscaping~~ Fencing: A six foot (6') tall solid screening fence or wall shall be required between the L-I zone and all residential and agricultural zones. ~~and shall meet the requirements of SWMC 10.15.~~
- C. Park Strip Landscaping: Park strip landscaping shall meet the requirements of SWMC 10.15.

10.5M.6 Landscaping Requirements

- A. General Landscaping: At least fifteen percent (15%) of the total site shall be thoroughly landscaped, including an irrigation system adequate to maintain such landscaping. Landscaping shall meet the requirements of SWMC 10.15. For use of exceptional design and materials, as determined by the planning commission, the landscaping may be reduced to ten percent (10%) of the total site.
- ~~B. Buffer Yard Landscaping: Buffer Yard C landscaping~~ Fencing: A six foot (6') tall solid screening fence shall be required between the C-R zone and all residential zones, except where there are legal restrictions on the residential zoned property that prevent the construction of residences.
- C. Park Strip Landscaping: Park strip landscaping shall meet the requirements of SWMC 10.15.

10.5N.12 Landscaping Requirements

- A. General Landscaping: At least fifteen percent (15%) of the total site shall be thoroughly landscaped, including an irrigation system to maintain such landscaping. Drought resistant plants are encouraged. Landscaping shall meet the requirements of SWM 10.15. For use of exceptional design and materials, as determined by the planning commission, the landscaping may be reduced to ten percent (10%) of the total site.
- ~~B. Buffer Yard Landscaping: Buffer yard C landscaping~~ Fencing: A six foot (6') tall solid screening fence or wall shall be required between the C-O zone and all residential and agricultural zones. ~~and shall meet the requirements of SWMC 10.15.~~
- C. Street Trees: Street trees shall be required and meet the requirements of SWMC 10.150.060D, "Park Strip Trees".

10.5O.6 Landscaping Requirements

- A. General Landscaping: At least fifteen percent (15%) of the total site shall be thoroughly landscaped, including an irrigation system adequate to maintain such landscaping. Landscaping shall meet the requirements of SWMC 10.15. For use of exceptional design and materials, as determined by the planning commission, the landscaping may be reduced to ten percent (10%) of the total site.
- ~~B. Buffer Yard Landscaping: Buffer yard D landscaping~~ Fencing: A six foot (6') tall solid screening fence or wall shall be required between the B-C zone and all residential and agricultural zones. ~~and shall meet the requirements of SWMC 10.15.~~
- C. Park Strip Landscaping: Park strip landscaping shall meet the requirements of SWMC 10.15.



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10.07.050 Nonresidential Zones

A. Application: Application for a conditional use permit shall be made by the property owner or certified agent thereof to the city. Any person seeking a conditional use permit in a nonresidential zone shall first submit an application to the city and pay the associated fees as stated in the current adopted fee schedule. An application, unless stated otherwise, shall be deemed complete when all documents required by the current applicable application form and checklist, including the fee, have been submitted to the city. The following applications are required:

1. Sketch Plan:

- a. Purpose: The intent of the sketch plan phase of the approval process is to provide the developer with an opportunity to understand the city's requirements, and for the city to understand the developer's basic proposal, before the developer incurs the expense and time involved in preparing preliminary and final plans. The sketch plan allows for up front communication between the city and the developer to discuss zoning and/or other land use restrictions, incorporation of the proposed development into the city's master plans (including water supply, sanitary sewer, storm drainage, roadways), review of the development approval process, review of pertinent city ordinances and/or resolutions, or discussion of any other pertinent items which may be deemed necessary by the city and/or the developer.
- b. Requirements: In order for a project to advance from sketch plan to preliminary approval, some or all of the following conditions may be required:
 - a. Completed sketch plan application and payment of applicable fees.
 - b. Ownership affidavit.
 - c. Land survey/legal description.
 - d. Phase lines (if applicable).
 - e. Geotechnical report.
 - f. Traffic impact study.
 - g. One full sized (24 inches x 36 inches), one reduced (11 inches x 17 inches), and one electronic PDF form shall be submitted of the following:
 - a. Context plan within three hundred feet (300') that includes, but is not limited to, the following:
 - a. Existing topography.
 - b. Existing utilities.
 - c. Existing natural features, drainage channels, special views, existing vegetation to be preserved.
 - d. Existing buildings.
 - e. Existing ingress and egress points (location, names, and existing widths of adjacent streets).
 - b. Site plan that includes, but is not limited to, the following:
 - a. Aerial base (can be obtained from: Google Earth or the county).
 - b. Date, north point, written and graphic scales.



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- c. Name, address, phone number for engineer and/or surveyor who prepared plans.
- d. Location and dimensions of proposed sites to be dedicated or reserved for open space or recreational use.
- e. Location and ownership information of all canals, ditches, and/or waterways surrounding the subject property.
- f. Boundaries of sensitive lands as shown in general plan.
- g. All existing utilities.
- h. Wetland delineation (if applicable).
- i. Names of surrounding property owners.
- j. Proposed water, sewer, and storm drainage.
- k. Proposed transportation system (including trails) and street layout (width and proposed right of way cross sections) (if applicable).
- l. Proposed location of fire hydrants and streetlights.
- m. Grading and storm drainage plan.
- n. Parking (common and private).
- o. Building footprint.
- p. Location of fuel tanks (if applicable).
- q. Fencing (if applicable).
- ~~r. Buffer yard (if applicable).~~
- c. Supplemental plans:
 - a. Building elevation.
 - b. Building facade and color scheme.
 - c. Landscaping plan ~~and buffer yard.~~
 - d. Lighting plan.
 - e. Signage plan.
 - f. Fire flows.
 - g. Storm drainage calculations.
 - h. Fire protection plan.
 - i. Any regulation(s) as stated in zoning.

10.15 Landscape Regulations

- 10.15.010 Purpose
- 10.15.020 General Requirements
- 10.15.030 Landscape Plan
- 10.15.040 Selection, Installation And Maintenance Of Plant Materials
- 10.15.050 Design Standards And Guidelines
- 10.15.060 Park Strip Landscaping
- ~~10.15.070 Buffer Yard Landscaping~~
- ~~10.15.080 070 Failure To Comply~~



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10.15.050 Design Standards And Guidelines

Landscape plans shall be prepared based on the following design standards and guidelines. Design standards are numerically measurable design requirements that can be definitively evaluated for compliance. Design guidelines are not precisely measurable, but compliance can be determined through the evaluation process of landscape plan review. The evaluation and approval of landscape plans shall be based on compliance with both the design standards and guidelines.

A. Design Standards At Time Of Planting:

1. Deciduous Trees: All deciduous trees shall have a minimum trunk size of two inches (2") in caliper, unless otherwise specified.
2. Evergreen Trees: All evergreen trees shall have a minimum trunk size of five feet (5') in height, unless otherwise specified.
3. Ornamental Trees: All ornamental trees shall have a minimum trunk size of one and one-half inches (1½") in caliper, unless otherwise specified.
4. Shrubs: All shrubs shall have a minimum height or spread of eighteen inches (18") depending on the plant's natural growth habit, unless otherwise specified. Plants in five (5) gallon containers will generally comply with this standard.
5. Existing Street Trees: The removal of trees within the street right of way is prohibited without the approval of the zoning administrator.

B. Design Guidelines:

1. Scale And Nature Of Landscaping Material: The scale and nature of landscaping materials shall be appropriate to the size of the structures. Large scaled buildings, for example, should generally be complemented by larger scaled plants.
2. Selection Of Plants: Plants shall be selected for form, texture, color, pattern of growth and adaptability to local conditions.
3. Evergreens: Evergreens should be incorporated into the landscape treatment of a site, particularly in those areas where screening and buffer is required.
4. Softening Of Walls And Fences: Plants shall be placed intermittently against long expanses of building walls, fences, and other barriers to create a softening effect.
5. Planting Beds: Planting beds may be mulched with bark chips, decorative stone, or similar materials. Mulch shall not be used as a substitute for plants.
6. Detention/Retention Basins And Ponds: Detention/retention basins and ponds shall be landscaped. Such landscaping may include shade and ornamental trees, evergreens, shrubbery, hedges, turf, ground cover and/or other plant materials.
7. Preservation Of Existing Plants: Existing plants should be incorporated into the landscape treatment of a site as required herein or as required by the site plan review process. Trees in the public right of way shall not be removed without the approval of the zoning administrator.
8. Calculation Of Landscaped Area: Park strip landscaping shall not be used when calculating the total landscaping area.
9. ~~Buffer Yards: Buffer yard landscaping shall not be used when calculating the total landscaping area except as determined by the planning commission and city council. For use of exceptional design and materials, as determined by the planning commission, fifty percent (50%) of the buffer yard may be used when calculating the total landscaping area.~~



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10.15.070 Buffer Yard Landscaping

- ~~A. Intent: The intent of these requirements is to increase the compatibility of adjacent land uses and foster compatibility among different land uses by minimizing the harmful effects of noise, dust and other debris, motor vehicle headlight glare or other artificial light intrusions, and other objectionable activities or impacts conducted or created by an adjoining or nearby use.~~
- ~~B. Requirements: The following illustrations graphically indicate the specifications of each buffer yard. Buffer yard requirements are stated in terms of the width of the buffer yard and the number of plant units required per one hundred (100) linear feet of buffer yard. The requirements of a buffer yard may be satisfied by any of the options thereof illustrated. The type and quantity of plant materials required by each buffer yard, and each buffer yard option, are specified in this section. Only those plant materials capable of fulfilling the intended function shall satisfy the requirements of this chapter.~~

~~The options within any buffer yard are designed to be equivalent in terms of their effectiveness in eliminating the impact of adjoining uses. Cost equivalence between options was attempted where possible. Generally, the plant materials which are identified as acceptable are determined by the type(s) of soil present on the site. All of the following illustrations are drawn to scale and depict the buffer yard according to the average projected diameter of plant materials at five (5) years of planting.~~

- ~~C. Illustrations: Each illustration depicts the total buffer yard located between two (2) uses.~~
- ~~D. Walls, Fences Or Berms: Whenever a wall, fence, or berm is required within a buffer yard, these are shown as "structure required" in the following illustrations, wherein their respective specifications are also shown. All required structures shall be the responsibility of the higher intensity use, in order to provide maximum sound absorption.~~
- ~~E. Plant Material Substitutions: The following plant material substitutions shall satisfy the requirements of this section:~~
- ~~1. In buffer yards B, C, D, and E, evergreen canopy or evergreen understory trees may be substituted for deciduous canopy forest trees without limitation.~~
 - ~~2. In buffer yard A, evergreen canopy or evergreen understory trees may be substituted as follows:~~
 - ~~a. In the case of deciduous canopy forest trees, up to a maximum of fifty percent (50%) of the total number of the deciduous canopy trees otherwise required.~~
 - ~~b. In the case of deciduous understory, without limitation.~~
 - ~~3. In all buffer yards, evergreen or conifer shrubs may be substituted for deciduous shrubs without limitation.~~
- ~~F. Equivalent Structures: The following structures are equivalent and may be used interchangeably, so long as both structures are specified in the buffer yard illustrations in this section. (Buffer yard illustrations are to typify the structure and are not intended to be required designs.)~~

Structure	Equivalent Structure



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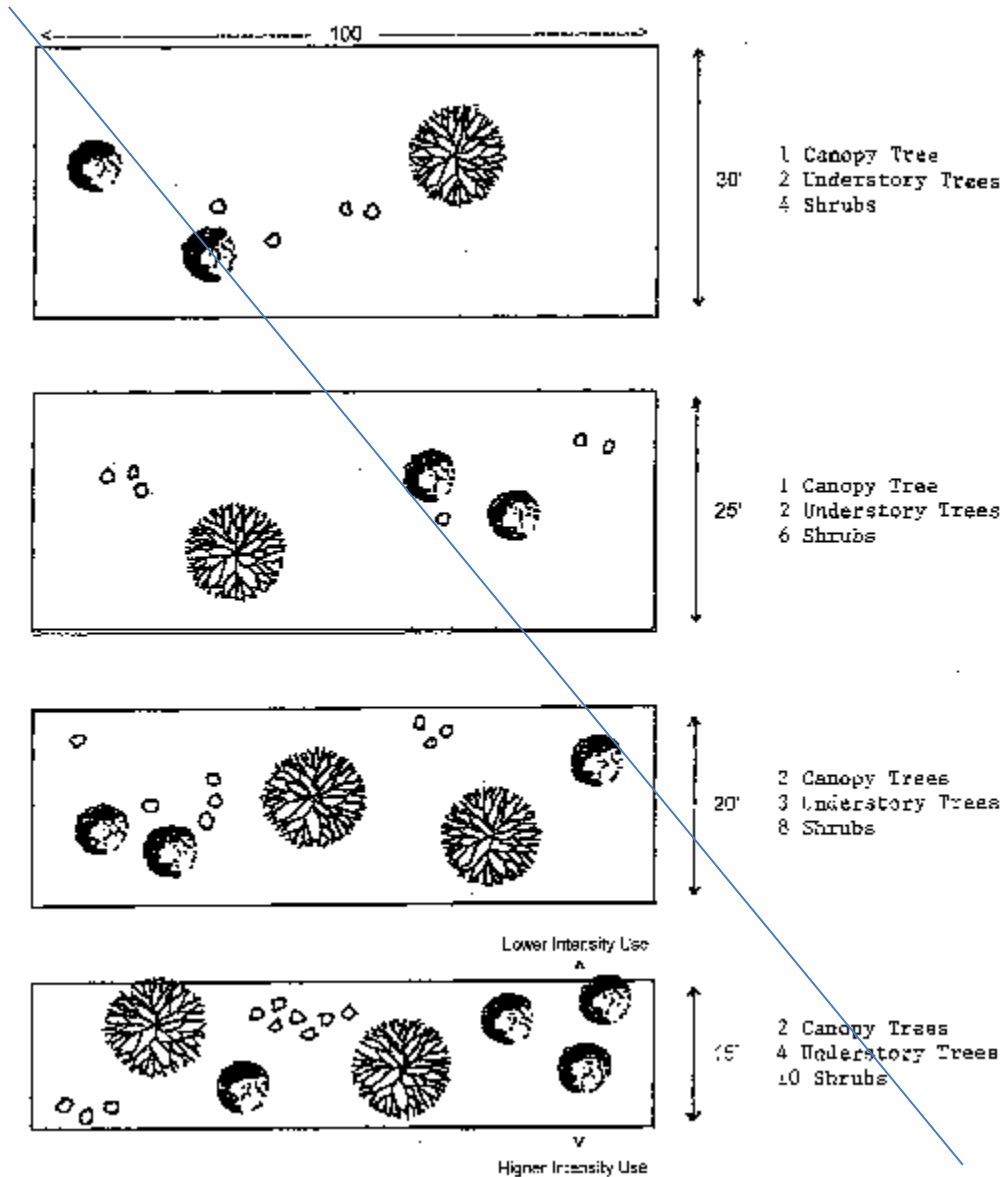
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F1	B1
F2	B2
F3	B3
F3	BW1

- ~~G. Solar Access: If the development on the adjoining use is existing, planned, or deed restricted for solar access, understory trees may be substituted for canopy trees where canopy trees would destroy solar access.~~
- ~~H. Satisfaction Of Requirements: Any existing plant material which otherwise satisfies the requirements of this section may be counted toward satisfying all such requirements.~~
- ~~I. Placement: The exact placement of required plants and structures shall be the decision of each user except that the following requirements shall be satisfied:~~
- ~~1. Evergreen (or conifer) shall be planted in clusters rather than singly in order to maximize their chances of survival.~~
 - ~~2. Berms with masonry walls (BW1) required of buffer yards D and E options are intended to buffer more significant nuisances from adjacent uses and additionally, to break up and absorb noise, which is achieved by the varied heights of plant materials between the masonry wall and the noise source.~~
 - ~~a. When berms with walls are required, the masonry wall shall be closer than the berm to the higher intensity use.~~
 - ~~b. Within a buffer yard, a planting area at least five feet (5') wide containing fifteen percent (15%) of the total plant requirements shall be located between the masonry wall and the higher intensity class use. These plants shall be chosen to provide species and sizes to reduce noise in conjunction with the wall.~~
- ~~J. Sprinkler System; Ground Cover Required: All buffer yard areas shall include an underground sprinkler system and be seeded with lawn unless ground cover is already established.~~

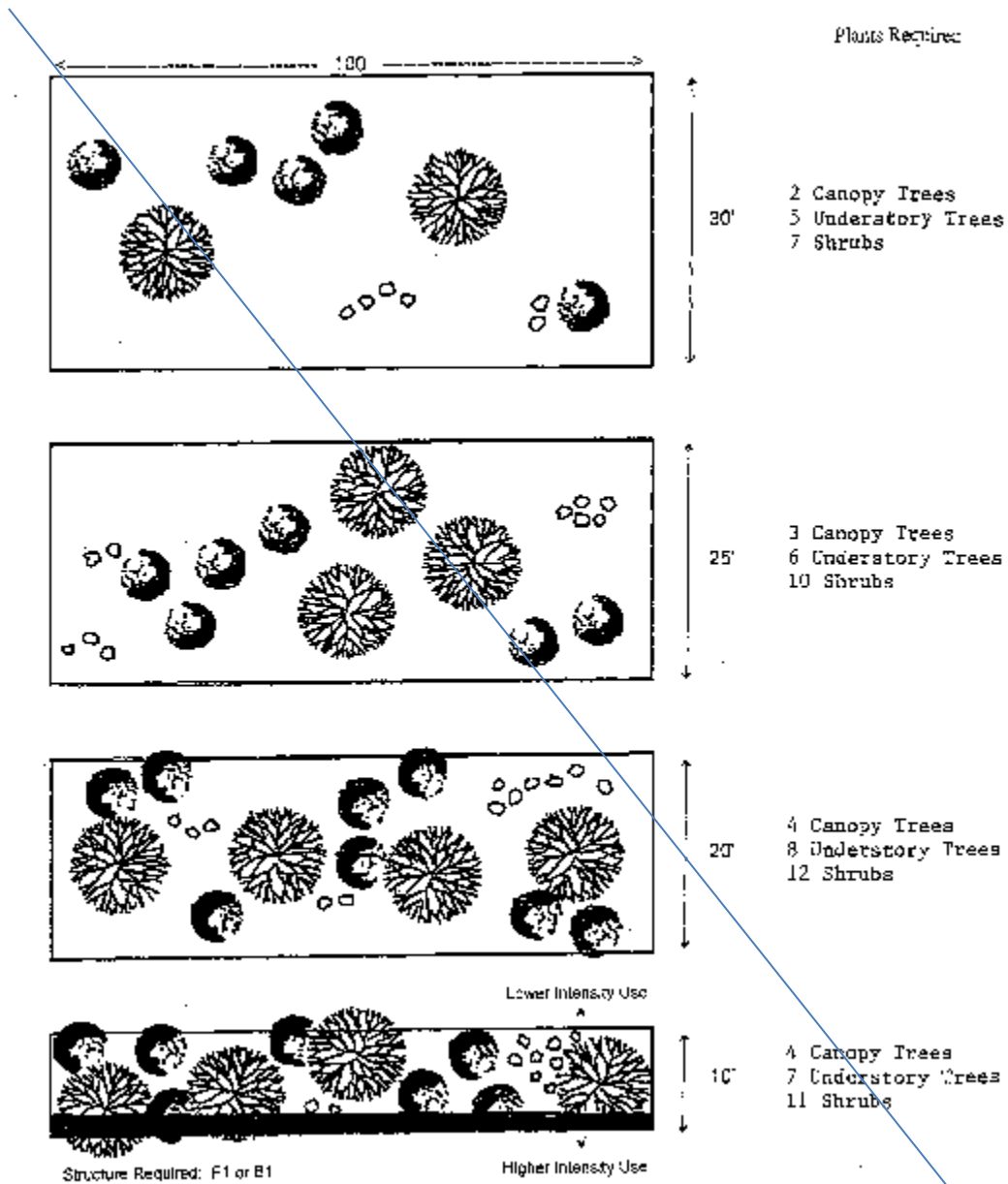
~~BUFFERYARD A~~

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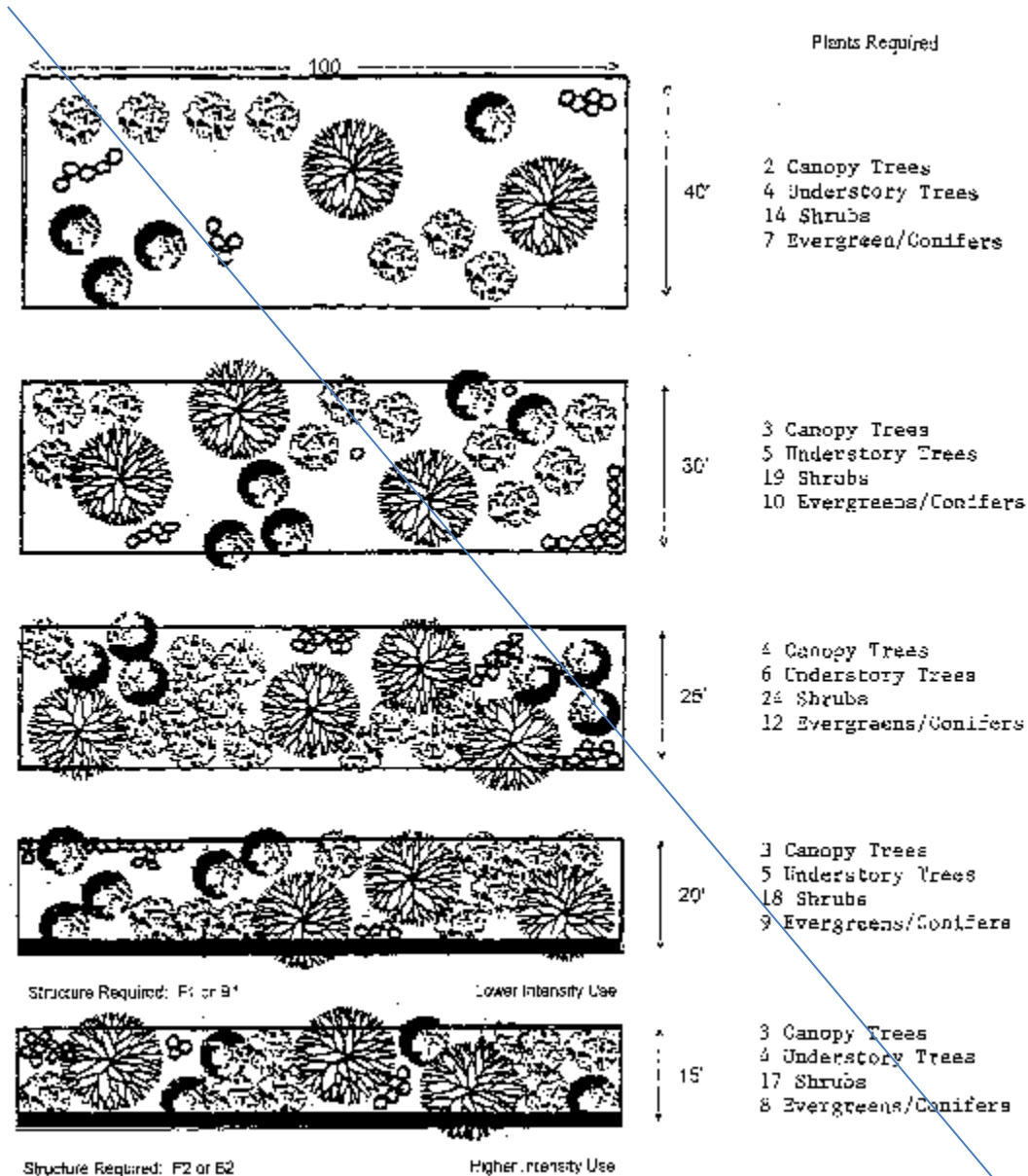
BUFFERYARD B

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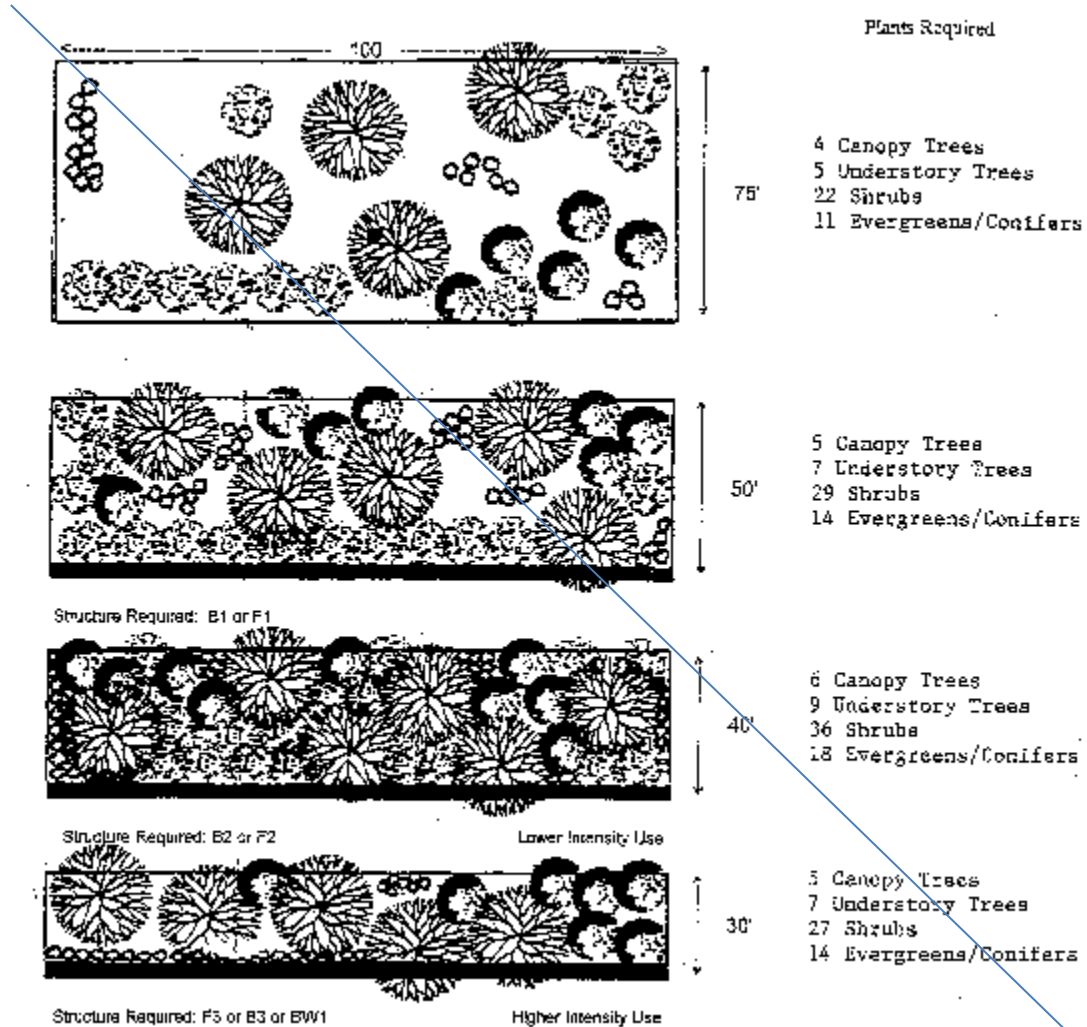
BUFFERYARD-C

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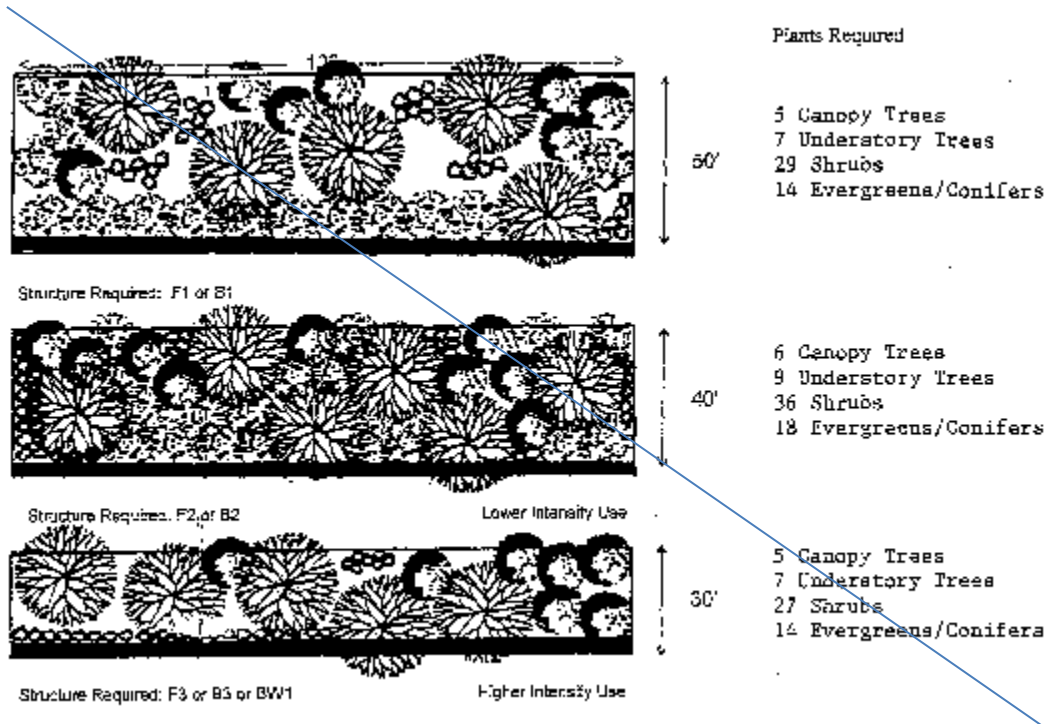
BUFFERYARD D

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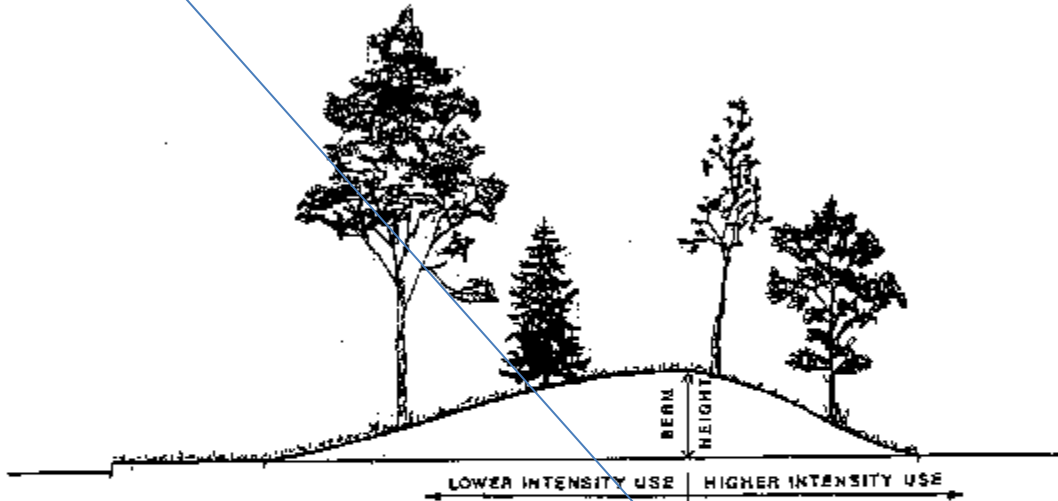
BUFFERYARD-E

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BUFFERYARD STRUCTURES

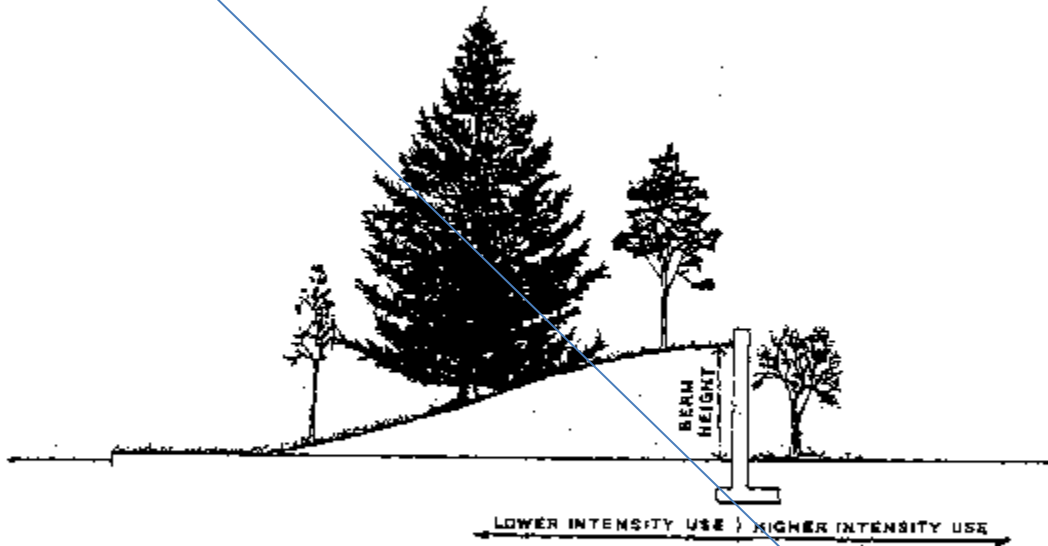
BERMS



SYMBOL	HEIGHT	MATERIAL
B1	4'	EARTH
B2	5'	EARTH
B3	6'	EARTH

BUFFERYARD STRUCTURES

BERM WALLS



SYMBOL

HEIGHT

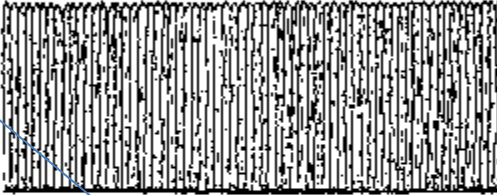
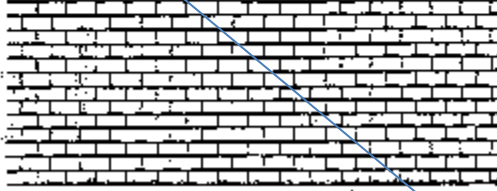
BW1

4' BERM with 6' MASONRY WALL

BUFFERYARD STRUCTURES

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FENCES

SYMBOL	HEIGHT	MATERIAL
F1	6'	 Wood Stockade or Vinyl Stockade
F2	6'	 Masonry Wall (Poured Concrete, Cement Block, Brick, etc.)
F3	8'	

APPLICATION FOR CHANGE OF ZONING

South Weber City
1600 East South Weber Drive
South Weber, Utah 84405
Phone: (801) 479-3177 Fax: (801) 479-0066

OFFICE USE: Application # _____ Fee \$ _____ Receipt # _____ Date Received _____

Owner of Property MS FINANCIAL LLC

Applicant's Name MS FINANCIAL LLC

Mailing Address 625 W 5300 S City, State, Zip SLC UT 84123

Phone 808.875.8284 Fax _____ Email mike@msinvestments.com

Agent's Name _____

Mailing Address N/A City, State, Zip _____

Phone _____ Fax _____ Email _____

Request: 13.48 Acres/Sq. Feet be changed from A zone to R-L zone

_____ Acres/Sq. Feet be changed from _____ zone to _____ zone

Property Address: Westside of 850 E. (a little south of) So. Weber Drive (~7350 S.)

Parcel Number(s): 13-020-0040 Total Acres or Sq. Feet: 13.48

Legal Description: (If description is longer than space provided, please submit complete legal description on an addendum sheet.)

See attached addendum

What is the proposed use?

Future low density residential (R-L) subdivision

In what way does the proposal recognize the City's General Plan?

It will allow low-density residential growth similar to other current R-L zoning across the street to the East & to North of the subject parcel.

Public Notice Authorization: I (we) do hereby give permission to South Weber City to place a city Apublic notice@ sign on the property contained in this application for the purpose of notification of the change of zoning application.

Signed:

Mike Szyg MANAGER
Property Owner
MS FINANCIAL LLC

Property Owner

APPLICANT'S AFFIDAVIT

State of Utah

County of Salt Lake

I (we) Michael Szymanski, being duly sworn, depose and say I (we) am (are) the sole
Property Owner(s) or Agent of Owner
owner(s)/agent of the owner(s), of the property involved in this application, to-wit, 850 E. ~ 7350 S. So. Weber
~13.48 acres at Property Address UTAH
and that the statements and answers contained herein, in the attached plans, and other exhibits, thoroughly and to the
best of my ability, present the argument in behalf of the application. Also, all statements and information are in all
respects true and correct, to the best of my knowledge and belief.

Dated this 14th day of May, 2019.

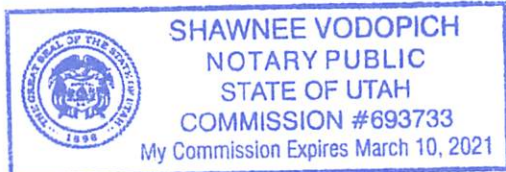
Signed:

Mike Szyg
Property Owner or Agent

Property Owner or Agent

Subscribed and Sworn before me this 14th day of May, 2019.

Notary Public:



AGENT AUTHORIZATION

State of Utah)
County of)

I (we) _____, the sole owner(s) of the real property located at
Property Owner(s)
_____, South Weber City, Utah do hereby appoint _____,
Property Address

as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and to
appear on my (our) behalf before any city boards considering this application.

Dated this _____ day of _____, _____.

Signed:

Property Owner

Property Owner

Subscribed and Sworn before me this _____ day of _____, _____.

Notary Public: _____



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REZONE PARCEL 13-020-0040

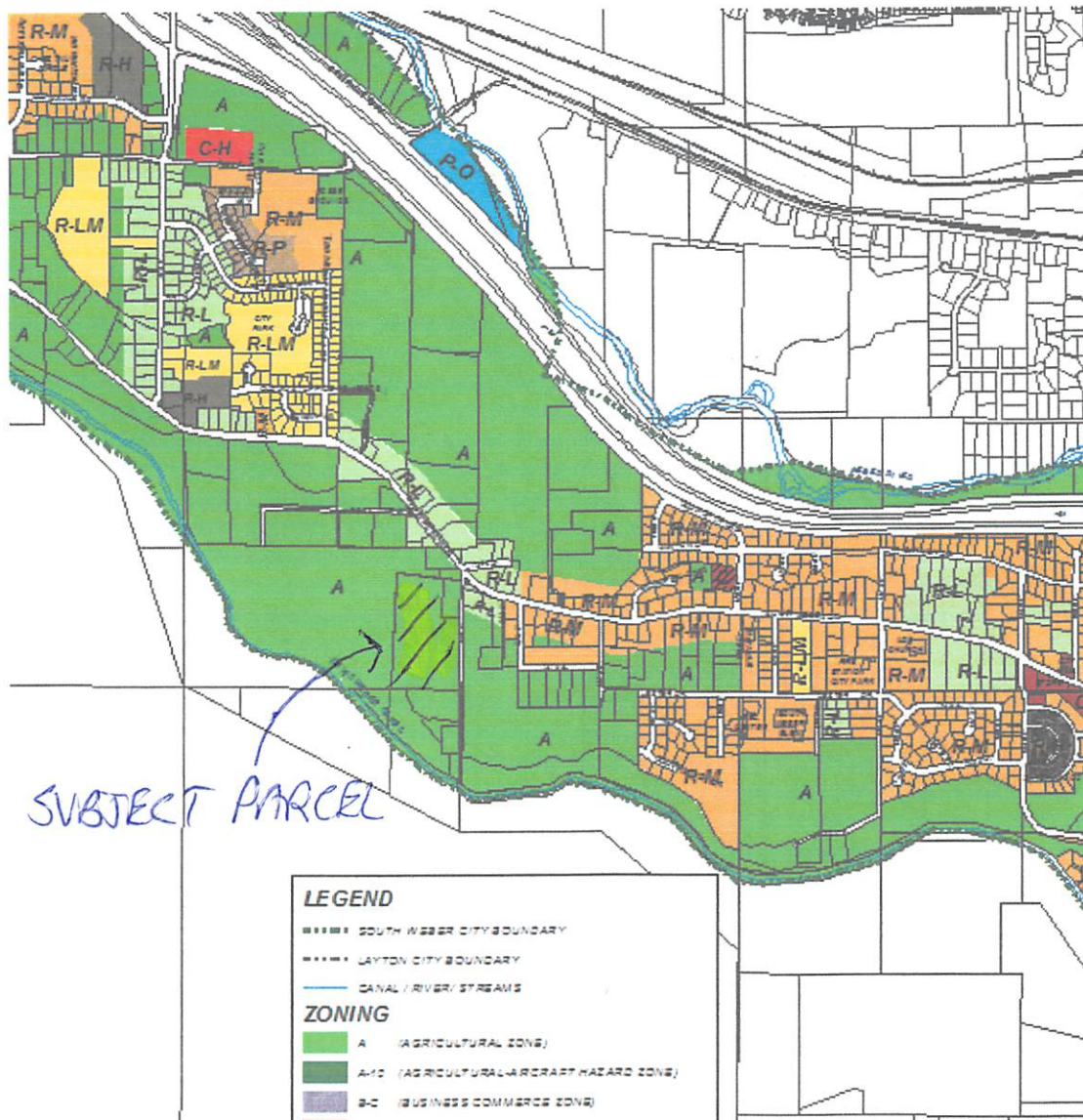
REQUEST: Approval of rezone from A to R-L

GENERAL INFORMATION: This proposal raises several concerns about rezoning at this time. One is that it lies in the path of the proposed South Bench Drive as it makes its way up the hill to the south. Right now we don't know exactly how much this will affect the property. Also, the General Plan calls for this area to remain in the A zone. I spoke with the owner/applicant and he has no development plans at this time.

Perhaps the most compelling fact is the entire parcel sits on top of Operable Unit 1 of the HAFB Super Fund Site. In 1998 the Air Force purchased an easement to conduct remediation activities on all but 1.1 acres of the 13.48 acres. This easement does not expire until September 29, 2023.

STAFF RECOMMENDATION: Given that there are no immediate development plans, the existing Air Force easement and the other concerns; I see no reason to rezone this property at this time. I recommend the Planning Commission forward this to the Council with a recommendation of denial.

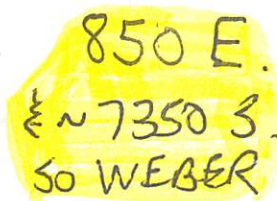
AUG. 2017 "AS IS" ZONING MAP



[REDACTED]



020-0040



S. WEBER DRIVE



**DAVIS COUNTY
BOARD OF EQUALIZATION**
61 SOUTH MAIN STREET, ROOM 101
P.O. BOX 618
FARMINGTON, UT 84025-0618

2017

**THIS IS NOT A BILL
DO NOT PAY**

ADDENDUM

*****AUTO**ALL FOR AADC 840 AA 95004 1/1-P282 T262



13-020-0040
MS FINANCIAL LLC
PO BOX 608
DRAPER UT 84020-0608

THIS IS A NOTICE TO THE OWNER OF THE SPECIFIED PROPERTY OF:

- (1) The value established by the County Assessor for this property for this year, and
- (2) The property taxes proposed to be levied against this property for this tax year.

THIS IS ONLY A NOTICE OF PROPERTY VALUATION AND PROPOSED TAX CHANGES. PROPERTY TAXES ARE PAID FROM A TAX NOTICE WHICH IS MAILED BY OCTOBER 31ST BY THE COUNTY TREASURER. TAXES ARE DUE FROM THE TAX NOTICE ON OR BEFORE NOVEMBER 30TH

2017 NOTICE OF ASSESSOR'S PROPERTY MARKET VALUATION

MARKET VALUE OF YOUR PROPERTY - THE MARKET VALUE OF EACH PROPERTY IS REVIEWED EACH YEAR. ALL PROPERTY TAXES ARE BASED UPON THE MARKET VALUE OF YOUR PROPERTY AS OF JANUARY 1. AS THE MARKET VALUE INCREASES OR DECREASES, YOUR PROPERTY TAX MAY ALSO INCREASE OR DECREASE.

TAXING DISTRICT	LAND SERIAL NUMBER	ACRES	LAST YEAR DETAILED REVIEW	LAST YEAR'S (2016) MARKET VALUE	THIS YEAR'S (2017) MARKET VALUE
46	13-020-0040	13.48	2012		
(GREENBELT VALUE FOR LAND IS 7,723)					
PROPERTY LOCATION LEGAL DESCRIPTION BEG AT THE SOUTHERN 1/4 COR OF SEC 28-T5N-R1W, SLM; & RUN TH N 89°40'33" W ALG T				PROPERTY TYPE ASSESSED FOR 2017	(NP) LAND (A) GREENBELT

(P) PRIMARY RESIDENCE - Taxed at 55% of Market Value - PROPERTY USED AS A FULL TIME PRIMARY RESIDENTIAL DWELLING RECEIVES THIS EXEMPTION
(NP) NON-PRIMARY PROPERTY - Taxed at 100% of Market Value - PROPERTY RECEIVES NO RESIDENTIAL EXEMPTION SINCE IT IS NOT USED AS A PRIMARY RESIDENCE
(FAA) GREENBELT LAND - ASSESSED AND TAXED ON ITS PRODUCTIVE VALUE

MARKET VALUE IS DETERMINED BY THE DAVIS COUNTY ASSESSOR. YOU MAY REVIEW THE VALUE OF YOUR PROPERTY BY CALLING THE ASSESSOR'S OFFICE REAL ESTATE DIVISION AT 801-451-3250.

IF YOU DISAGREE WITH THE MARKET VALUE OF YOUR PROPERTY, YOU MAY FILE THE ENCLOSED APPEAL WITH THE DAVIS COUNTY BOARD OF EQUALIZATION. STATE LAW REQUIRES APPEAL APPLICATIONS BE FILED WITHIN 45 DAYS OF THE MAILING OF THIS NOTICE.

2017 NOTICE OF PROPERTY TAX CHANGES

This chart presents the actual 2017 property tax and the proposed 2017 property tax for each entity that levies a tax to this property. Please review this chart and attend any identified public hearings to voice your opinion on specific tax changes.

TAXING ENTITIES	TAX LAST YEAR (2016)	2017 TAX IF NO BUDGET CHANGE	TAX IF PROPOSED BUDGET APPROVED	CHANGES IN 2017 TAX IF APPROVED	%	A PUBLIC BUDGET MEETING WILL BE HELD
DAVIS SCHOOL DIST	48.77	45.57	45.57	0.00	0.00	
STATE CHARTER SCHOOL LEVY	0.00	0.82	0.82	0.00	0.00	
STATE BASIC SCHOOL LEVY	12.67	12.11	12.11	0.00	0.00	
DAVIS COUNTY	12.88	12.16	14.86	2.70	22.20	TNT HEARING HELD 12/6/2016
DAVIS 2005 JAIL BOND	0.57	0.53	0.53	0.00	0.00	
SOUTH WEBER CITY	6.66	6.29	6.29	0.00	0.00	
COUNTY LIBRARY	2.59	2.43	2.90	0.47	19.34	TNT HEARING HELD 12/6/2016
WEBER BASIN WATER	1.41	1.34	1.34	0.00	0.00	
MOSQUITO ABATEMENT	0.88	0.83	0.83	0.00	0.00	
CENTRAL WEBER SEWER DISTRICT	5.73	5.48	5.48	0.00	0.00	
COUNTY ASSESS & COLLECT LEVY	1.69	1.60	1.60	0.00	0.00	
MULTICNTY ASSESS & COLLECT LEVY	0.08	0.08	0.08	0.00	0.00	

1990
HILL AIR FORCE BASE

EASEMENT NO. AFMC-HL-6-98-277

RESTRICTIVE EASEMENT

BETWEEN

SHAWN C. BYRAM

AND

THE UNITED STATES AIR FORCE

Shawn C. Byram, hereinafter referred to as the Grantor, for and in consideration hereinafter set forth does hereby grant to the United States Air Force, hereinafter referred to as USAF, a restrictive easement on the following described property located in Davis County and particularly described as follows:

LOCATION: Parcel #13-020-0040: Beginning at the southern $\frac{1}{4}$ Corner of Section 28, Township 5 North, Range 1 West, Salt Lake Base & Meridian; and running thence North $89^{\circ}40'33''$ West along the South line of said Section 633.67 feet; thence North $02^{\circ}30'55''$ East 1086.40 feet; thence South $83^{\circ}00'32''$ East 434.44 feet; thence South $00^{\circ}33'57''$ West 442.14 feet, thence South $89^{\circ}49'46''$ East 165.0 feet to the Eastern line East of the said Southwest $\frac{1}{4}$; thence South $00^{\circ}33'57''$ West along said line 593.48 feet to the point of beginning containing 13.22 acres subject to 60 foot right-of-way across the North 60 feet thereof. Also beginning at a point 658.59 feet South of Northeast Corner of the Southeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 28, Township 5 North, Range 1 West, Salt Lake Base & Meridian; thence West 165 feet; thence South 70.41 feet; thence East 165 feet; thence North 70.41 feet to the point of beginning. Contains 0.26 acre. Total acreage 13.484 acres.

LESS:

1.10 acres retained by Owner: A parcel of land in the Southeast Quarter of the Southwest Quarter of Section 28, Township 5 North, Range 1 West, Salt Lake Base & Meridian, being more particularly described as follows:

Beginning at a point which is North $89^{\circ}40'33''$ West 633.67 feet along the section line to the Southwest corner of the Shawn Byram property, North $02^{\circ}30'55''$ East 1086.40 feet to the Northwest corner of said Byram property, South $83^{\circ}00'32''$ East 434.44 feet to the Northeast corner of said Byram property, South $00^{\circ}33'57''$ West 60.38 feet along the easterly boundary line of said Byram property from the South Quarter corner of said Section 28, said point of beginning also being on the southerly line of a 60 foot right-of-way easement; thence along said easterly boundary line South $00^{\circ}33'57''$ West 311.35 feet to an interior corner of said Byram property; thence North $89^{\circ}49'46''$ West 149.60 feet; thence North $00^{\circ}33'57''$ East 329.23 feet; thence South $83^{\circ}00'32''$ East 150.54 feet to the point of beginning, containing 47,914 square feet or 1.100 acres, more or less.

Easement for Ingress/Egress: This easement runs along the northern property line and comprises 0.60 acre.

2.57 acres encumbered by a restrictive use easement held by the State of Utah: Beginning at a point North 89°40'33" West 127.16 feet from the Southeast Corner of the Southwest Quarter of Section 28, Township 5 North, Range 1 West, Salt Lake Base & Meridian; thence North 45°55'34" West 254.60 feet; thence North 50°29'44" West 395.16 feet; thence South 02°30'55" West 426.01 feet to the South line of said Section 28; thence South 89°40'33" East 506.51 feet along the South line of said Section 28 to the point of beginning. Containing 2.57 acres.

As delineated in red on attached map

PURPOSE: For environmental cleanup actions required under the Comprehensive Environmental Response, Compensation, and Liability Act.

THIS EASEMENT is granted subject to the following conditions:

1. The easement shall be for a term of twenty five (25) years beginning 30 September 1998 and ending 29 September 2023, unless and until the USAF shall give notice of termination in accordance with provision hereof.
2. In consideration of and for the rights granted under this easement, the USAF will pay \$ 175,000.00 for the term of the easement. Fund cite number for fiscal year 1998 is 578 3400 308 47E3 2044A7 04 471 672300 PEC 78008.
3. The USAF may terminate this easement at any time by giving thirty (30) days notice in writing to the Grantor.
4. Any notice under the terms of this easement shall be in writing signed by a duly authorized representative of the party giving such notice, and if given by the USAF shall be addressed to the Grantor. If given by the Grantor shall be addressed to 75 CEG/CC, 7302 Wardleigh Road, Hill AFB UT 84056-5223.
5. The Grantor may construct a barn for his personal use near the 1.10 acres being reserved for the construction of his personal residence.
6. The Grantor warrants that no person or selling agency has been employed or retained to solicit or secure this easement upon any agreement or understanding for a commission, percentage, brokerage, or contingent fee, excepting bona fide employees or bona fide established commercial or selling agencies maintained by the Grantor for the purpose of securing business. For breach or violation of this warranty the USAF shall have the right to annul this easement without liability or in its discretion to deduct from the easement price or consideration the full amount of such commission, percentage, brokerage, or contingent fee.

7. No Member of or Delegate to Congress or Resident Commissioner shall be admitted to any share or part of this easement or to any benefit that may arise therefrom, but this provision shall not be construed to extend to this easement if made with a corporation for its general benefit.

8. (a) The USAF may, by written notice to the Grantor, terminate the right of the Grantor to proceed under this easement if it is found, after notice and hearing, by the Secretary of the Air Force or his duly authorized representative, that gratuities (in the form of entertainment, gifts, or otherwise), were offered or given by the Grantor, or any agent or representative of the Grantor, to any officer or employee of the USAF with a view toward securing a easement or securing favorable treatment with respect to the awarding or amending or the making of any determinations with respect to the performing of such easement; provided that the existence of fact upon which the Secretary of the Air Force or his duly authorized representative makes such findings shall be an issue and may be reviewed in any competent court.

(b) In the event this easement is terminated as provided in paragraph (a) hereof, the USAF shall be entitled (i) to pursue the same remedies against the Grantor as it could pursue in the event of a breach of the easement by the Grantor, and (ii) as a penalty, in addition to any other damages to which it may be entitled by law, to exemplary damages in an amount (as determined by the Secretary of the Air Force or his duly authorized representative) which shall not be less than three nor more than ten times the costs incurred by the Grantor in providing any such gratuities to any such officer or employee.

(c) The rights and remedies of the USAF provided in this clause shall not be exclusive and are in addition to any other rights and remedies provided by law or under this easement.

9. The Grantor agrees that the Comptroller General of the United States or any duly authorized representatives shall, until the expiration of three (3) years after final payment of the agreed rental, have access to and the right to examine any directly pertinent books, documents, papers, and records of the Grantor involving transactions related to this easement.

10. If Grantor is a corporation, partnership, trust, estate or other entity, the person executing this agreement on its behalf warrants his or her authority to do so and to bind Grantor.

11. The conditions of this instrument shall extend and be binding upon and shall inure to the benefit of the representatives, successors, and assigns of the Grantor.

12. The invalidity of any claims, part or provision of this agreement shall not affect the validity of the remaining portion or portions hereof.

13. This easement is not subject to Title 10, U.S.C. 2662.

IN WITNESS WHEREOF, the parties hereto have hereunto subscribed their names as of this
date Aug 2, 82 1982.

STATE OF UTAH)

)SS

COUNTY OF DAVIS)

On the 28 day of Aug 1982
personally appeared before me

Thomas R. Byrum
on behalf of the owner, the signer of this
instrument, who duly acknowledged to me
that they executed the same.

Thomas R. Byrum
Notary Public



Thomas R. Byrum
Owner

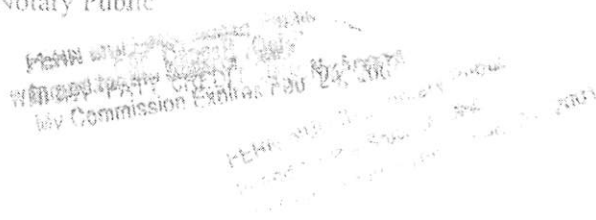
STATE OF OHIO)

)SS

COUNTY OF MAHON (Cuyahoga Co.)

On the 28 day of Aug 1982
personally appeared before me on
behalf of the United States Air Force,
the signer of this instrument, who duly
acknowledged to me that they
executed the same.

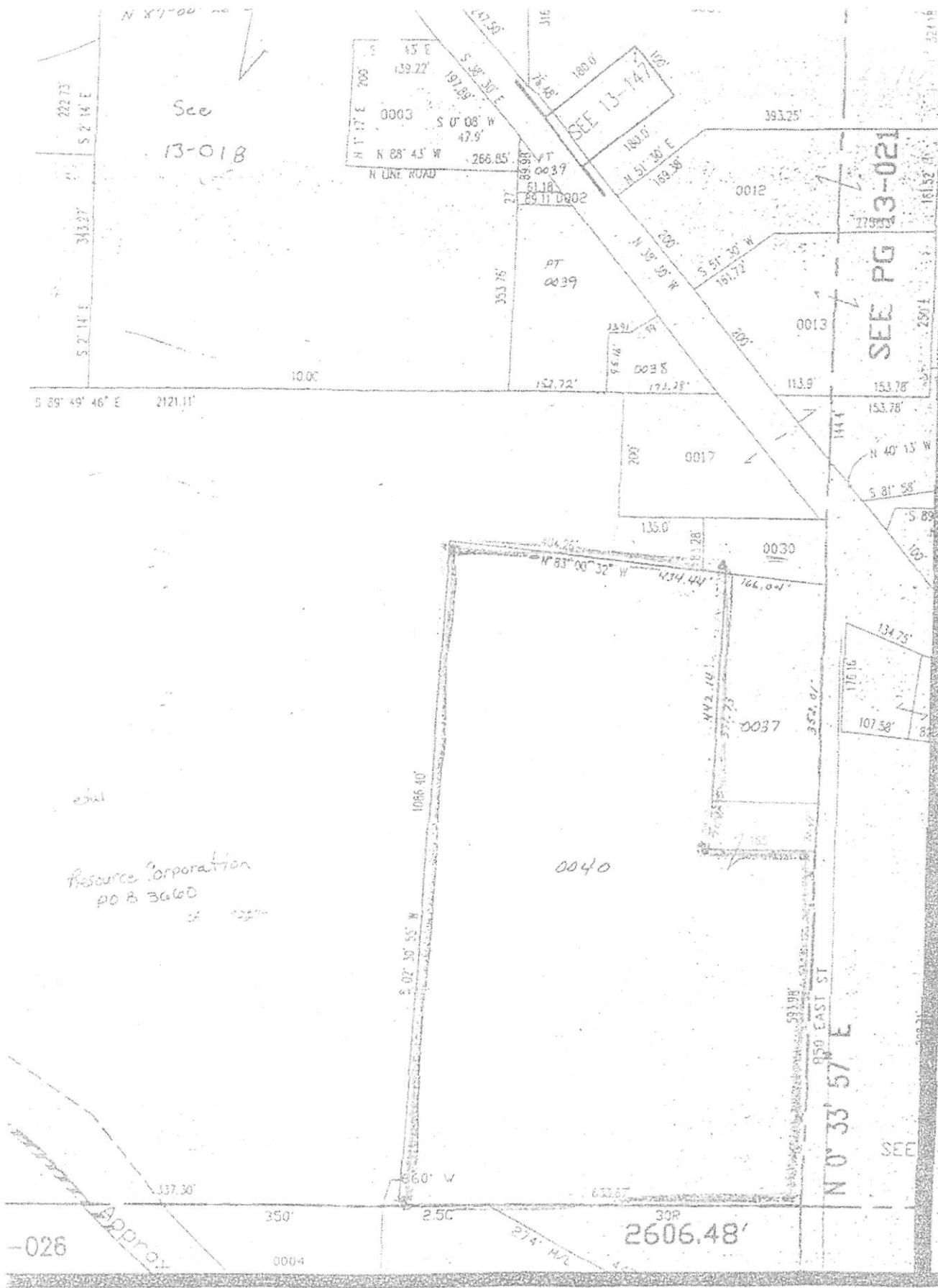
Thomas R. Byrum
Notary Public



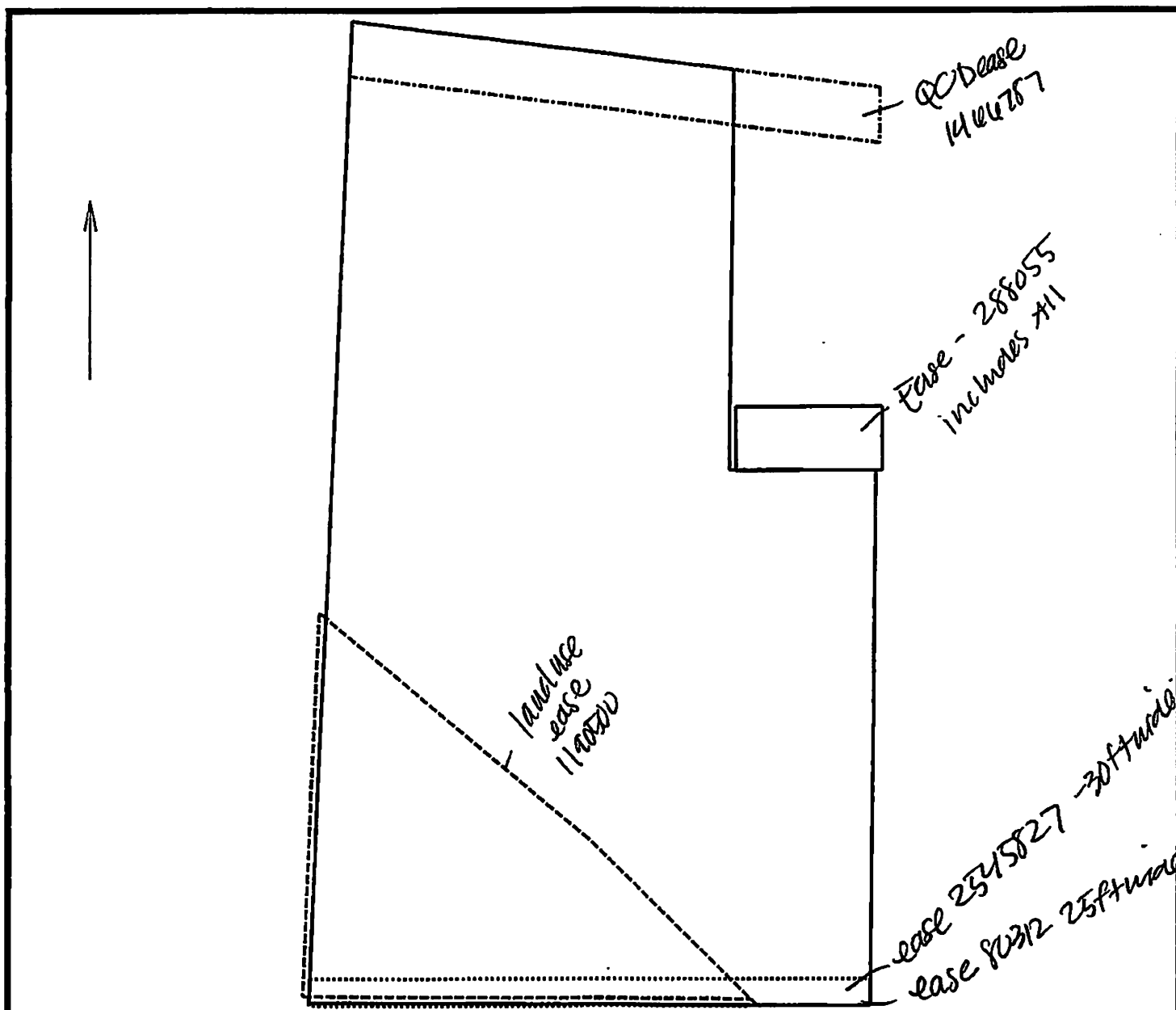
THE UNITED STATES AIR FORCE

Tad A. Stanley

TAD A. STANLEY
Colonel, USAF
Deputy Command Civil Engineer



SW SECTION 28 T 5N R 1W SALT LAKE



11/30/2017

Scale: 1 inch= 165 feet

File:

Tract 1: 13.2170 Acres, Closure: n00.0000e 0.00 ft. (1/999999), Perimeter=3355 ft.

Tract 2: 0.2667 Acres (11618 Sq. Feet), Closure: n00.0000e 0.00 ft. (1/999999), Perimeter=471 ft.

Tract 3: 2.5924 Acres (112926 Sq. Feet), Closure: s45.5504e 10.01 ft. (1/159), Perimeter=1592 ft.

Tract 4: 0.8285 Acres (36090 Sq. Feet), Closure: n00.0000e 0.00 ft. (1/307533), Perimeter=1324 ft.

Tract 5: 0.4362 Acres (19001 Sq. Feet), Closure: n00.0000e 0.00 ft. (1/999999), Perimeter=1327 ft.

01 n89.4033w 633.67

02 n02.3055e 1086.40

03 s83.0032e 434.44

04 s00.3357w 442.14

05 s89.4946e 165

06 s00.3357w 593.48

07 @0 Small Piece

08 n00.3357e 1322.48

09 s0w 658.59

10 n90w 165

11 s0w 70.41

12 n90e 165

13 n0e 70.41

14 @0 Land Use Easement 1190500

15 n89.4033w 127.16

16 n45.5534w 264.60

17 n50.2944w 395.16

18 s02.3055w 426.01

19 s89.4033e 506.51

20 @0 QCD Easement 1466787

21 n00.3357e 955.52

22 n83.0032w 602.54

23 n02.3055e 60.18

24 s83.0032e 600.48

25 s00.3357w 60.38

26 @0 Easement 2545827

27 n90w 633.37

28 n0e 30

29 n90e 633.37

30 s0w 30