

## **SOUTH WEBER CITY PLANNING COMMISSION AGENDA**

**PUBLIC NOTICE** is hereby given that the **Planning Commission of SOUTH WEBER CITY**, Utah, will meet in a **REGULAR** public meeting on **Thursday, December 14, 2017**, at the **South Weber City Council Chambers, 1600 East South Weber Drive**, commencing at **6:30 p.m.**

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A WORK MEETING WILL BE HELD PRIOR TO THE REGULAR PLANNING COMMISSION MEETING AT 6:00 P.M. TO DISCUSS  
AGENDA ITEMS, CORRESPONDENCE, AND/OR FUTURE AGENDA ITEMS

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### **THE AGENDA FOR THE REGULAR MEETING IS AS FOLLOWS:**

- 6:30 P.M.      Pledge of Allegiance  
                  Approval of Meeting Minutes – Commissioner Grubb  
                  ▪ November 6, 2017  
                  ▪ November 9, 2017  
                  Approval of Agenda  
                  Declaration of Conflict of Interest
- 6:35 P.M.      **Public Hearing on Rezone:** application at approx. 2355 E South Weber Drive (parcel 13-034-0060), approx. 10.9 acres from agriculture (A) to Residential High Density (R-H) by applicant Matrix Capital Advisors, LLC
- 6:50 P.M.      **Public Hearing on Rezone:** rezone application at approx. 7482 Cornia Drive, (parcel 13-174-0001) of approx. 1.3 acres from Commercial highway (C-H) to light industrial (L-I) by applicant Shawn Durrant
- 7:05 P.M.      Final Subdivision: application for Freedom Landing phase 2 (26 lots) located at approx. 400 E Old Maple Road (parcel 13-006-0031) 11.9 acres by applicant Peter Matson
- 7:20 P.M.      Final Subdivision: application for Riverside Place phase 3 (28 lots) located at approx. 6650 S 475 E (parcel 130180072) 2.92 acres by applicant Tim Grubb
- 7:35 P.M.      Public Comments – Please keep public comments to 3 minutes or less per person
- 7:40 P.M.      Planning Commissioner Comments (Johnson, Pitts, Walton, Osborne)
- 7:45 P.M.      Adjourn

\*\*\*\*\*

THE UNDERSIGNED PLANNING COORDINATOR FOR THE MUNICIPALITY OF SOUTH WEBER CITY HEREBY CERTIFIES THAT A COPY OF THE FOREGOING NOTICE WAS MAILED OR POSTED TO:

CITY OFFICE BUILDING  
Utah Public Notice website  
[www.utah.gov/pmn](http://www.utah.gov/pmn)

[www.southwebercity.com](http://www.southwebercity.com)  
TO EACH MEMBER OF THE PLANNING COMMISSION

THOSE LISTED ON THE AGENDA



DATE: December 12-8-17

\_\_\_\_\_  
LISA SMITH, PLANNING COORDINATOR

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, INDIVIDUALS NEEDING SPECIAL ACCOMMODATIONS DURING THIS MEETING SHOULD NOTIFY LISA SMITH, 1600 EAST SOUTH WEBER DRIVE, SOUTH WEBER, UTAH 84405 (801-479-3177) AT LEAST TWO DAYS PRIOR TO THE MEETING.

\*\*\*\*\*  
\*Agenda times are flexible and may be moved in order, sequence, and time to meet the needs of the Commission\*

# **SOUTH WEBER CITY PLANNING COMMISSION MEETING WORK MEETING**

**DATE OF MEETING:** 6 November 2017

**TIME COMMENCED:** 5:04 p.m.

**PRESENT: COMMISSIONERS:**

Tim Grubb (excused)  
Debi Pitts  
Rob Osborne  
Wes Johnson (unexcused)  
Taylor Walton (unexcused)

**CITY ENGINEER:**

Brandon Jones

**CITY PLANNER:**

Barry Burton

**CITY MANAGER:**

Tom Smith

**CITY RECORDER:**

Mark McRae

**Transcriber:** Minutes transcribed by Michelle Clark

**ATTENDEES:** Stan Cook, James Cook, and Jason Bickley.

Commissioner Osborne excused Commissioner Grubb from tonight's meeting. Commissioner Johnson and Walton were not in attendance. Commissioner Osborne recommended changing the order of the agenda, so Mr. Bickley could leave following the discussion regarding his property.

## **Conditional Use Permit application for twin homes (parcel 13-017-0013) located at approximately 7170 S 1700 E approximately 0.6 acres, by applicant Jason Bickley:**

Commissioner Osborne asked Mr. Bickley his feelings. Mr. Bickley said if there is a way he can split the lots, he is willing to do that. He discussed this idea with Barry Burton. He said Barry said there isn't enough frontage on Lot #13. He said he is under contract with Lot #12 & #13. Barry said the process will require a subdivision amendment. Barry said it is a minimum 30' setback in R-L Zone. Brandon recommended Mr. Bickley get an Alta Survey. Mr. Bickley said he is trying to take the two lots and make three lots.

## **Amending Residential Patio (R-P) SWMC 10.5P.2 & 3**

Commissioner Osborne questioned why the Residential Patio Zone (R-P) is good for the city. Barry Burton explained that there is a very high demand for that kind of housing, but he said, if it is too much for the Planning Commission, we can take it off. Barry said one of the fastest growing populations is 65 and older. Brandon Jones discussed the combined meeting with City Council and Planning Commission, when they discussed preservation of the trail along I-84, posse grounds, etc. Barry discussed this zone bringing less impact to the city. Brandon said if it helps the city to further accomplish its goals, then he would recommend making those changes. Commissioner Osborne likes keeping it at 10 acres. Brandon said that by keeping it at 10 acres, the bonus for the developer isn't very significant. Discussion took place regarding the density

and the difference in going from 6.0 dwelling units verses the proposed amendment of 4.0 dwelling units. Barry discussed the proposed amendment to 10-5P-9 item A. He said the minimum area that may be zoned RP shall be (2) acres and the maximum area which may be zone RP in any zone district shall be ~~ten (10)~~ twenty (20) acres. Brandon discussed Old Fort Road and it being hugely beneficial for the city in the long term. Barry agreed. Brandon discussed incentives for following the master plan and how it may help the city in the future. Commissioner Osborne said he is not in favor of going with the maximum of 20 acres. Barry said he will change 10-5P-9 item a back to 10 acres.

**Adopting Visual Buffer Overlay Zone (V-B) SWMC 10.5Q**

Barry Burton said the purpose of this overlay zone is to promote and provide for the preservation of open space and natural vegetation important to reducing the visual and noise impacts of Interstate 84 on adjacent residential development. This overlay zone provides incentives to property owners to develop in a way that will accomplish these objectives. This overlay zone establishes special provisions that apply only to those properties that receive this overlay designation and which override the applicable provisions of the underlying zone.

The open spaces to be preserved under the provisions of this article are those areas immediately adjacent to and on the south side of the Interstate 84 Right of Way from The Rocky Mountain Power Substation to 1100 East. This area will be between the I-84 Right of Way and the right of way for Old Fort Rd. as it is proposed and primarily land that contains native vegetation.

Barry said he needs to get some wording in the V-B Zone so that whatever is being preserved doesn't count against the 10 acres.

**Combined Retreat with City Council and Planning Commission January 12, 2017 from 1:00 to 5:00 p.m. followed by dinner.**

**Christmas Party is December 7, 2017 at 6:00 p.m. at Golden Corral in Layton.**

**ADJOURNED: 6:11 p.m.**

**APPROVED:**

\_\_\_\_\_  
Date

**Chairperson: Rob Osborne**

\_\_\_\_\_  
**Transcriber: Michelle Clark**

**Attest:**

\_\_\_\_\_  
**Planning Coordinator: Lisa Smith**

# **SOUTH WEBER CITY PLANNING COMMISSION MEETING WORK MEETING**

**DATE OF MEETING:** 9 November 2017

**TIME COMMENCED:** 6:00 p.m.

**PRESENT: COMMISSIONERS:**

Tim Grubb (excused)  
Debi Pitts  
Rob Osborne  
Wes Johnson  
Taylor Walton

**CITY ENGINEER:**

Brandon Jones

**CITY PLANNER:**

Barry Burton

**PLANNING COORDINATOR:**

Lisa Smith

**CITY MANAGER:**

Tom Smith

**Transcriber:** Minutes transcribed by Michelle Clark

**ATTENDEES:** None

**Approval of Meeting Minutes – Commissioner Osborne ▪ October 12, 2017:**

**Vote on Amending Code Ordinance: 10.5P.2 & 3 Residential Patio (R-P), Permitted Uses and Conditional Uses:** Commissioner Osborne said this item was discussed in a work meeting on 6 November 2017. He discussed a minimum of 10 acres for the Residential Patio (R-P) Zone. Commissioner Pitts discussed the density for the R-P Zone with the Visual Buffer Overlay Zone (V-B) Zone. Section 10-5P-4 states, there shall be no more than 4.0 dwelling units per acre contained within the boundaries of each phase of every development; except when previously completed phases of the same development have sufficiently low density so that the average is still no more than 4.0 dwelling units per acre.

**Vote on Adopting Code Ordinance: 10.5Q Visual Buffer Overlay Zone (V-B) 6:45 P.M.**

Barry said in the V-B Zone Section 5Q.4 add item E which would read: “Land preserved by this overlay zone shall not count toward the total allowable limit of any zone that has area limits.” Tom Smith, City Manager, said it is difficult because he feels there is no incentive to get the developer to help with the construction of Old Fort Road. Barry said section 10-5P-9 item (a) reads as follows:

- A. Minimum and Maximum Area: The minimum area that may be zoned RP shall be two (2) acres and the maximum area which may be zoned RP in any zone district shall be ten (10) acres.



Barry said the City Council has the opportunity to change the 10 acres to 20 acres.

**Final Subdivision: application for Riverside Place phases 3 & 4 (26 lots) located at approximately 6650 S Pebble Creek, by applicant Tim Grubb:** Commissioner Osborne said Barry and Brandon recommended to table this item. It was stated neither Phase 3 nor Phase 4 proposed are the same as the phasing approved as part of Preliminary Plat. Both phases stay within the allowed 30 lots with one access and the lot arrangement is according to the approved preliminary plat. All lots meet requirements for area and lot width. However, in both phases, there is a corner lot where the proposal does not include both streets on which the lots front. This does not meet the requirements of the ordinance. Each of these phases will have to be expanded to include the entire street frontage for those two corner lots; and if they do that, it would make sense to add the lots on the other side of those street additions to one of the phases.

**ADJOURNED: 6:20 p.m.**

**APPROVED:**

\_\_\_\_\_  
Chairperson: Rob Osborne Date

\_\_\_\_\_  
Transcriber: Michelle Clark

Attest: \_\_\_\_\_  
Planning Coordinator: Lisa Smith

# **SOUTH WEBER CITY PLANNING COMMISSION MEETING**

**DATE OF MEETING:** 9 November 2017

**TIME COMMENCED:** 6:30 p.m.

**PRESENT: COMMISSIONERS:**

Tim Grubb (excused)  
Debi Pitts  
Rob Osborne  
Wes Johnson  
Taylor Walton

**CITY PLANNER:**

Barry Burton

**CITY ENGINEER:**

Brandon Jones

**CITY MANAGER:**

Tom Smith

**PLANNING COORDINATOR:**

Lisa Smith

**Transcriber:** Minutes transcribed by Michelle Clark

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*A PUBLIC WORK MEETING was held at 6:00 p.m. to REVIEW AGENDA ITEMS*

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**PLEDGE OF ALLEGIANCE:** Commissioner Osborne

**ATTENDEES:** Stan Cook and James Cook

## **APPROVAL OF MEETING MINUTES**

- **October 12, 2017**

Commissioner Johnson moved to approve the meeting minutes of 12 October 2017 as written. Commissioner Pitts seconded the motion. Commissioners Johnson, Osborne, and Pitts voted yes. Commissioners Walton abstained as he was excused from the meeting. The motion carried.

**APPROVAL OF THE AGENDA:** Commissioner Walton moved to approve the agenda as written. Commissioner Pitts seconded the motion. Commissioners Johnson, Osborne, Pitts, and Walton voted yes. The motion carried.

**DECLARATION OF CONFLICT OF INTEREST:** (None)

**Vote on Amending Code Ordinance: 10.5P.2 & 3 Residential Patio (R-P), Permitted Uses and Conditional Uses:** Commissioner Osborne said the only change made to this zone is the buffer yard section B on 10-5B-11 has been removed and inserted a screen fence of 6 ft. and the density of building lot requirements will be no more than 4 dwelling units per acre. He said a public hearing has been held.

**Commissioner Johnson moved to forward recommendation of approval to the City Council for the amendments to Code Ordinance: 10.5P.2 & 3 Residential Patio (R-P), Permitted Uses and Conditional Uses. Commissioner Pitts seconded the motion. Commissioners Johnson, Osborne, Pitts, and Walton voted yes. The motion carried.**

**Vote on Adopting Code Ordinance: 10.5Q Visual Buffer Overlay Zone (V-B):** Barry Burton, City Planner, said the Visual Buffer Overlay Zone (V-B) came about to help preserve natural vegetation along I-84. He said this ordinance allows a density transfer from the area being preserved and a density increase. He then discussed the lot width adjustment being 5ft and the side yard will be reduced by 2 ft. but no less than 5 ft. He discussed adding item E to this list which states, "Land preserved by this overlay zone shall not count toward the total allowable limit of any zone that has area limits."

**Commissioner Walton moved to forward recommendation of approval to the City Council for Code Ordinance: 10.5Q Visual Buffer Overlay Zone (V-B). Commissioner Johnson seconded the motion. Commissioners Johnson, Osborne, Pitts, and Walton voted yes. The motion carried.**

**Final Subdivision: application for Riverside Place phases 3 & 4 (26 lots) located at approximately 6650 S Pebble Creek, by applicant Tim Grubb**

Commissioner Osborne said as per Barry Burton's memo it has been recommended that the Planning Commission table this item.

Barry Burton, City Planner's memo of 2 November 2017 is as follows:

*Neither Phase 3 nor Phase 4 as proposed are the same as the phasing approved as part of Preliminary Plat. That in itself is not a problem, but the way these phases are being proposed does create some issues. Both phases stay within the allowed 30 lots with one access and the lot arrangement is according to the approved preliminary plat. All lots meet requirements for area and lot width. However, in both phases, there is a corner lot where the proposal does NOT include both streets on which the lots front. This does not meet the requirements of our ordinance. Each of these phases will have to be expanded to include the entire street frontage for those two corner lots; and if they do that, it would make sense to add the lots on the other side of those street additions to one of the phases.*

Barry said due to the fact that both of the plats need to be revised, he would recommend tabling these proposals to allow developers to make the necessary alterations.

**Commissioner Pitts moved to table Final Subdivision: application for Riverside Place phases 3 & 4 (26 lots) located at approximately 6650 S Pebble Creek, by applicant Tim**

**Grubb. Commissioner Walton seconded the motion. Commissioners Johnson, Osborne, Pitts, and Walton voted yes. The motion carried.**

**PUBLIC COMMENTS:** (None)

**PLANNING COMMISSION:**

**Commissioner Johnson:** He met with Mayor-Elect Sjoblom concerning trails and trailheads for South Weber City. He discussed the reconstruction of Highway 89. He will be contacting the State parks people so that this information can be passed along to UDOT. Barry said he attended the open house for Highway 89 and reviewed the plans. Commissioner Johnson also discussed the Weber Pathway Trail and property that they are looking at for property acquisition. He discussed the fencing along Weber River that was destroyed in the fire. He also discussed the continuation Bonneville Shoreline Trail. He has been reviewing the landscape portion of the zoning ordinance. Barry said he met with Tom and discussed this item. He will begin amending the ordinance the first of the year.

**ADJOURNED:** Commissioner Walton moved to adjourn the Planning Commission meeting at 6:49 p.m. Commissioner Pitts seconded the motion. Commissioners Pitts, Johnson, Osborne, and Walton voted yes. The motion carried.

**APPROVED:** \_\_\_\_\_ Date

Chairperson: Rob Osborne

\_\_\_\_\_  
Transcriber: Michelle Clark

Attest:

\_\_\_\_\_  
Planning Coordinator: Lisa Smith

# APPLICATION FOR CHANGE OF ZONING

South Weber City  
1600 East South Weber Drive  
South Weber, Utah 84405  
Phone: (801) 479-3177 Fax: (801) 479-0066

OFFICE USE: Application # \_\_\_\_\_ Fee \$ \_\_\_\_\_ Receipt # \_\_\_\_\_ Date Received \_\_\_\_\_

Owner of Property Jane M Poll Trust

Applicant's Name Matrix Capital Advisors, LC  
Mailing Address 2715 Swasont Way City, State, Zip Holladay, Utah 84117  
Phone 801.550.9090 Fax \_\_\_\_\_ Email matrixadvisors@comcast.net

Agent's Name Christopher J Clifford  
Mailing Address same as above City, State, Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ Email \_\_\_\_\_

Request: 10.905 Acres/Sq. Feet be changed from A zone to R-H zone  
\_\_\_\_\_ Acres/Sq. Feet be changed from \_\_\_\_\_ zone to \_\_\_\_\_ zone

Property Address: Approximately 2355 E. South Weber Drive, South Weber, Utah 84405

Parcel Number(s): #13-034-0060 Total Acres or Sq. Feet: 10.905

Legal Description: (If description is longer than space provided, please submit complete legal description on an addendum sheet.)

See attached description

What is the proposed use?

A high quality mixed use planned residential community consisting of amenity driven townhomes and apartment dwellings

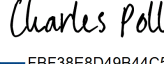
In what way does the proposal recognize the City's General Plan?

While the proposed use does not adhere to the current General Plan, the proposed project better reflects the trend of current market demand for high quality townhomes and family oriented apartments at this intersection serving the North Davis and South Ogden County employment base. The current, and future, declining trend in neighborhood commercial development strongly suggests that any prospects of profitable commercial ventures at this location is highly unlikely.

**Public Notice Authorization:** I (we) do hereby give permission to South Weber City to place a city Apublic notice@ sign on the property contained in this application for the purpose of notification of the change of zoning application.

Signed:

DocuSigned by:  
  
 625CDBAAC37E4CD...  
 Property Owner Trustee

DocuSigned by:  
  
 FBF38E8D49B44C5...  
 Property Owner Trustee

### APPLICANT'S AFFIDAVIT

State of Utah )  
 County of )

Farrell Poll, Charles Poll


I (we) \_\_\_\_\_, being duly sworn, depose and say I (we) am (are) the sole  
 Property Owner(s) or Agent of Owner 2355 E South Weber Dr,  
 owner(s)/agent of the owner(s), of the property involved in this application, to-wit, South Weber, UT 84405

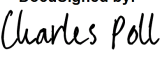
Property Address

and that the statements and answers contained herein, in the attached plans, and other exhibits, thoroughly and to the best of my ability, present the argument in behalf of the application. Also, all statements and information are in all respects true and correct, to the best of my knowledge and belief.

Dated this 11/10/2017 day of \_\_\_\_\_,

Signed:

DocuSigned by:  
  
 625CDBAAC37E4CD...  
 Property Owner or Agent

DocuSigned by:  
  
 FBF38E8D49B44C5...  
 Property Owner or Agent 11/10/2017

Subscribed and Sworn before me this \_\_\_\_\_ day of \_\_\_\_\_,

Notary Public: \_\_\_\_\_

### AGENT AUTHORIZATION

State of Utah )  
 County of Davis )

I (we) Jane M Poll Trust \_\_\_\_\_, the sole owner(s) of the real property located at

Property Owner(s)


2355 E. South Weber Drive \_\_\_\_\_, South Weber City, Utah do hereby appoint Matrix Capital Advisors LC \_\_\_\_\_,

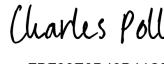
Property Address

as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and to appear on my (our) behalf before any city boards considering this application.

Dated this 11/10/2017 day of \_\_\_\_\_,

Signed:

DocuSigned by:  
  
 625CDBAAC37E4CD...  
 Property Owner Trustee

DocuSigned by:  
  
 FBF38E8D49B44C5...  
 Property Owner Trustee 11/10/2017

Subscribed and Sworn before me this \_\_\_\_\_ day of \_\_\_\_\_,

Notary Public: \_\_\_\_\_





**Legal Description:**  
 BEG AT APT 750.34 PACE S 47°06'21" E 36.68 FT FR NW COR OF SW 1/4 OF NE 1/4 OF SEC 35-T5N-R1W,  
 SLK & RUN TH N 05°15'16" E 36.48 FT TO THE S½LY LINE OF A STR; TH SE½LY ALG THE ARC OF A 36.90 FT  
 QUANT CIRCLE LEFT 75°00'00" E 25.12 FT TO THE S½LY LINE OF A STR; TH S½LY ALG THE ARC OF A 36.90 FT  
 543.3 FT; TH W 48°16'18" E 3.46 FT TO THE ELY LINE OF ROYAL FARMS ESTATES PHASE 3; TH ALG SD  
 LINE 3 COURSES AS FOLLOWS: N 65°50'02" W 382.23 FT, N 57°09'46" W 82.36 FT, N 52°25'32" W 101.91 FT;  
 TH ALG THE NLY VLY OF PPVT CON IN QC DEED RECORDED 09/30/2010 AS AC 2556778-RIK 5120 PG  
 118S TO THE NLY VLY OF CEDAR BLUFFS PHASE 2; TH ALG SD LINE 2 COURSES AS FOLLOWS: N 65°50'02"  
 DEED RECORDED 09/30/2010 AS AC 2556780-RIK 5120 PG 118S THE FOLLOWING COURSE: N 49°15'02" W  
 5.53 FT TO N LINE OF CEDAR BLUFFS PHASE 2; TH ALG SD LINE THE FOLLOWING COURSE: N  
 47°12'09" W 35.96 FT, ML TO POB, CONT 10.905 ACRES (NOTE: THIS REMAINING LEGAL WAS WRITTEN  
 INTO THE RECORDER'S OFFICE FOR I.D. PURPOSES, IT DOES NOT REFLECT A SURVEY  
 OF THE PROPERTY.)

**SOUTH WEBER APARTMENTS**  
SOUTH WEBER, UT

A100

















# *Community and Economic Development*

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Davis County Administration Building - 61 S. Main Street - Farmington Utah 84025  
Telephone: (801) 451-3279- Fax: (801) 451-3281  
Barry Burton/Director

## **MATRIX CAPITAL ADVISORS REZONE A to R-H**

By Barry Burton 12.5.17

**APPLICANT:** Matrix Capital Advisors/Jane M. Poll, Trustee

**REQUEST:** Rezone 109 acres from Agriculture (A) to Residential High Density R-H.

**GENERAL INFORMATION:** The rezone request does not meet the recommendations of the current General Plan which calls for the land to be used for Commercial Highway purposes. The applicant will be making the argument that the demand for commercial development in South Weber will never fully occupy all of our commercial zoned properties. This may be true; the Planning Commission and City Council will be hearing more about this in the near future. But, that doesn't mean that this piece of property isn't viable for commercial uses, nor does it mean that high density residential uses would be any more appropriate. Also, we know there are some sewer service issues in this area and allowing high density residential on this property would significantly impact the sewer system. I believe the correct thing to do here is to decide if we want to revisit the General Plan and if upon doing so; this property is slated for high density residential, only then would such a rezone be appropriate.

**STAFF RECOMMENDATION:** I recommend this rezone application be given a recommendation of denial to the City Council. This proposal is contrary to the General Plan and even if it might be appropriate to make a change to the General Plan in this area, we don't know what that change might be.

# APPLICATION FOR CHANGE OF ZONING

South Weber City  
1600 East South Weber Drive  
South Weber, Utah 84405  
Phone: (801) 479-3177 Fax: (801) 479-0066

OFFICE USE: Application # 1785 Fee \$ 300 Receipt # 15013502 Date Received 11/22/17

Owner of Property Patrick J McCall and John L McCall

Applicant's Name Shawn Durrant  
Mailing Address 1834 S. River Run Dr. City, State, Zip Huntsville, UT 84317  
Phone 801 814 6975 Fax \_\_\_\_\_ Email accardi@accardiwriteinc@gmail.com

Agent's Name \_\_\_\_\_  
Mailing Address \_\_\_\_\_ City, State, Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ Email \_\_\_\_\_

Request: 1.313 Acres/Sq. Feet be changed from Heavy Hag zone to Light Industrial zone  
\_\_\_\_\_ Acres/Sq. Feet be changed from \_\_\_\_\_ zone to \_\_\_\_\_ zone

Property Address: 7482 Cornia Dr. South Weber, UT 84405

Parcel Number(s): 131740001 Total Acres or Sq. Feet: 1.313

Legal Description: (If description is longer than space provided, please submit complete legal description on an addendum sheet.)

All of Lot 1, Rice Subdivision Contains 1.313 Acres

What is the proposed use?

Contractor storage with building

In what way does the proposal recognize the City's General Plan?

The proposed building & use will be designed to  
continue the theme of rural surroundings.

**Public Notice Authorization:** I (we) do hereby give permission to South Weber City to place a city Apublic notice@ sign on the property contained in this application for the purpose of notification of the change of zoning application.

Signed: \_\_\_\_\_

Property Owner

Property Owner

**APPLICANT'S AFFIDAVIT**

State of Utah )  
County of DAVIS )

I (we) Shawn Durrant, being duly sworn, depose and say I (we) am (are) the sole  
Property Owner(s) or Agent of Owner  
owner(s)/agent of the owner(s), of the property involved in this application, to-wit, 7482 Cornia Dr S Weber  
Property Address

and that the statements and answers contained herein, in the attached plans, and other exhibits, thoroughly and to the best of my ability, present the argument in behalf of the application. Also, all statements and information are in all respects true and correct, to the best of my knowledge and belief.

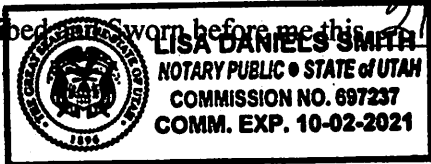
Dated this 21 day of November, 2017.

Signed: \_\_\_\_\_

Property Owner or Agent

Property Owner or Agent

Subscribed and Sworn before me this 21<sup>st</sup> day of November, 2017.



Notary Public: \_\_\_\_\_

**AGENT AUTHORIZATION**

State of Utah )  
County of \_\_\_\_\_ )

I (we) \_\_\_\_\_, the sole owner(s) of the real property located at  
Property Owner(s)  
\_\_\_\_\_, South Weber City, Utah do hereby appoint \_\_\_\_\_  
Property Address  
as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and to appear on my (our) behalf before any city boards considering this application.

Dated this \_\_\_\_\_ day of \_\_\_\_\_,

Signed: \_\_\_\_\_

Property Owner

Property Owner

Subscribed and Sworn before me this \_\_\_\_\_ day of \_\_\_\_\_,

Notary Public: \_\_\_\_\_

**Public Notice Authorization:** I (we) do hereby give permission to South Weber City to place a city Apublic notice@ sign on the property contained in this application for the purpose of notification of the change of zoning application.

Signed: \_\_\_\_\_

Property Owner

Property Owner

**APPLICANT'S AFFIDAVIT**

State of Utah )  
County of \_\_\_\_\_ )

I (we) \_\_\_\_\_, being duly sworn, depose and say I (we) am (are) the sole  
Property Owner(s) or Agent of Owner  
owner(s)/agent of the owner(s), of the property involved in this application, to-wit, \_\_\_\_\_

Property Address

and that the statements and answers contained herein, in the attached plans, and other exhibits, thoroughly and to the best of my ability, present the argument in behalf of the application. Also, all statements and information are in all respects true and correct, to the best of my knowledge and belief.

Dated this \_\_\_\_\_ day of \_\_\_\_\_,

Signed: \_\_\_\_\_

Property Owner or Agent

Property Owner or Agent

Subscribed and Sworn before me this \_\_\_\_\_ day of \_\_\_\_\_,

Notary Public: \_\_\_\_\_

**AGENT AUTHORIZATION**

State of Utah )  
County of Davis )

I (we) Patrick J McCall and John L. McCall, the sole owner(s) of the real property located at  
Property Owner(s)  
7482 S Cornia Drive, South Weber City, Utah do hereby appoint Shawn Darrant,  
Property Address

as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and to appear on my (our) behalf before any city boards considering this application.

Dated this 15th day of November, 2017

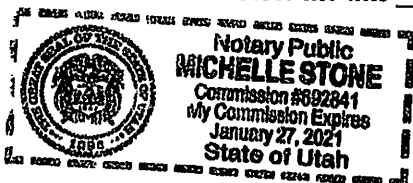
Signed: \_\_\_\_\_

Property Owner

Property Owner

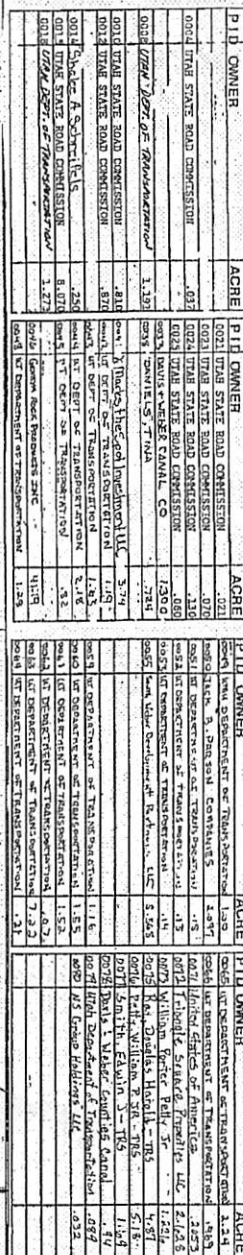
Subscribed and Sworn before me this 15th day of November, 2017

Notary Public: \_\_\_\_\_





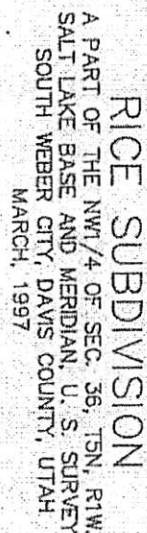
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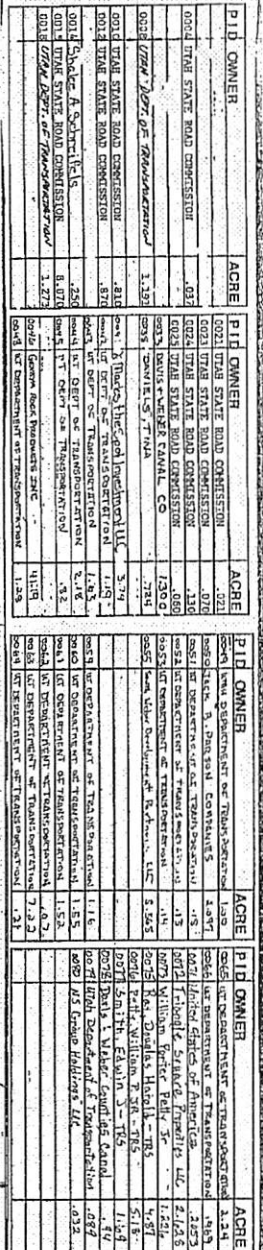


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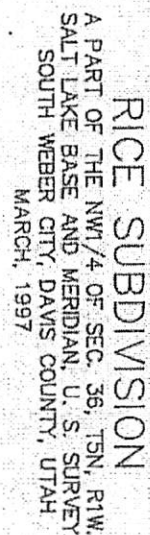
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# *Community and Economic Development*

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Davis County Administration Building - 61 S. Main Street - Farmington Utah 84025  
Telephone: (801) 451-3279- Fax: (801) 451-3281  
Barry Burton/Director

## **RICE SUBDIVISION LOT 1 REZONE C-H to L-I**

By Barry Burton 12.6.17

**APPLICANT:** Shawn Durrant

**REQUEST:** Rezone 1.3 acres from Commercial Highway (C-H) to Light Industrial (L-I).

**GENERAL INFORMATION:** The rezone request does not meet the recommendations of the current General Plan which calls for the land to be used for Commercial Highway purposes. However, there is a precedent for making this zone change. This lot lies adjacent to Sure Steel which is zoned L-I and is across Cornia Dr. from an active gravel pit. This proposal seems to make sense for this particular property. It is quite likely that a General Plan update would recommend light industrial use in this area.

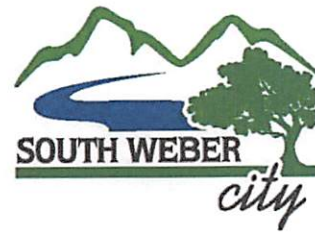
**STAFF RECOMMENDATION:** I recommend this rezone application be given a recommendation of approval to the City Council. Light industrial use is not dissimilar to a commercial highway use in terms of its impact on the community and adjacent properties contain industrial uses.

**For Office Use Only**

Fees received by: \_\_\_\_\_ Date of submittal: 11-14-17  
Amount Paid: 1,100 Receipt #: 17047273

Initial Review, all of the required supporting materials have been provided: \_\_\_\_\_

PC/CC Meeting Date: PC 12-14-17



## Final Plan Application

Project/Subdivision Name: Freedom Landing Townhomes - Phase 2

Approx. Location: 400 East Old Maple Road (6575 South)

Parcel Number(s): 13-006-0031 Total Acres: 2.185

Current Zone: R-H

Surrounding Land Uses: I-84 (north); single family residential (east/south); multi-family res. (west)

Number of Lots: 26 # Lots Per Acre: 11.90

Phase: 2 of 3 PUD: Yes / No

## Contact Information

### Developer or Agent

Name: Peter Matson  
Company Name: Ovation Homes/Capital Reef Mgt.  
Address: 498 North Kays Drive  
City/State/Zip: Kaysville, UT 84037  
Phone: 801-444-3639 Fax: 801-546-0782  
Email: peter@ovationhomesutah.com

### Best Way/Preferred Method of Contact:

☒ Email ☒ Phone ☐ Fax ☐ Mail

### Developer's Engineer

Name: Nate Reeve  
Company: Reeve & Associates  
License #: 375328-2203  
Address: 5160 South 1500 West  
City/State/Zip: Riverdale, UT 84405  
Phone: 801-621-3100 Fax: 801-621-2666  
Email: nate@reeve-assoc.com

### Best Way/Preferred Method of Contact:

☒ Email ☒ Phone ☐ Fax ☐ Mail

### Surveyor

☒ Check here if same as Engineer

Name: \_\_\_\_\_  
Company: \_\_\_\_\_  
License #: \_\_\_\_\_  
Address: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

### Property Owner(s)

☒ Check here if same as Developer

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_



SUBDIVISION: OLD MAPLE FARMS TOWNHOMES

PROPERTY PARCEL NUMBER(S): 13-006-031(pt.) & 13-006-0025

**APPLICANT'S AFFIDAVIT**

State of Utah )  
County of Davis ) §

I/We Norman Frost, the sole owner(s)/authorized agent of the owner(s) of the property involved in this application, located at +6650 S. 475 E. (13-006-0031[pt] & 13-006-0025), swear the statements and answers contained herein, in the attached plans, and other exhibits, thoroughly, to the best of my/our ability, present the argument in behalf of the application requested herewith, and that the statements and information above referred to are in all respects true and correct to the best of my/our knowledge and belief.

Dated this 20 day of June, 2017.

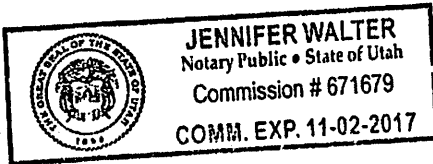
Signed:

Norman L Frost  
Property Owner or Agent

Property Owner or Agent

Subscribed and sworn to before me on this 20 day of June, 2017.

S  
E  
A  
L



Jennifer Walter  
Notary Public

**AGENT AUTHORIZATION**

State of Utah )  
County of Davis ) §

I/We \_\_\_\_\_, the sole owner(s) of the real property located at \_\_\_\_\_, South Weber, Utah, hereby appoint \_\_\_\_\_ as my/our agent with regard to this application affecting the above described real property, and authorize said agent to appear on my/our behalf before any city commission, board or council considering this application.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Signed:

\_\_\_\_\_  
Property Owner or Agent

\_\_\_\_\_  
Property Owner or Agent

Subscribed and sworn to before me on this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

S  
E  
A  
L

\_\_\_\_\_  
Notary Public

## Final Plan Requirements

- ☐ Complete all conditions/requirements set by the Planning Commission at Preliminary Approval
- ☐ Finalized Draft of Covenants, Conditions, and Restrictions (if applicable)
- ☐ Finalized Storm Drain Calculations
- ☐ Any applicable agreements finalized, signed, and proof of recording with county provided (agreements with South Weber City must be finalized and remain unsigned)
- ☐ Finalized set of certified, stamped construction drawings and specifications as prepared by a licensed civil engineer\*\*

\*\*One full sized (24" x 36"), one reduced (11" x 17"), and one electronic PDF form shall be submitted of the following (the north area to point up or to the left):

- ☐ Format of Final Plat for Recording Required by the County

\*All plans must be prepared and stamped by a licensed and/or certified professionals including, but not limited to, architects, landscape architects, land planners, engineers, surveyors, transportation engineers or other professionals as deemed necessary by the City Planner.

## Applicant Certification

I certify under penalty of perjury that this application and all information submitted as a part of this application are true, complete, and accurate to the best of my knowledge. I also certify that I am the owner of the subject property and that the authorized agent noted in this application has my consent to represent me with respect to this application. Should any of the information or representations submitted in connection with this application be incorrect or untrue, I understand that The City of South Weber may rescind any approval, or take any other legal or appropriate action. I also acknowledge that I have reviewed the applicable sections of the South Weber City Land Development Code and that items and checklists contained in this application are basic and minimum requirements only and that other requirements may be imposed that are unique to individual projects or uses. Additionally, I agree to pay all fees associated with this project, as set by the current adopted Consolidated Fee Schedule as well as any fees associated with any City Consultant (i.e. engineer, attorney). The applicant shall also be responsible for all collection fees incurred including a collection fee of up to 40% (pursuant to the provisions of the Utah Code Ann. §12-1-11). I also agree to allow the Staff, Planning Commission, or City Council or appointed agent(s) of the City to enter the subject property to make any necessary inspections thereof.

Applicant's Signature:  Date: 11/14/17

Property Owner's Signature:  Date: 11/14/17

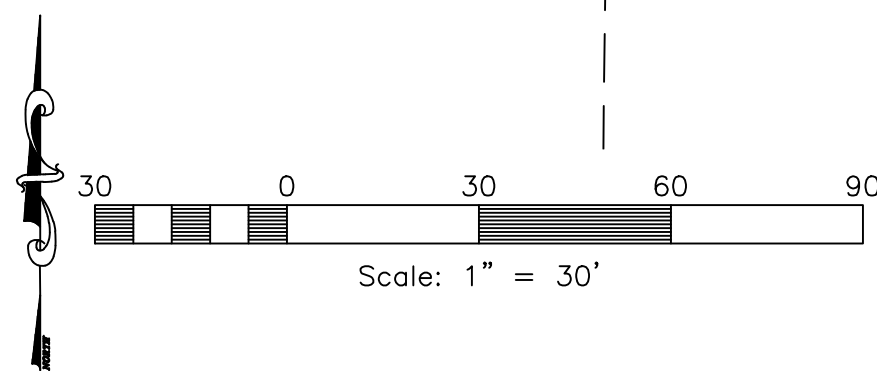
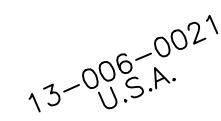
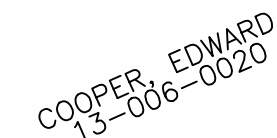
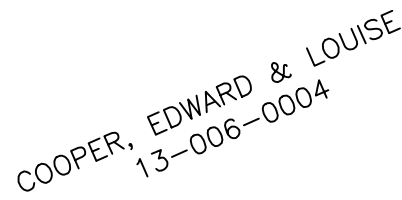




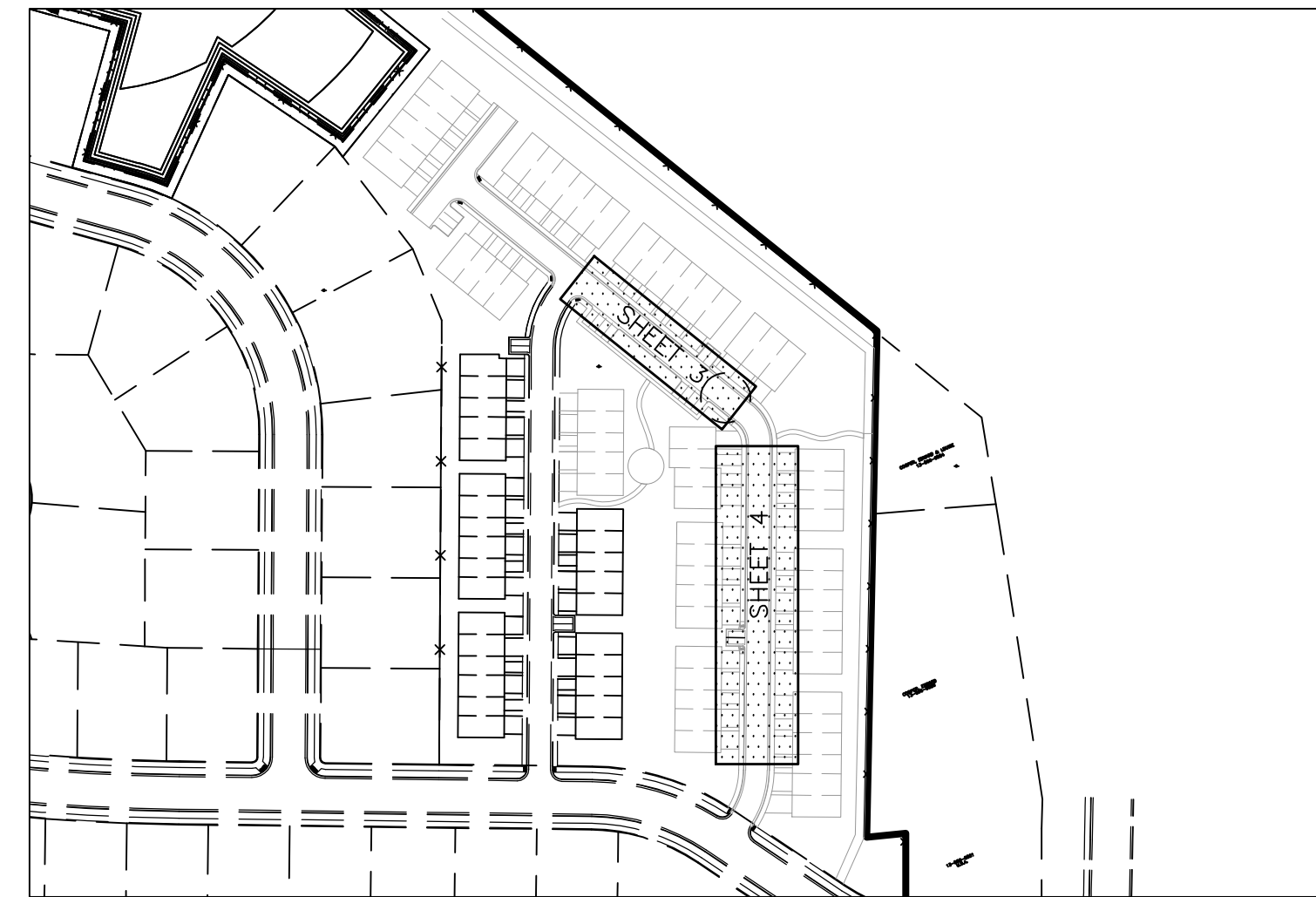


1. 10/12/17 CK - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.

SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
OCTOBER 2017



### Vicinity Map




**Sheet Index Key Map**  
NOT TO SCALE

**Sheet 1 - Cover/Index Sheet**  
**Sheet 2 - Notes/Legend/Street Cross-Section**  
**Sheet 2.1 - Central Weber Sewer District Standard Manhole Connection Detail**  
**Sheet 3 - Utility Outfall - 14+50.00 - 18+00.00**  
**Sheet 4 - Private Street C - 17+50.00 - 22+50.00**  
**Sheet 5 - Site Plan**  
**Sheet 6 - Grading & Drainage Plan**  
**Sheet 7 - Utility Plan**  
**Sheet 8 - Storm Water Pollution Prevention Plan Exhibit**  
**Sheet 9 - Storm Water Pollution Prevention Plan Details**  
**Sheet L1 - Landscape Plan**  
**Sheet L2 - Landscape Details**

TOTAL PHASE 2 AREA.....	100,373 s.f.	
IMPERVIOUS AREA.....	62,618 s.f.	62.4%
IMPERVIOUS AREA (OUTSIDE BOUNDARY)....	1,542 s.f.	00.0%
LANDSCAPE AREA.....	37,755 s.f.	37.6%

Ovation Homes  
Brad Frost  
893 N. Marshall Way, #A  
Layton City, Ut. 84041  
PH: (801) 564-3898

**Call: Toll Free**  
**1-800-662-4111**  
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WWW.REEVE-ASSOCIATES.COM

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PLANNERS • CIVIL ENGINEERS • LAND DEVELOPERS  
STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

<u>DATE</u>	<u>REVISIONS DESCRIPTION</u>

# Freedom Landing Townhomes Phase 2

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

# Cover/Index Sheet



Engineer: J. NATE REEVE, P.E.  
 Drafter: C. KINGSLEY  
 Begin Date: OCTOBER 2017  
 Name: FREEDOM LANDING  
 TOWNHOMES  
 PHASE 2  
 Number: 5061-C16

Sheet	9
1	Sheets



General Notes:

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UN-INCORPORATED), INDIVIDUAL PRODUCT MANUFACTURERS, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), AND THE DESIGN ENGINEER. THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW GEOTECHNICAL RECOMMENDATIONS FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, RETAINING WALLS AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH THE PROJECT GEOTECHNICAL ENGINEER.
- TRAFFIC CONTROL, STRIPING & SIGNAGE TO CONFORM TO CURRENT GOVERNING AGENCIES TRANSPORTATION ENGINEER'S MANUAL AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD, INCLUDING OBTAINING REQUIRED INSPECTIONS.
- ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH BY THE GEOTECHNICAL ENGINEER.
- CATCH SLOPES SHALL BE GRADED AS SPECIFIED ON GRADING PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAGMEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY HIMSELF BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS HE MAY PREFER OF THE LOCATIONS OF THE PROPOSED WORK AND THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK. IF, DURING THE COURSE OF HIS EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO HIM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, HE SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING HIS BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, HE HAS RELIED AND IS RELYING ON HIS OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON HIS OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT HE HAS NOT RELIED SOLELY UPON OWNER- OR ENGINEER-FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING HIS BID.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
- CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES, AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED, WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE HIGHEST QUALITY ARE TO BE USED.
- CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS IN THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO TIE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY WATER BLASTING.
- CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH LOCAL, STATE, AND NATIONAL SAFETY CODES, ORDINANCES, OR REQUIREMENTS FOR EXCAVATION AND TRENCHES.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE

Utility Notes:

- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, AND INTERNET.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS (BY OTHERS). PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CONTRACTOR SHALL POT HOLE ALL UTILITIES TO DETERMINE IF CONFLICTS EXIST PRIOR TO BEGINNING ANY EXCAVATION. NOTIFY ENGINEER OF ANY CONFLICTS. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES TO WHICH NEW UTILITIES WILL BE CONNECTED. PRIOR TO COMMENCING ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE REQUIRED PROCEDURES.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT HIS EXPENSE.
- ALL VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE.
- CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE.
- CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOX WITH NON-SHRINKING GROUT, INCLUDING PIPE VOIDS LEFT BY CUTTING PROCESS, TO A SMOOTH FINISH.
- CONTRACTOR SHALL GROUT WITH NON-SHRINKING GROUT BETWEEN GRADE RINGS AND BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX.
- SILT AND DEBRIS IS TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DE-WATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- MAINTAIN A MINIMUM 18" VERTICAL SEPARATION DISTANCE BETWEEN ALL UTILITY CROSSINGS.
- CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL BOLTED FITTINGS MUST BE GREASED AND WRAPPED.
- UNLESS SPECIFICALLY NOTED OTHERWISE, MAINTAIN AT LEAST 2 FEET OF COVER OVER ALL STORM DRAIN LINES AT ALL TIMES (INCLUDING DURING CONSTRUCTION).
- ALL WATER LINES SHALL BE INSTALLED A MINIMUM OF 48" BELOW FINISHED GRADE.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, PIPE EDGE TO PIPE EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, THE SEWER LINE AND WATER LINE SHALL BE LAID IN SEPARATE TRENCHES AND THE BOTTOM OF THE WATER LINE SHALL BE AT LEAST 18" ABOVE THE TOP OF THE SEWER LINE.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.
- STREET LIGHTS TO BE CONSTRUCTED PER ROCKY MOUNTAIN POWER STANDARD DETAILS AND REQUIREMENTS.

Erosion Control General Notes:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCY'S ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT OPEN FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

Maintenance:

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

EXPPOSED SLOPES:

- ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:
- SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
  - TRACKING STRAW PERPENDICULAR TO SLOPES
  - INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

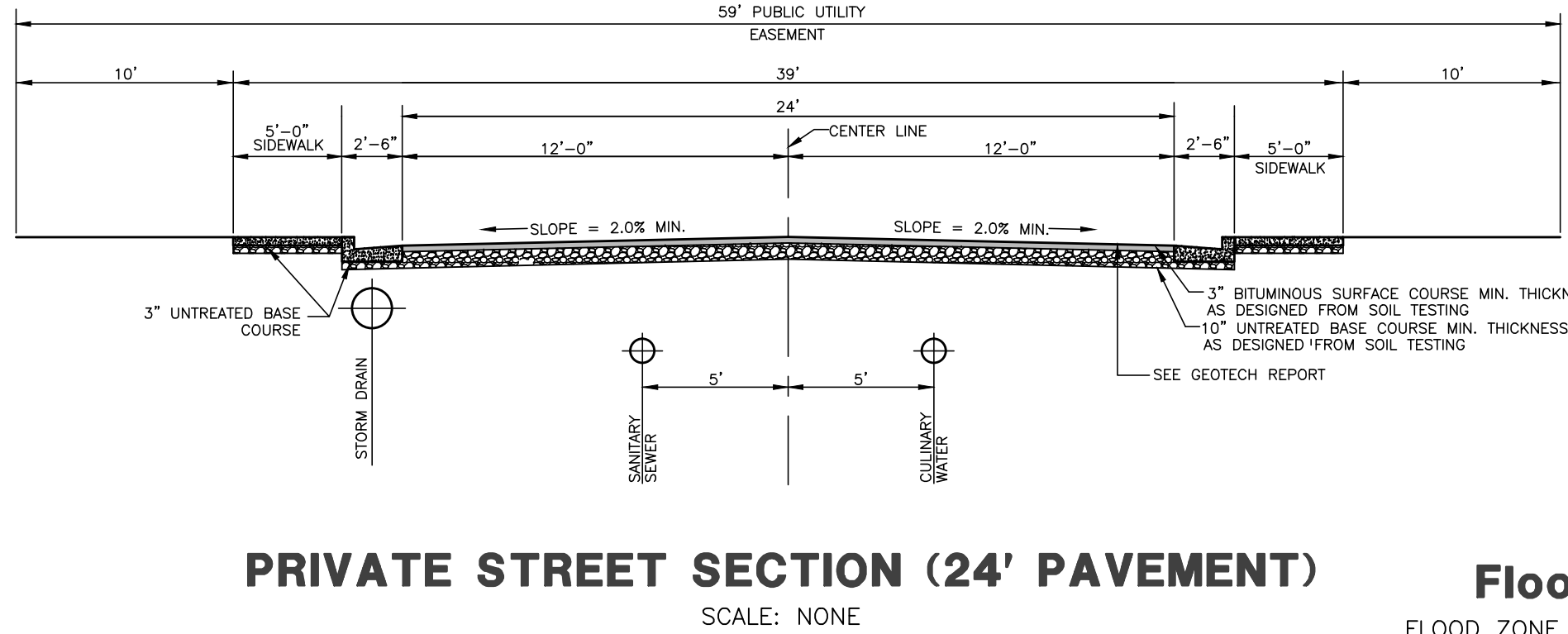
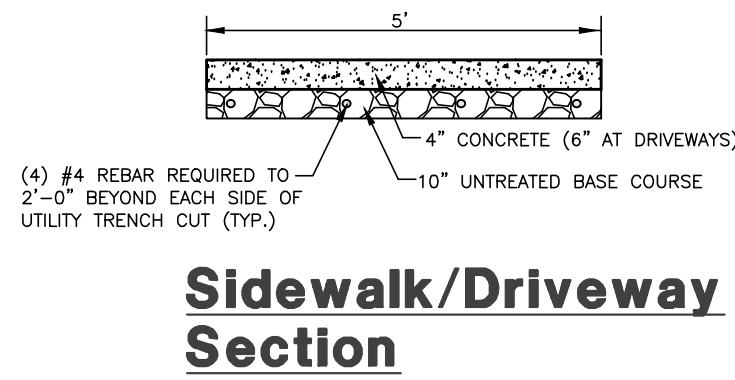
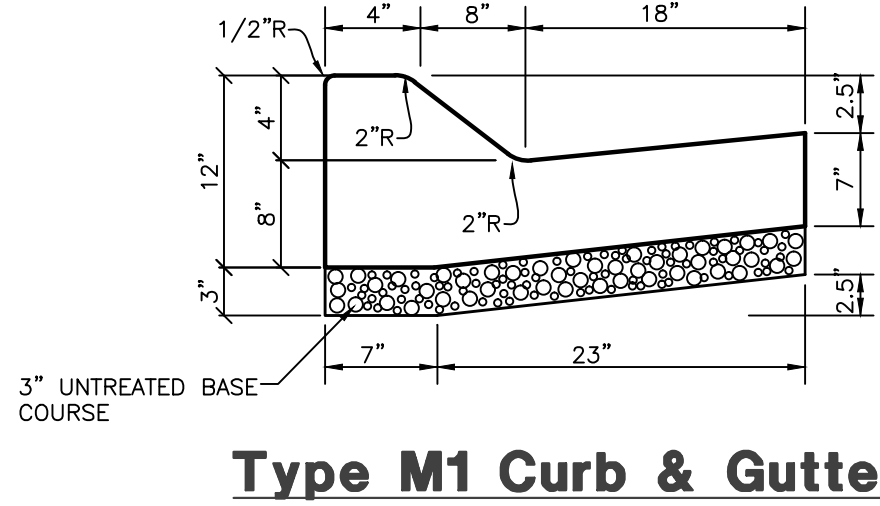
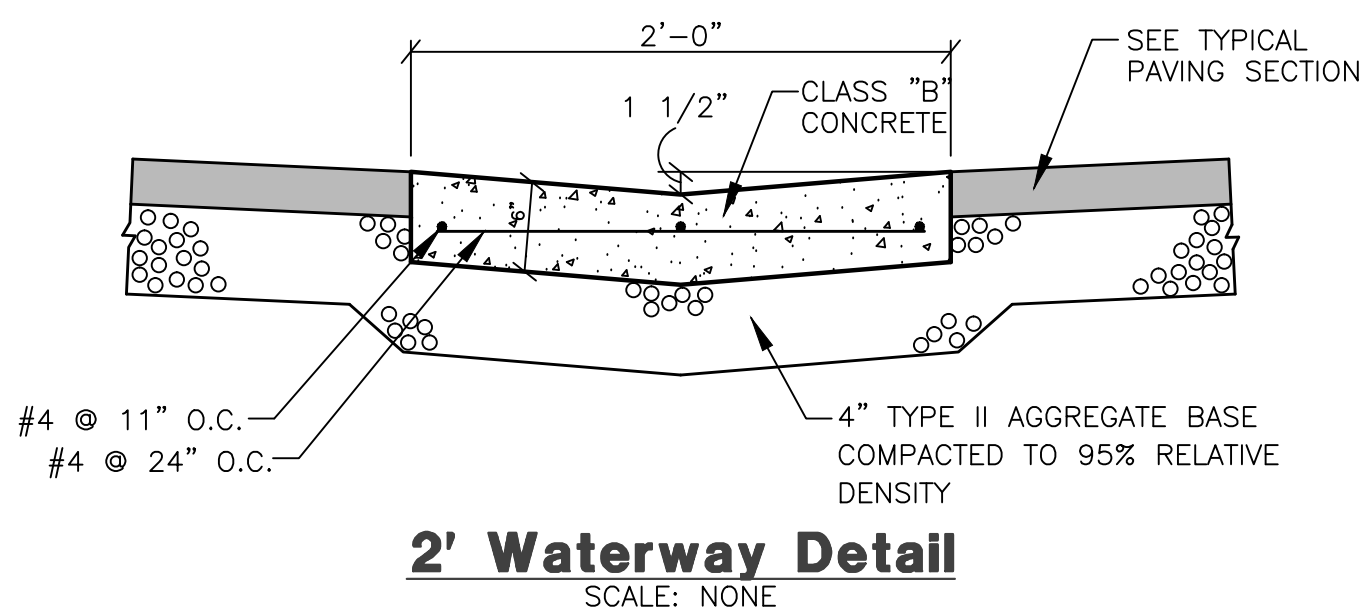
Survey Control Note:

THE CONTRACTOR OR SURVEYOR SHALL BE RESPONSIBLE FOR FOLLOWING THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS) MODEL STANDARDS FOR ANY SURVEYING OR CONSTRUCTION LAYOUT TO BE COMPLETED USING REEVE & ASSOCIATES, INC. SURVEY DATA OR CONSTRUCTION IMPROVEMENT PLANS. PRIOR TO PROCEEDING WITH CONSTRUCTION STAKING, THE SURVEYOR SHALL BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON AN ALTA SURVEY, IMPROVEMENT PLAN, OR ANY ELECTRONIC DATA PROVIDED. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN FIVE (5) EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY REEVE & ASSOCIATES, INC. AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION STAKING.

Legend

—W—	= PROPOSED CULINARY WATER LINE	FC	= FENCE CORNER
—EX.W---	= EXISTING CULINARY WATER LINE	FF	= FINISH FLOOR
—SS—	= PROPOSED SANITARY SEWER LINE	FFE	= FINISH FLOOR ELEVATION
—EX.SS---	= EXISTING SANITARY SEWER LINE	FG	= FINISHED GRADE
—SD—	= PROPOSED STORM DRAIN LINE	FH	= FIRE HYDRANT
—EX.SD---	= EXISTING STORM DRAIN LINE	FL	= FLOW LINE
—X—X—	= FENCE LINE	GB	= GRADE BREAK
●	= PROPOSED FIRE HYDRANT	INV	= INVERT
○	= EXISTING FIRE HYDRANT	L.F.	= LINEAR FEET
●	= PROPOSED MANHOLE	NG	= NATURAL GRADE
○	= EXISTING MANHOLE	PP	= POWER/UTILITY POLE
●	= PROPOSED SEWER CLEAN-OUT	P.U.E.	= PUBLIC UTILITY EASEMENT
X	= PROPOSED GATE VALVE	RCP	= REINFORCED CONCRETE PIPE
X	= EXISTING GATE VALVE	RIM	= RIM OF MANHOLE
■	= PROPOSED WATER METER	R.O.W.	= RIGHT-OF-WAY
■	= EXISTING WATER METER	SD	= STORM DRAIN
■	= PROPOSED CATCH BASIN	SS	= SANITARY SEWER
■	= EXISTING CATCH BASIN	TBC	= TOP BACK OF CURB
□	= PLUG W/ 2' BLOW-OFF	TOA	= TOP OF ASPHALT
⌋	= PLUG & BLOCK	TOC	= TOP OF CONCRETE
●○	= STREET LIGHT	TOFF	= TOP OF FINISHED FLOOR
⌋	= SIGN	TOI	= TOP OF PUMP ISLAND
BLDG	= BUILDING	TSW	= TOP OF SIDEWALK
C&G	= CURB & GUTTER	W	= CULINARY WATER
CB	= CATCH BASIN	WM	= WATER METER
C.F.	= CUBIC FEET		
C.F.S.	= CUBIC FEET PER SECOND		

	= EXISTING ASPHALT PAVEMENT
	= EXISTING CONCRETE
	= PROPOSED ASPHALT PAVEMENT
	= PROPOSED CONCRETE
	= TRAIL (BY OTHERS)



Flood Information Data

FLOOD ZONE DESIGNATION "X" PER F.E.M.A. FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL NUMBERS 49029C0075C DATED APRIL 19, 2010.

AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

(THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THE SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP OR THE LOCATION OF THE FLOOD ZONE BOUNDARY. IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THE SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.)

Reeve & Associates, Inc.

5160 SOUTH 1500 WEST RIVERDALE, UTAH 84405  
TEL: (801) 601-2100 FAX: (801) 601-2666 www.reeve-assoc.com

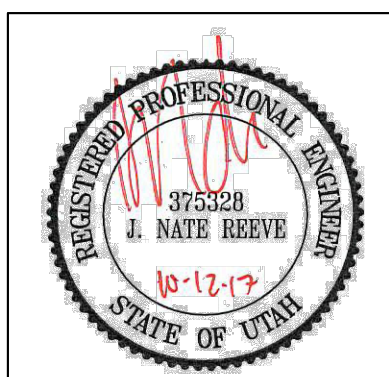
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TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION
DATE	

Freedom Landing Townhomes Phase 2

Notes/Legend/Street Cross-Section

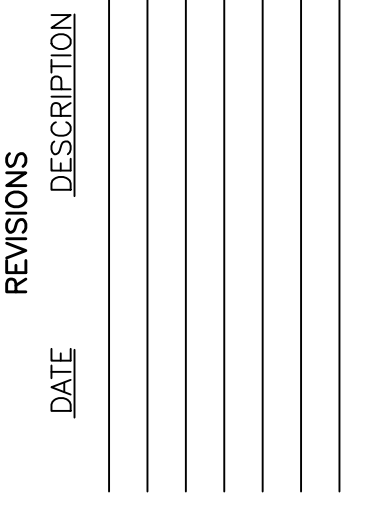
SOUTH WEBER CITY, DAVIS COUNTY, UTAH



<b>Project Info.</b>	
Engineer:	J. NATE REEVE, P.E.
Drafter:	C. KINGSLEY
Begin Date:	OCTOBER 2017
Name:	FREEDOM LANDING TOWNHOMES PHASE 2
Number:	5061-C16

Sheet	9
2	Sheets



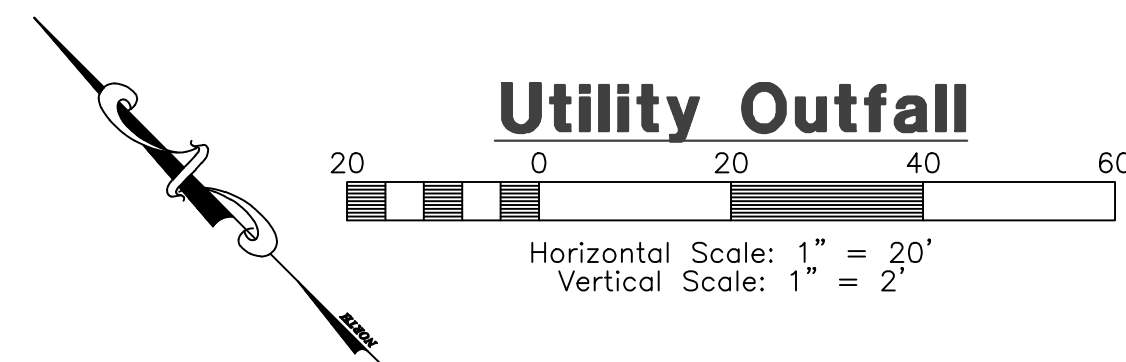


SOUTH WEBER CITY, DAVIS COUNTY, UTAH

## Central Weber Sewer District Standard Manhole Connection Detail



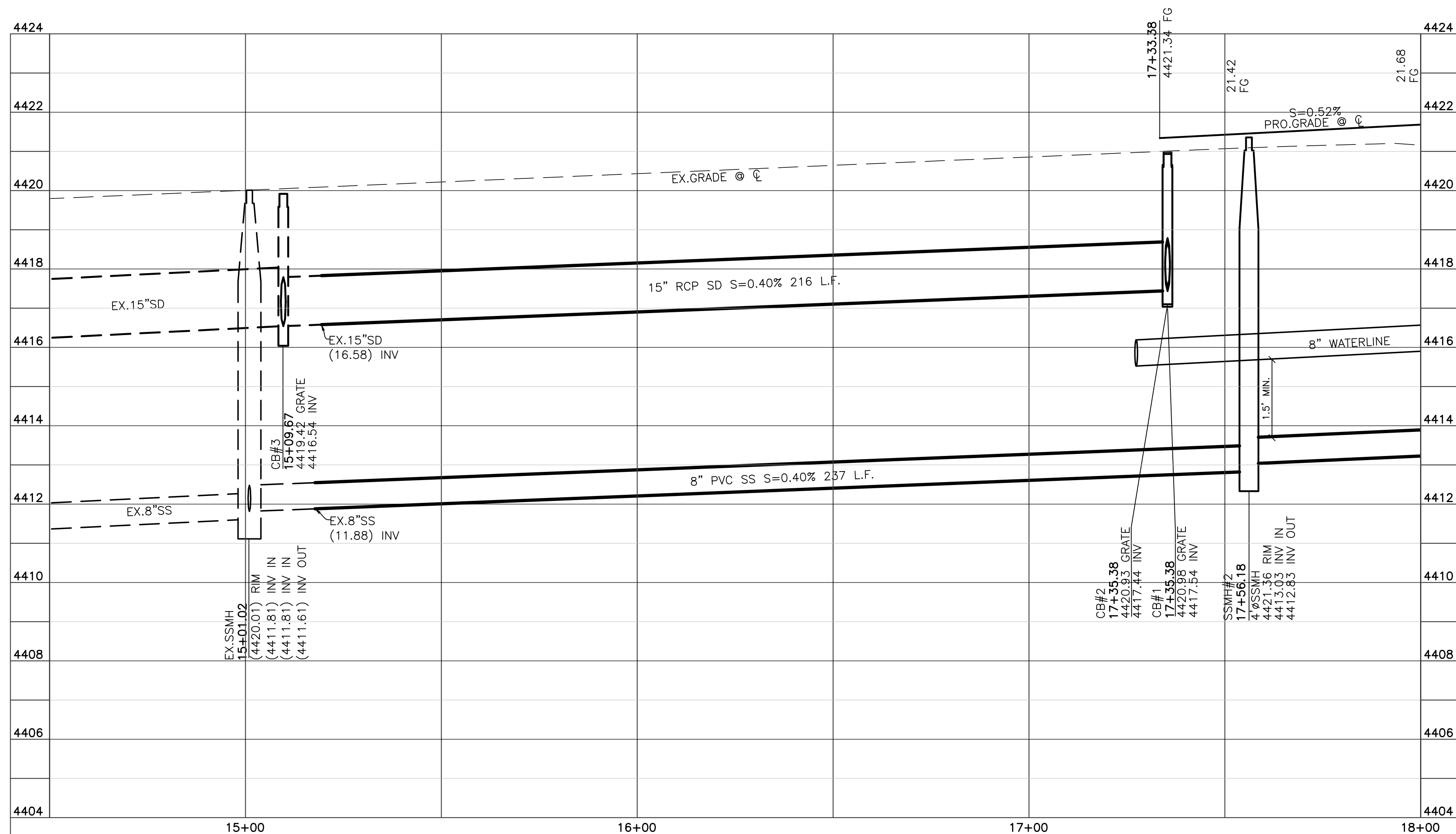
Engineer: J. NATE REEVE, P.E.  
 Drafter: C. KINGSLEY  
 Begin Date: OCTOBER 2017  
 Name: FREEDOM LANDING  
 TOWNHOMES  
 PHASE 2  
 Number: 5061-C16



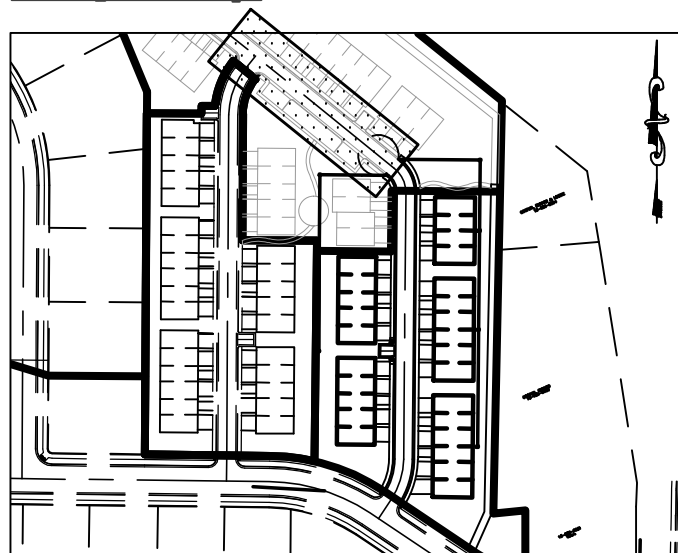
TBC Curve Data						
#	Delta	Radius	Length	Tangent	Chord	CH Length
C1	51°30'34"	57.00'	51.24'	27.50'	N25°15'05"W	49.54'
C4	51°30'34"	28.00'	25.17'	13.51'	N25°15'05"W	24.33'

Centerline Curve Data						
#	Delta	Radius	Length	Tangent	Chord	CH Length
C1	51°30'34"	42.48'	38.19'	20.50'	S25°15'05"E	36.92'



NOT TO SCALE



1) ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY

- ② CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

CULINARY WATER

W - 1"Ø TYPE K COPPER W/1" METER  
SEE CITY STANDARD DRAWING CS-06  
W/8 - 8" DI AWWA C151-02 CLASS 51  
W/POLY WRAP

## SECONDARY WATER

SW/8 - 8" PVC IRR C-900 DR-14

SANITARY SEWER

SS - 4" PVC 3034 SEWER PIPE  
SS/8 - 8" PVC ASTM 3034 SEWER LINE

STORM DRAIN

SD/15 - 15" RCP STORM DRAIN

NOTE: ANY CULINARY OR IRRIGATION  
WATERLINE LOOPS TO BE PER SOUTH  
WEBER CITY STANDARDS

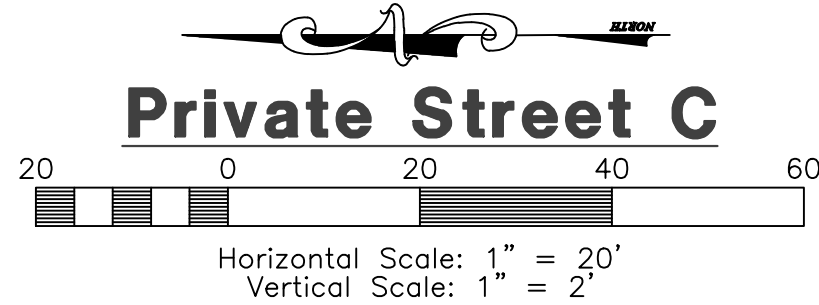
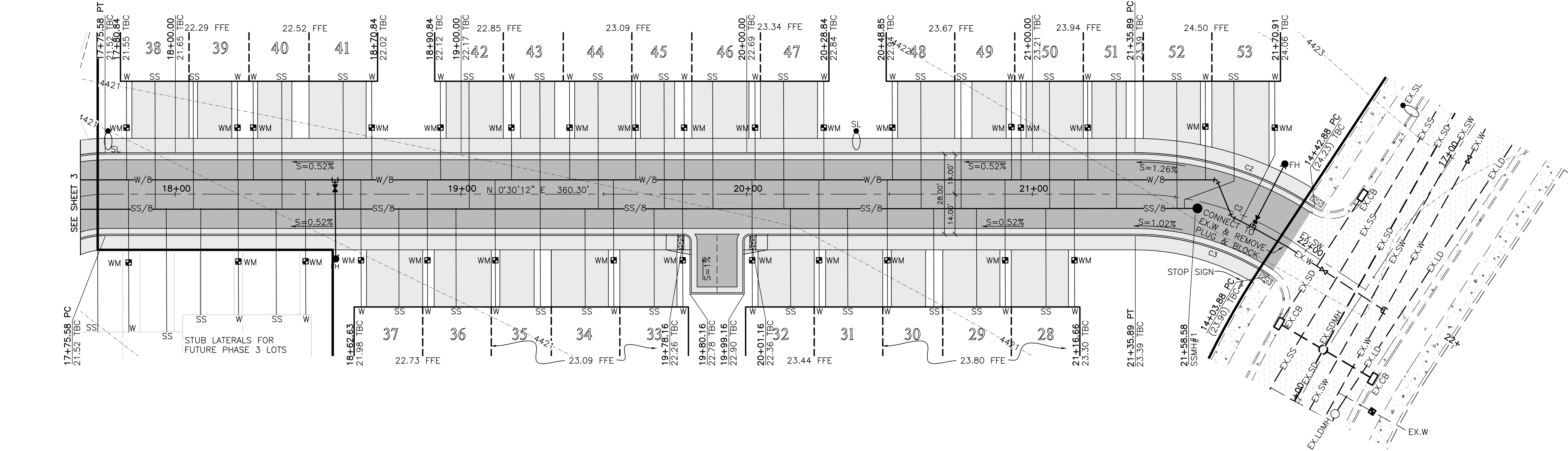
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**Project Info.**  
 Engineer: J. NATE REEVE, P.E.  
 Drafter: C. KINGSLEY  
 Begin Date: OCTOBER 2017  
 Name: FREEDOM LANDING  
 TOWNHOMES  
 PHASE 2  
 Number: 5061-C16

Blue Stakes Location Center  
**Call: Toll Free**  
**1-800-662-4111**  
Two Working Days Before You Dig

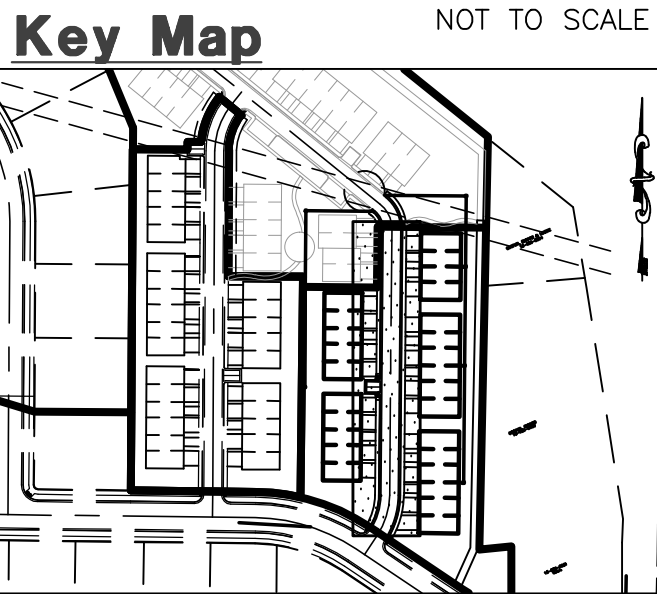
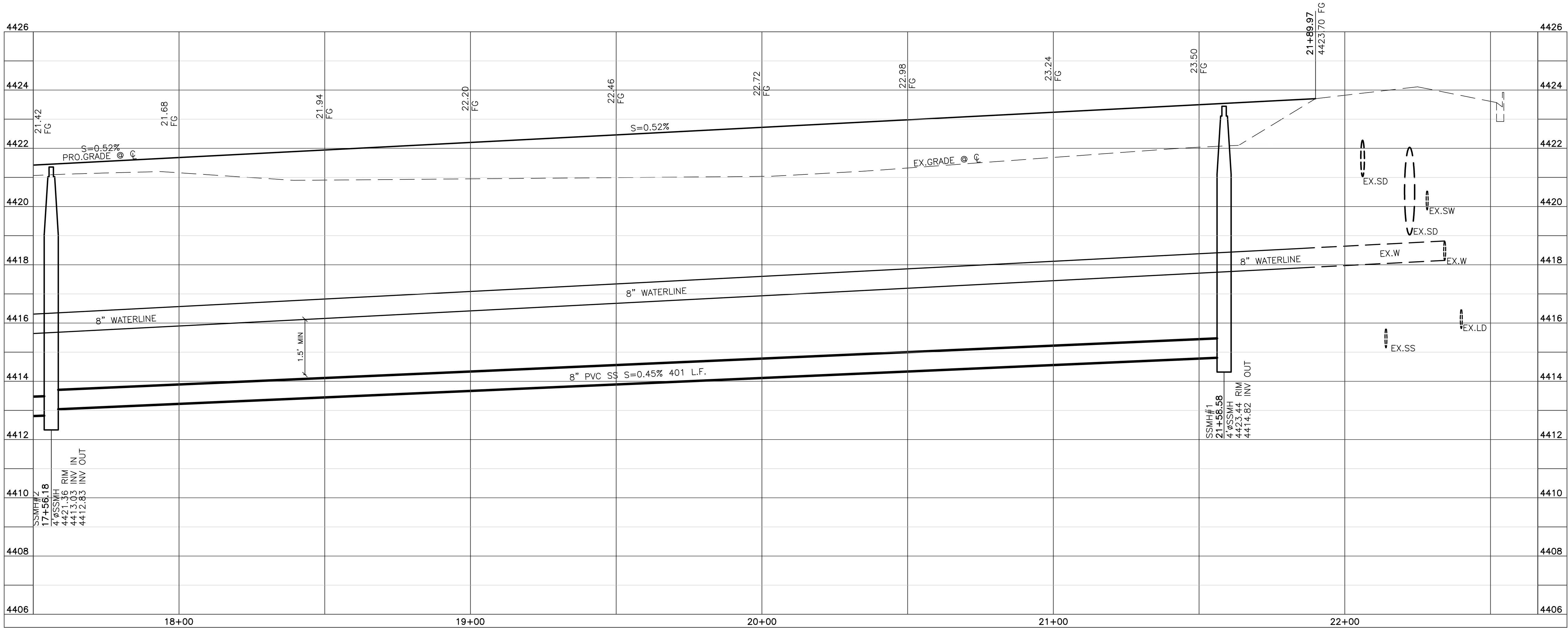
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<b>3</b>	Sheets





Centerline Curve Data						
#	Delta	Radius	Length	Tangent	Chord	CH Length
C2	33°21'24"	100.00'	58.22'	29.96'	S17°10'54"W	57.40'

TBC Curve Data						
#	Delta	Radius	Length	Tangent	Chord	CH Length
C2	33°17'37"	114.50'	66.53'	34.24'	N17°09'00"E	65.61'
C3	33°25'44"	85.50'	49.88'	25.67'	N17°13'04"E	49.18'



### Construction Notes:

- ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY.
- CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

#### CULINARY WATER

W - 1" TYPE K COPPER W/1" METER  
SEE CITY STANDARD DRAWING CS-06  
W/8 - 8" DI AWWA C151-02 CLASS 51  
W/POLY WRAP

#### SECONDARY WATER

SW/8 - 8" PVC IRR C-900 DR-14

#### SANITARY SEWER

SS - 4" PVC 3034 SEWER PIPE  
SS/8 - 8" PVC ASTM 3034 SEWER LINE

#### STORM DRAIN

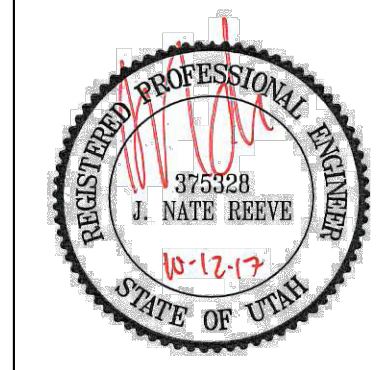
SD/15 - 15" RCP STORM DRAIN

NOTE: ANY CULINARY OR IRRIGATION  
WATERLINE LOOPS TO BE PER SOUTH  
WEBER CITY STANDARDS

**Reeve & Associates, Inc.**  
5160 SOUTH 1500 WEST RIVERDALE, UTAH 84405  
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REVISIONS	DESCRIPTION
DATE	

**Freedom Landing Townhomes Phase 2**  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
**Private Street C**  
**17+50.00 - 22+50.00**



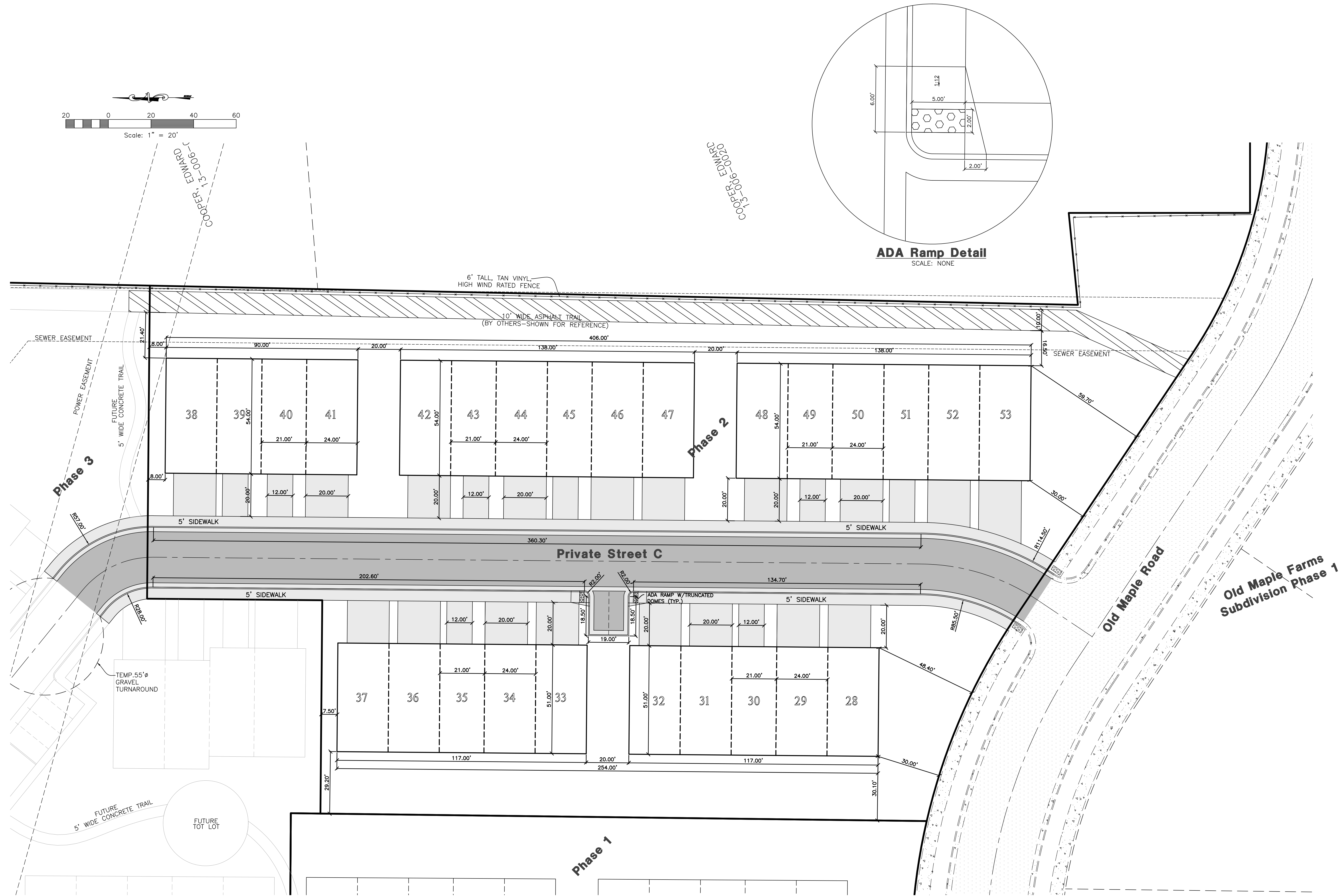
**Project Info.**  
Engineer: J. NATE REEVE, P.E.  
Drafted: C. KINGSLEY  
Begin Date: OCTOBER 2017  
Name: FREEDOM LANDING TOWNHOMES PHASE 2  
Number: 5061-C16

Blue Stakes Location Center  
**Call: Toll Free 1-800-662-4111**  
Two Working Days Before You Dig

Sheet **9**  
**4** Sheets

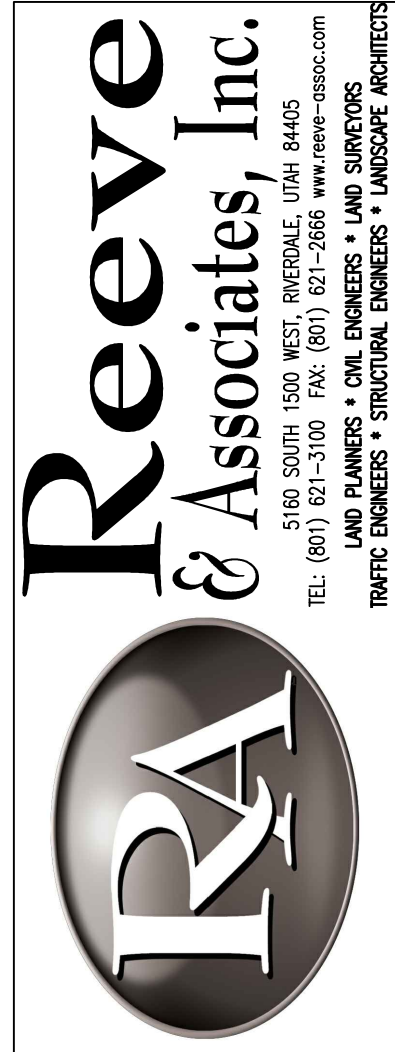


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## Freedom Landing Townhomes

### Phase 2

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

## Site Plan



### Project Info.

Engineer:  
J. NATE REEVE, P.E.  
Drafter:  
C. KINGSLEY  
Begin Date:  
OCTOBER 2017  
Name:  
FREEDOM LANDING  
TOWNHOMES  
PHASE 2  
Number: 5061-C16

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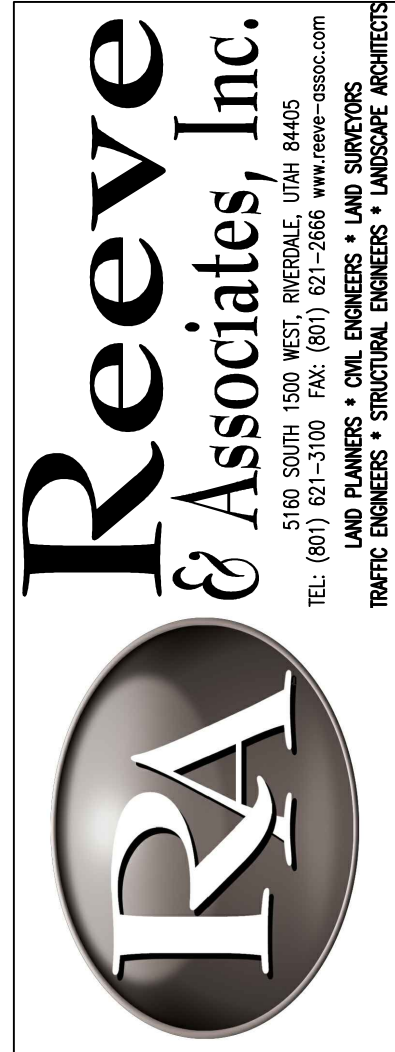
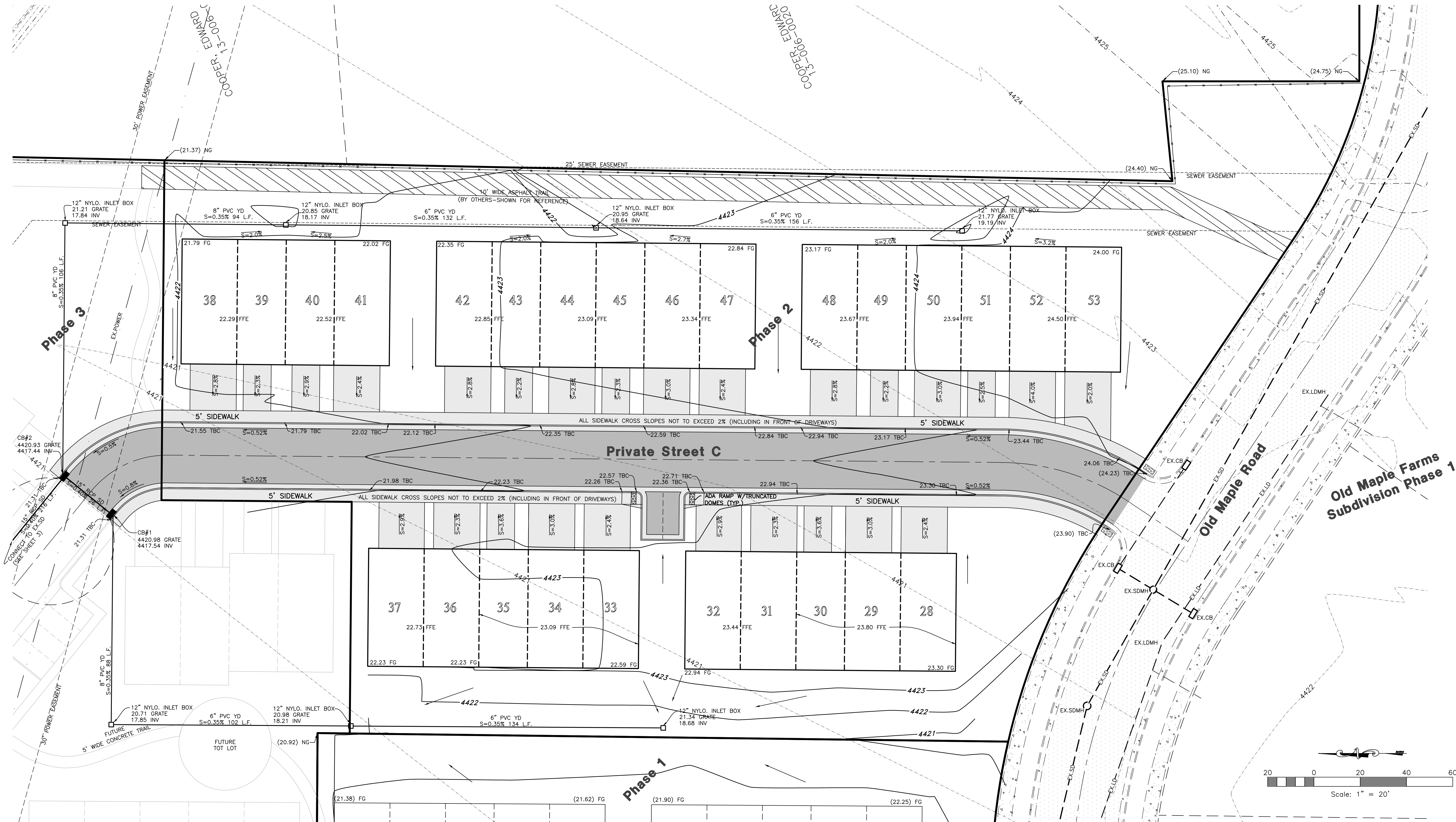


REFER TO PHASE 1 FOR STORM RUNOFF CALCULATIONS

### Elevation Datum

PROJECT BENCHMARK — FOUND BRASS CAP MONUMENT  
AT THE SOUTHEAST CORNER OF SECTION 20, T.5N.,  
R.1W., SLB&M, U.S. SURVEY.  
(DATED 2004) NAVD 88 AS PER GPS MEASUREMENTS,  
4427.593 ELEV

1/4/2016 | ckingale | C:\5061\C16 - Old Maple Farms Apts. So Weber\Improvements\P2\Old Maple Farms Apts P2 Imp.dwg Reeve & Associates, Inc. - Solutions You Can Build On



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## Freedom Landing Townhomes Phase 2 Grading & Drainage Plan

SOUTH WEBER CITY, DAVIS COUNTY, UTAH



**Project Info.**  
Engineer: J. NATE REEVE, P.E.  
Drafter: C. KINGSLEY  
Begin Date: OCTOBER 2017  
Name: FREEDOM LANDING TOWNHOMES PHASE 2  
Number: 5061-C16

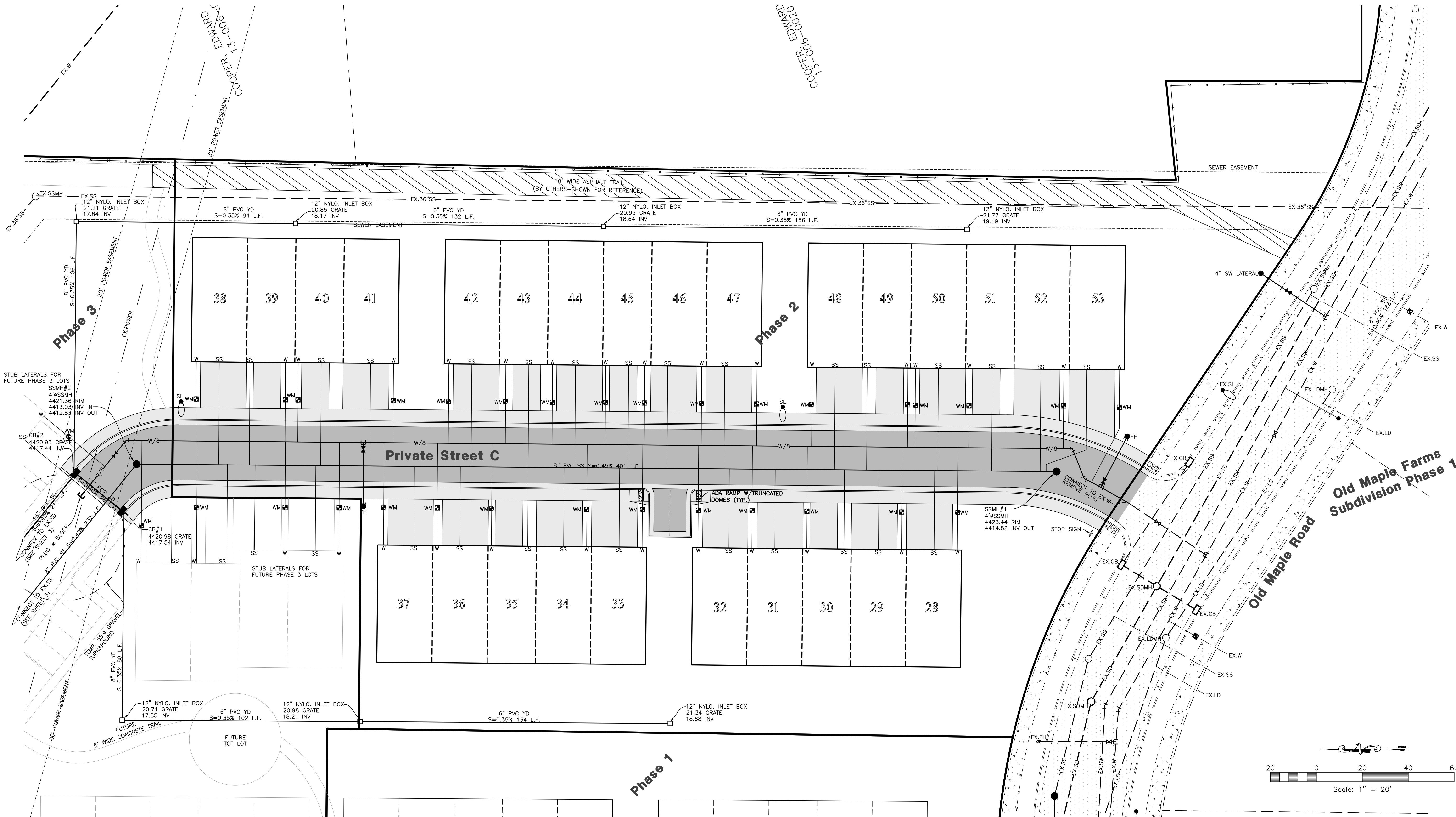
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NOTE:  
NO PARKING FIRE LANE SIGNS  
TO BE COORDINATED WITH  
THE CITY & DEVELOPER

NOTE: UTILITIES IN OLD MAPLE ROAD  
FOR PHASES 1 & 2 TO BE  
INSTALLED PRIOR TO ROAD PAVING  
TO AVOID CUTS IN NEW ASPHALT.



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Freedom Landing Townhomes  
Phase 2

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Utility Plan

REGISTERED PROFESSIONAL ENGINEER  
375328  
J. NATE REEVE  
10-12-17  
STATE OF UTAH

Project Info.

Engineer:  
J. NATE REEVE, P.E.

Drafter:  
C. KINGSLEY

Begin Date:  
OCTOBER 2017

Name:  
FREEDOM LANDING  
TOWNHOMES  
PHASE 2

Number:  
5061-C16

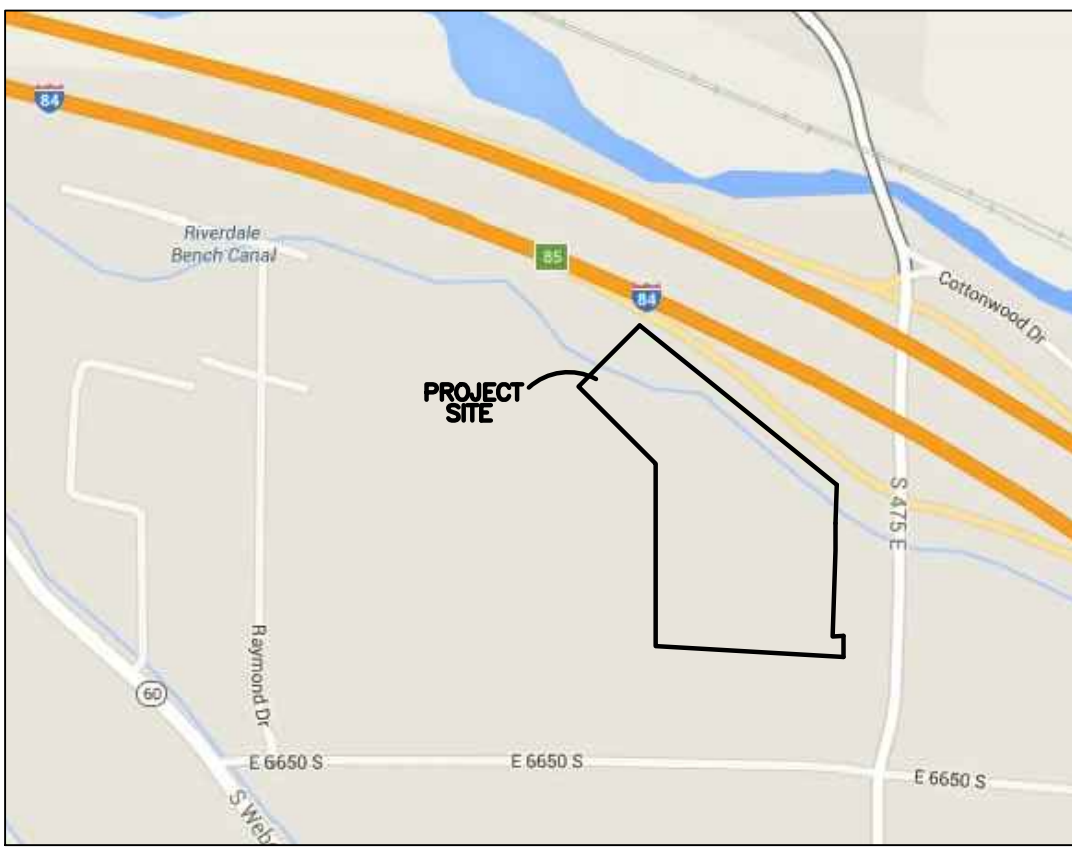
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Freedom Landing Townhomes  
Phase 2

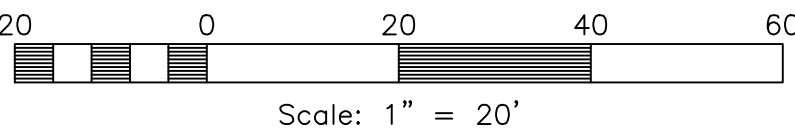
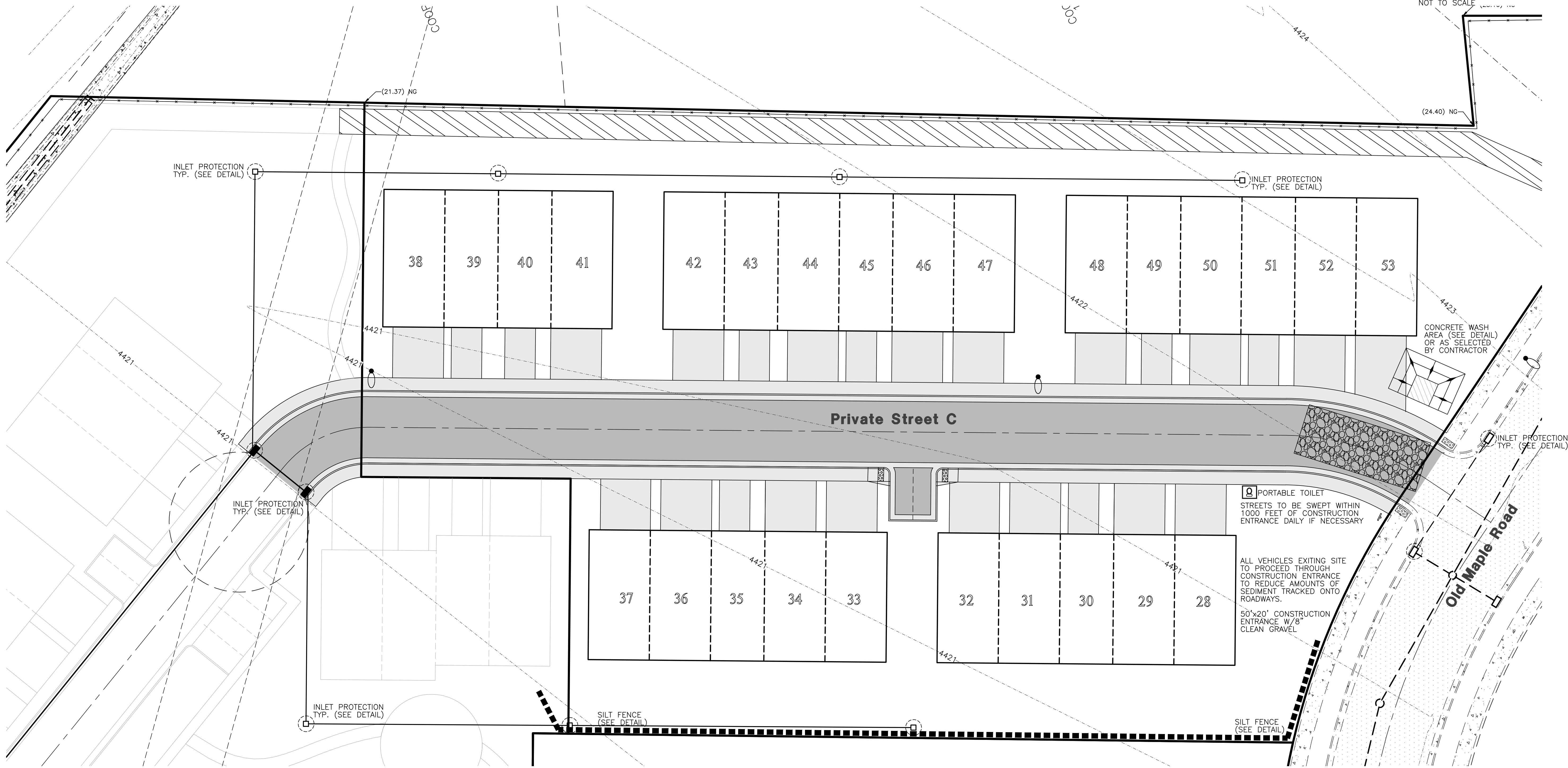
Storm Water Pollution Prevention Plan Exhibit

SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
OCTOBER 2017



Vicinity Map

NOT TO SCALE



Construction Activity Schedule

- PROJECT LOCATION.....SOUTH WEBER CITY, DAVIS COUNTY, UTAH
- PROJECT BEGINNING DATE.....OCTOBER 2017
- BMP'S DEPLOYMENT DATE.....OCTOBER 2017
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....BRAD FROST (801) 564-3898
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER

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REVISIONS	DESCRIPTION
DATE	

**Freedom Landing Townhomes  
Phase 2**  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

**Storm Water Pollution  
Prevention Plan Exhibit**



<b>Project Info.</b>	
Engineer:	J. NATE REEVE, P.E.
Drafter:	C. KINGSLEY
Begin Date:	OCTOBER 2017
Name:	FREEDOM LANDING TOWNHOMES PHASE 2
Number:	5061-C16

Sheet	9
8	Sheets



Describe all BMP's to protect storm water inlets:  
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).

2. Describe BMP's to eliminate/reduce contamination of storm water from:

a. Equipment / building / concrete wash areas:  
To be performed in designated areas only and surrounded with silt fence barriers.

b. Soil contaminated by soil amendments:  
If any contaminants are found or generated, contact environmental engineer and contacts listed.

c. Areas of contaminated soil:  
If any contaminants are found or generated, contact environmental engineer and contacts listed.

d. Fueling area:  
To be performed in designated areas only and surrounded with silt fence.

e. Vehicle maintenance areas:  
To be performed in designated areas only and surrounded with silt fence.

f. Vehicle parking areas:  
To be performed in designated areas only and surrounded with silt fence.

g. Equipment storage areas:  
To be performed in designated areas only and surrounded with silt fence.

h. Materials storage areas:  
To be performed in designated areas only and surrounded with silt fence.

i. Waste containment areas:  
To be performed in designated areas only and surrounded with silt fence.

j. Service areas:  
To be performed in designated areas only and surrounded with silt fence.

3. BMP's for wind erosion:  
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion

4. Construction Vehicles and Equipment:

a. Maintenance

- Maintain all construction equipment to prevent oil or other fluid leaks.
- Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
- Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
- Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
- Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.

b. Fueling

- If fueling must occur on-site, use designated areas away from drainage.
- Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
- Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
- Use drip pans for any oil or fluid changes.

c. Washing

- Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
- If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
- Use phosphate-free, biodegradable soaps.
- Do not permit steam cleaning on-site.

5. Spill Prevention and Control

a. Minor Spills:  
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:

- Contain the spread of the spill.
- If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
- If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up and properly dispose of contaminated soil.
- If the spill occurs during rain, cover the impacted area to avoid runoff.
- Record all steps taken to report and contain spill.

b. Major Spills:  
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.

6. Post Roadway / Utility Construction

a. Maintain good housekeeping practices.

b. Enclose or cover building material storage areas.

c. Properly store materials such as paints and solvents.

d. Store dry and wet materials under cover, away from drainage areas.

e. Avoid mixing excess amounts of fresh concrete or cement on-site.

f. Perform washout of concrete trucks offsite or in designated areas only.

g. Do not wash out concrete trucks into storm drains, open ditches, streets or streams.

h. Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.

i. All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.

j. Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.

7. Erosion Control Plan Notes

a. The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.

b. A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.

c. Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.

d. Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. this should be confirmed by survey or other means acceptable to the engineer of record.

e. All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.

f. Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.

g. All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the engineer of record of the governing agency.

h. The placement of additional devices to reduce erosion damage within the site is left to the discretion of the engineer of record.

i. Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.

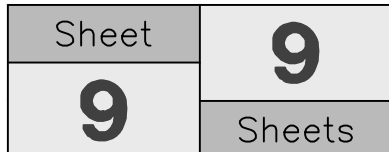
j. Erosion control devices will be modified as need as the project progresses and plans of these changes submitted for approval by the engineer of record and the governing agency.

8. Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.

a. Part III.D.4 of general permit UTR3000000 identifies the minimum inspection requirements.

b. Part III.D.4.C identifies the minimum inspection report requirements.

c. Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.

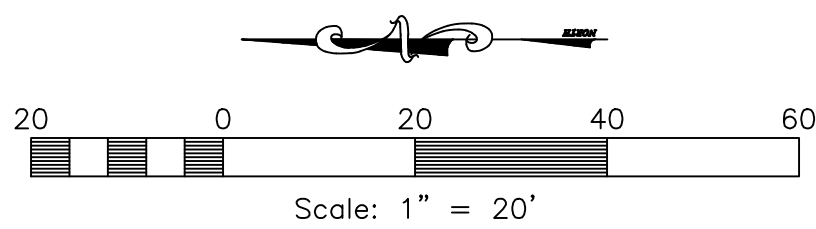
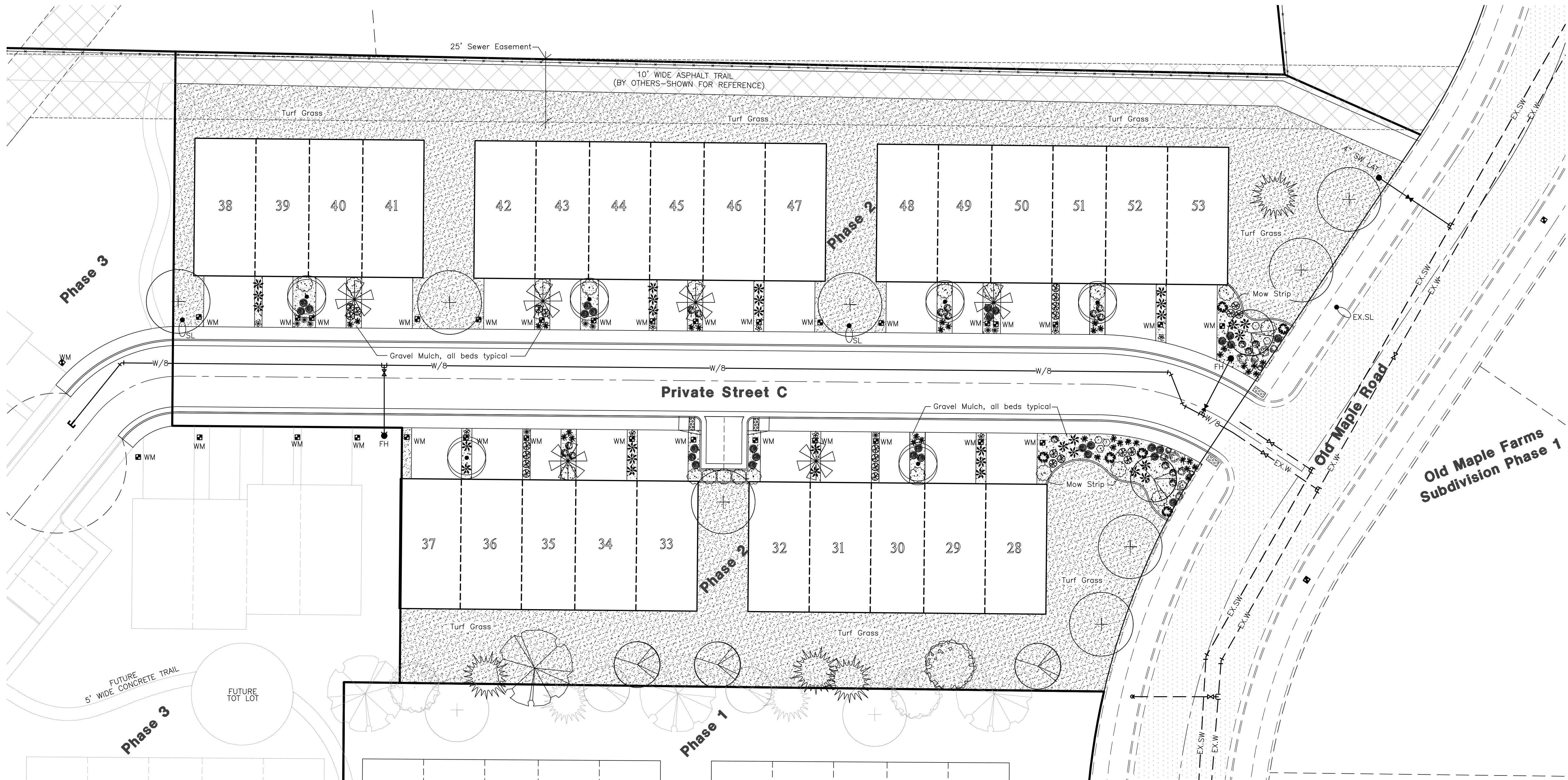




1/4/2016 | ckingale | G:\5061\C16 - Old Maple Farms Apts. So Weber\Landscapes\LANDSCAPE PHASE 2.dwg

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TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION
DATE	

**Freedom Landing Townhomes  
Phase 2**  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

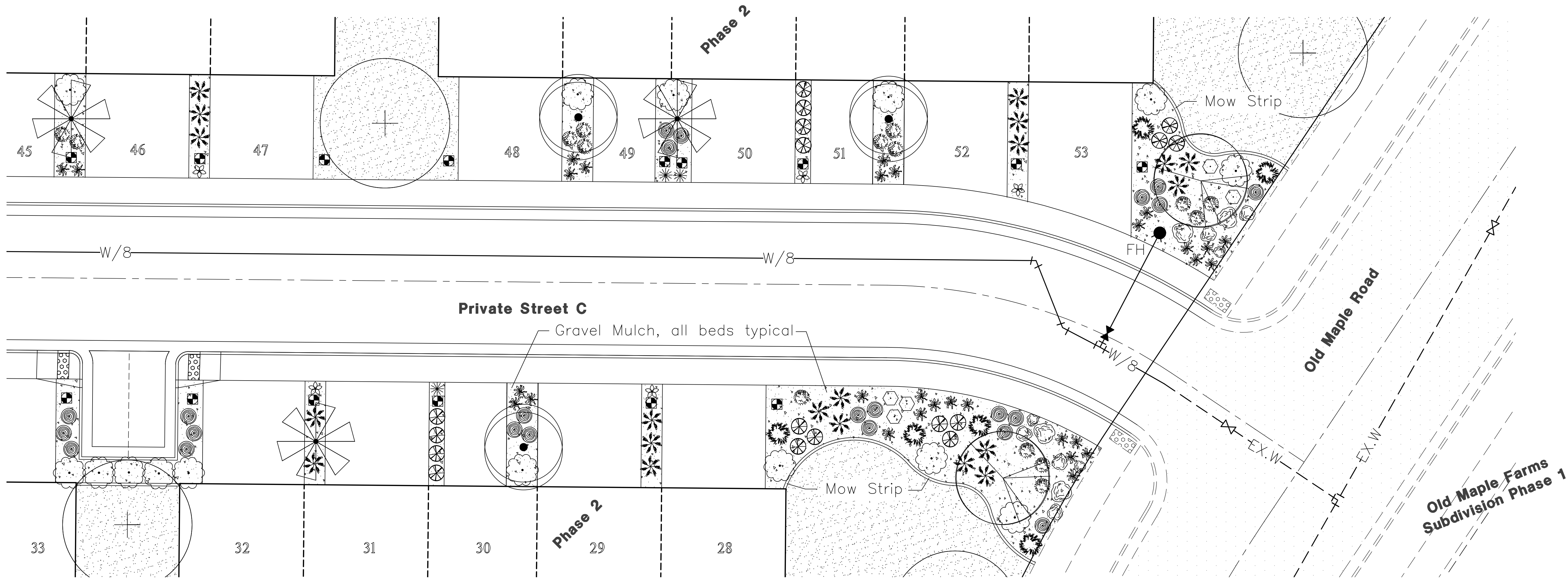
**Landscape Plan**



**Project Info.**  
Engineer: J. NATE REEVE, P.E.  
Drafter: D. REYNOLDS  
Begin Date: OCTOBER 2017  
Name: FREEDOM LANDING TOWNHOMES PHASE 2  
Number: 5061-C16

Sheet **2**  
**L1** Sheets





Entry and Typical Townhome Planting Detail

Plant Table

TREES

Symbol	Scientific Name	Common Name	Planting Size
	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	2" cal.
	Acer plat. 'Crimson Sentry'	Crimson Sentry Maple	2" cal.
	Malus 'Prairie Fire'	Prairie Fire Crabapple	2" cal.
	Pinus nigra	Austrian Pine	6'-8' B&B
	Pyrus calleryana 'Aristocrat'	Aristocrat Flowering Pear	2" cal.
	Gleditsia tria. iner. 'Imperial'	Imperial Honeylocust	2" cal.
	Malus 'Spring Snow'	Spring Snow Crabapple	2" cal.
	Carpinus betulus 'Fastigiata'	Columnar Hornbeam	2" cal.

SHRUBS

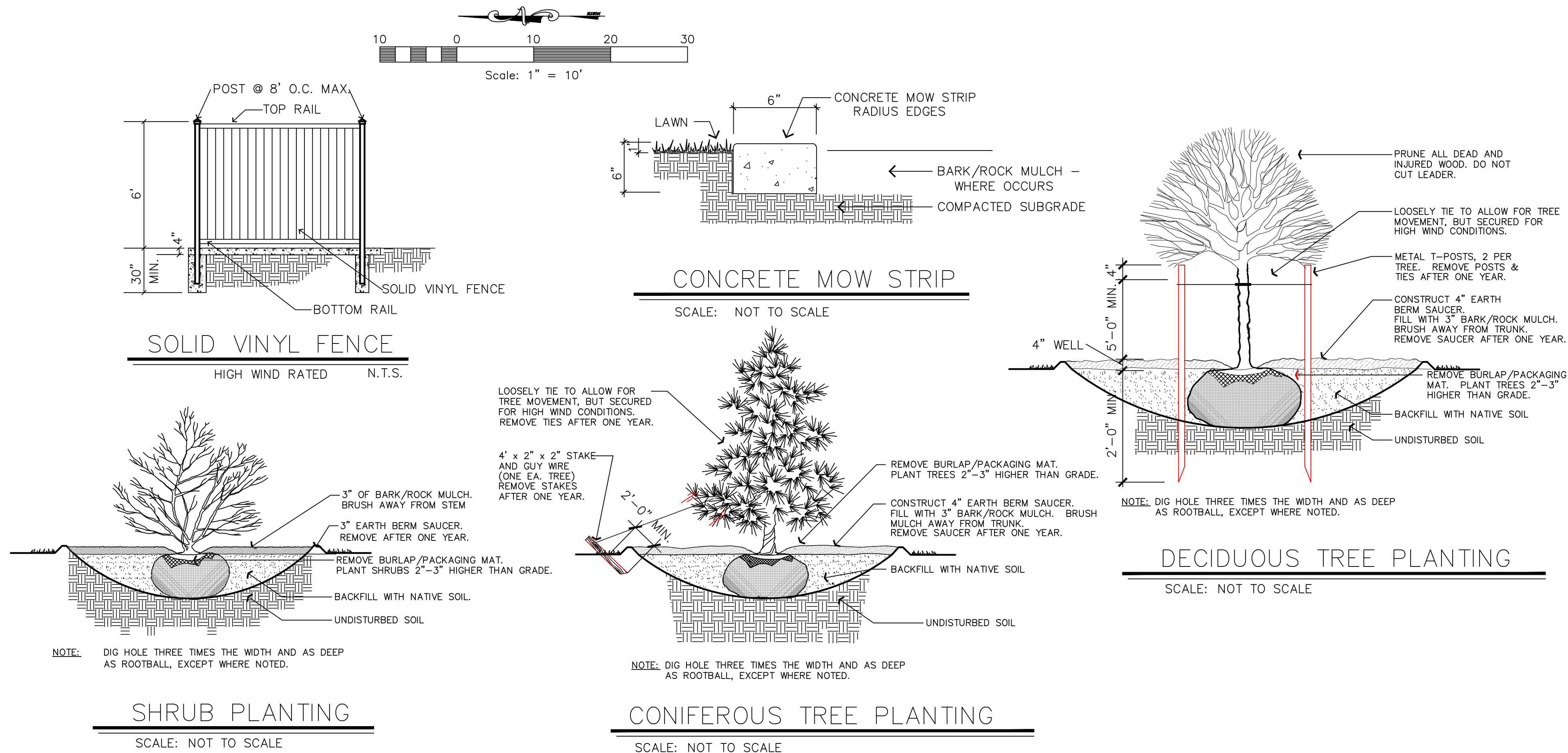
Symbol	Scientific Name	Common Name	Planting Size
	Euonymus alatas 'Compacta'	Dwarf Burning Bush	5 gal.
	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	5 gal.
	Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea	5 gal.
	Rosa noatrum	Flower Carpet Rose	5 gal.
	Buxus microphylla 'Winter Gem'	Winter Gem boxwood	5 gal.
	Potentilla fruticosa	Bush cinquefoil	5 gal.

PERENNIALS

Symbol	Scientific Name	Common Name	Planting Size
	Calamagrostis 'Karl Foerster'	Karl Foerster Grass	5 gal.
	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	1 gal.
	Iris pallida 'Variegata'	Variegated Sweet Iris	1 gal.
	Sedum 'Autumn Joy'	Autumn Joy Sedum	1 gal.

Turf Grass - To be sodded.

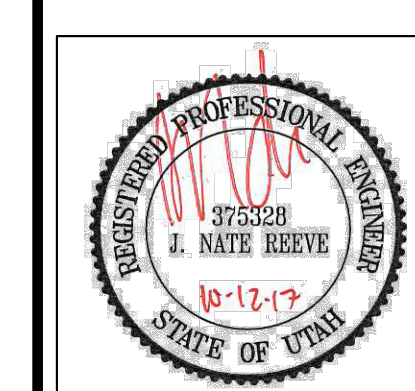
A 3" layer of 2" minus gravel mulch over Dewitt Pro 5 Weed Barrier Cloth, or equal.



**Reeve & Associates, Inc.**  
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TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION
DATE	

**Freedom Landing Townhomes Phase 2**  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
**Landscape Details**



<b>Project Info.</b>	
Engineer:	J. NATE REEVE, P.E.
Drafter:	D. REYNOLDS
Begin Date:	OCTOBER 2017
Name:	FREEDOM LANDING TOWNHOMES PHASE 2
Number:	5061-C16

Sheet	2
L2	Sheets





# *Community and Economic Development*

---

Davis County Administration Building - 61 S. Main Street - Farmington Utah 84025  
Telephone: (801) 451-3279- Fax: (801) 451-3281  
Barry Burton/Director

## **FREEDOM LANDING TOWNHOMES PHASE 2 FINAL**

By Barry Burton 12.7.17

**APPLICANT:** Ovation Homes

**REQUEST:** Final approval for Phase 2 of the Freedom Place Townhomes Development.

**GENERAL INFORMATION:** This is a 26 unit phase that conforms to the approved Preliminary Plat and meets the requirement of a maximum of 30 units with a single access. Open space requirements have been met and the landscape plans appear to be adequate. There is no buffer yard requirement in this phase.

The improvement plans indicate the existence of the trail (Does the trail have a name?) that is the extension of the I-84 frontage trail, but indicates that it will be built by others, not the developer. I have been under the impression we expected the developer to build the trail through the project.

**PLAT:** The plat appears to be in order with two exceptions. There are two signature blocks for PacifiCorp that should be removed. Once again, this appears to give the right to approve (or deny) the plat to the utility company when they have no such right. We should receive approval for their easement via letter or other means than a signature on the plat.

The second issue is that there is a 25' easement shown for an existing sewer line along the east property line. That is the same area to be used for the public trail. The easement does not indicate that it is for a public trail as well, but it should. Or at least 15' of it should.

**STAFF RECOMMENDATION:** I recommend the Planning Commission forward this proposal to the City Council with a recommendation of approval subject to:

1. Resolution as to who is responsible for building the trail.
2. Removal of the PacifiCorp signature blocks from the plat.
3. Showing a public use easement for the trail on the plat.

These things should all be done and verified by staff prior to presenting the proposal to the City Council.



1. 08/07/17 CK - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.
2. 09/18/17 CK - UPDATED PHASE LINES.
3. 10/12/17 CK - ADDED PROPOSED SURFACE.
4. 11/22/17 CK - UPDATED PHASE LINES.
5. 12/04/17 CK - UPDATED PER CITY COMMENTS.

SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
AUGUST 2017



### Vicinity Map

NOT TO SCALE



## Sheet Index Key Map

NOT TO SCALE

Sheet 1	- Cover/Index Sheet	
Sheet 2	- Notes/Legend/Street	Cross Section
Sheet 3	- Pebble Creek Drive	21+50.00 - 25+50.00
Sheet 4	- Pebble Creek Drive	25+50.00 - 29+00.00
Sheet 5	- Green Springs Way	13+50.00 - 17+00.00
Sheet 6	- Green Springs Way	17+00.00 - 20+00.00
Sheet 7	- Green Springs Way	20+00.00 - 22+00.00
Sheet 8	- Grading & Drainage Plan	
Sheet 9	- Utility Plan	
Sheet 10	- Storm Water Pollution Prevention Plan Exhibit	
Sheet 11	- Storm Water Pollution Prevention Plan Details	

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Doug Brady  
King's Gate Development  
11 Gatehouse Lane  
Sandy, Utah, 84092  
PH: (801) 792-5123

Blue Stakes Location Center  
**Call: Toll Free**  
**1-800-662-4111**  
Two Working Days Before You Dig

REVISIONS	
DATE	DESCRIPTION
09-18-17	CK Phase Lines
10-12-17	CK Proposed Surface
11-22-17	CK Phase Line
12-04-17	CK City Comments

**Riverside Place Subdivision  
Phase 3**  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

## Cover/Index Sheet



Engineer: J. NATE REEVE, P.E.  
 Drafter: C. KINGSLEY  
 Begin Date: AUGUST 2017  
 Name: RIVERSIDE PLACE  
 SUBDIVISION  
 PHASE 3  
 Number: 6626-01

Sheet	<b>11</b>
<b>1</b>	Sheets



### General Notes:

1. ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UN-INCORPORATED), INDIVIDUAL PRODUCT MANUFACTURERS, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), AND THE DESIGN ENGINEER. THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
2. CONTRACTOR TO STRICTLY FOLLOW GEOTECHNICAL RECOMMENDATIONS FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, RETAINING WALLS AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH THE PROJECT GEOTECHNICAL DESIGN ENGINEER.
3. TRAFFIC CONTROL STRIPING & SIGNAGE TO CONFORM TO CURRENT GOVERNING AGENCIES.
4. TRANSPORTATION ENGINEER'S MANUAL AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
5. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
6. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
7. AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
8. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION.
9. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
10. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
11. ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD, INCLUDING OBTAINING REQUIRED INSPECTIONS.
12. ALL DIMENSIONS & UTILITY LOCATIONS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
13. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND.
14. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH BY THE GEOTECHNICAL ENGINEER.
15. CATCH SLOPES SHALL BE GRADED AS SPECIFIED ON GRADING PLANS.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAREMANS, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
17. CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED AND SHALL BE BONDBABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
18. CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY HIMSELF BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS HE MAY PREFER OF THE LOCATIONS OF THE PROPOSED WORK AND THE EXISTING CONDITIONS AND THE SPLICING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR HIS EXAMINATION. A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO HIM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, HE SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING HIS BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, HE HAS RELIED AND IS RELYING ON HIS OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON HIS OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF THE SITE CONDITIONS IS NECESSARY AND NECESSARILY SURVEYABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT HE HAS NOT RELIED SOLELY UPON OWNER- OR ENGINEER-FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING HIS BID.
19. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
20. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
21. CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
22. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE PERIOD OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
23. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
24. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS, THEY SHALL BE CONSTRUCTED BY THESE MEANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
25. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
26. CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND POSITION OF ALL STRUCTURAL AND OTHER FACILITIES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
27. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICES ARE TO PREVAIL AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER APPLICATION OF SUCH PRACTICES.
28. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS IN THESE AREAS. THE CONTRACTOR SHALL BE AWARE OF THE INHERENT CONDITIONS OF THE PROJECT AND ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
29. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS AND/OR EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.
30. CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH LOCAL, STATE AND NATIONAL SAFETY CODES, ORDINANCES, OR REQUIREMENTS FOR EXCAVATION AND TRENCHES.
31. ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
32. ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE DEVELOPMENT STANDARDS OF SOUTH WEBER CITY AND THE CITY OF SOUTH WEBER DRAWINGS CONTAINED THEREIN. SOUTH WEBER CITY PUBLIC WORKS REQUIREMENTS SHALL BE MET.
33. ELEVATIONS SHOWN AT THE CURB LINE ARE TOP OF CURB ELEVATIONS.

### Utility Notes:

1. CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, INTERNET.
2. EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS (BY OTHERS). PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
3. CONTRACTOR SHALL NOT HOLE ALL UTILITIES TO DETERMINE IF CONFLICTS EXIST PRIOR TO BEGINNING ANY EXCAVATION. NOTIFY ENGINEER OF ANY CONFLICTS. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES TO WHICH NEW UTILITIES WILL BE CONNECTED. PRIOR TO COMMENCING ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE REQUIRED PROCEDURES.
4. CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT HIS EXPENSE.
5. ALL VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE.
6. CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE.
7. CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOX WITH NON-SHRINKING GROUT, INCLUDING PIPE VOIDS LEFT BY CUTTING PROCESS, TO A SMOOTH FINISH.
8. CONTRACTOR SHALL GROUT WITH NON-SHRINK GROUT BETWEEN GRADE RINGS AND BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX.
9. SILT AND DEBRIS IS TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
10. CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
11. EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DE-WATERED CONDITIONS.
12. CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
13. MAINTAIN A MINIMUM 18" VERTICAL SEPARATION DISTANCE BETWEEN ALL UTILITY CROSSINGS.
14. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
15. ALL BOLTED FITTINGS MUST BE GREASED AND WRAPPED.
16. UNLESS SPECIFICALLY NOTED OTHERWISE, MAINTAIN AT LEAST 2 FEET OF COVER OVER ALL STORM DRAIN LINES AT ALL TIMES (INCLUDING DURING CONSTRUCTION).
17. ALL WATER LINES SHALL BE INSTALLED A MINIMUM OF 60" BELOW FINISHED GRADE.
18. ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, PIPE EDGE TO PIPE EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, THE SEWER LINE AND WATER LINE SHALL BE LAID IN SEPARATE TRENCHES AND THE BOTTOM OF THE WATER LINE SHALL BE AT LEAST 18" ABOVE THE TOP OF THE SEWER LINE.
19. EXISTING OR NEW IN-STALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
20. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
21. CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.
22. THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.
23. WATER LINE PIPE SHALL BE DUCTILE IRON CLASS-51. WASHOUT ASSEMBLIES SHALL CONSIST OF A KUPFERLE FOUNDRY CO. 2" BLOW-OFF HYDRANT (OR CITY-APPROVED EQUIV.) PLACED IN A BOX LOCATED IN THE PARK STRIP. WATER LINES SHALL BE ADJUSTED IN DEPTH AND GATE VALVES IN LOCATION SO AS NOT TO INTERFERE WITH STORM DRAIN CROSSINGS.
24. ALL STORM DRAIN LATERALS SHALL BE GREEN, AND FOUNDATION DRAIN LATERALS SHALL BE WHITE TO PREVENT CONFUSION. FOUNDATION DRAIN MANHOLE LIDS SHALL BE MARKED "DRAIN" AND SHALL BE UNVENTED.
25. SECONDARY WATER LINE SHALL BE PVC C-900 CLASS 200 DR-14. ALL SECONDARY WATER VALVE LIDS SHALL BE STAMPED "IRRIGATION".
26. ALL WATER LINE CONSTRUCTIONS TO BE PER SOUTH WEBER WATER IMPROVEMENT DISTRICTS STANDARDS AND SPECIFICATIONS.









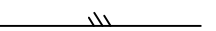













# Geotechnical Report Notes

1. ALL LOTS ARE SUBJECT TO THE REQUIREMENTS OF THE GEOTECHNICAL REPORT PREPARED BY GSH DATED DECEMBER 3, 2015.
2. THE SHALLOW TO MODERATELY SHALLOW GROUNDWATER ENCOUNTERED AT THE SITE MAY AFFECT THE INSTALLATION OF UTILITIES.
3. GSH RECOMMENDS THAT THE TOP OF HABITABLE FLOOR SLABS BE ESTABLISHED A MINIMUM 3.0 FEET ABOVE MEASURED GROUNDWATER OR A MINIMUM 1.5 FEET ABOVE THE LEVEL CONTROLLED BY A SUBDRAIN SYSTEM. A SUBDRAIN SYSTEM WILL DEPEND ON THE AVAILABILITY OF A DOWN GRADIENT POINT OF GRAVITY DISCHARGE SUCH AS A LAND DRAIN. THE DEPTH OF THE LAND DRAIN WILL CONTROL THE ALLOWABLE DEPTH FOR FOUNDATIONS.
4. QUALIFIED GEOTECHNICAL ENGINEER FROM GSH WILL NEED TO VERIFY THAT ALL NON-ENGINEERED FILLS, TOPSOIL, DELETERIOUS MATERIAL AND/OR DISTURBED SOILS HAVE BEEN OR COMPLETELY REMOVED PRIOR TO THE PLACEMENT OF STRUCTURAL SITE GRADING FILLS, FLOOR SLABS, FOOTINGS, FOUNDATIONS, OR RIGID PAVEMENTS.
5. NATURAL OR IMPORTED FINE-GRAINED COHESIVE SOILS ARE NOT RECOMMENDED FOR USE AS TRENCH BACKFILL IN STRUCTURALLY LOADED AREAS.
6. ON SITE GRANULAR SOILS MAY BE REUTILIZED AS SITE GRADING FILLS IF THEY MEET REQUIREMENTS OF GEOTECHNICAL REPORT. FINE GRAINED CLAY/SILT SOILS ARE NOT RECOMMENDED FOR RE-UTILIZATION AS STRUCTURAL FILL.

**Survey Control Note:**

THE CONTRACTOR OR SVEYOR SHALL BE RESPONSIBLE FOR FOLLOWING THE NATIONAL SOCIETY OF PROFESSIONAL SVEYORS (NSPS) MODEL STANDARDS FOR ANY SVEYING OR CONSTRUCTION LAYOUT TO BE COMPLETED USING REEVE & ASSOCIATES, INC. SURVEY DATA OR CONSTRUCTION IMPROVEMENT PLANS. PRIOR TO PROCEEDING WITH CONSTRUCTION STAKING, THE CONTRACTOR OR SVEYOR SHALL VERIFY THE SHOWN CONTROL POINTS SHOWN ON AN ALTA SURVEY, MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON AN ALTA SURVEY, IMPROVEMENT PLAN, OR ANY ELECTRONIC DATA PROVIDED. THE SVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN FIVE (5) EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON AN ELECTRONIC DATA PROVIDED. ANY DISCREPANCIES ARE ENCOUNTERED, THE SVEYOR SHALL IMMEDIATELY NOTIFY REEVE & ASSOCIATES, INC. TO RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION, STAKING, OR CONSTRUCTION IMPROVEMENT PLANS.

## Legend

— W —	= PROPOSED CULINARY WATER LINE		= EXISTING CATCH BASIN	L.F.	= LINEAR FEET
— EX.W —	= EXISTING CULINARY WATER LINE		= EXISTING SPRINKLER	NG	= NATURAL GRADE
— SS —	= PROPOSED SANITARY SEWER LINE		= PLUG W/ 2" BLOW-OFF	O.C.	= ON CENTER
— EX.SS —	= EXISTING SANITARY SEWER LINE		= AIR-VAC ASSEMBLY	PC	= POINT OF CURVE
— SD —	= PROPOSED STORM DRAIN LINE		= PROPOSED REDUCER	PRC	= POINT OF REVERSE CURVE
— EX.SD —	= EXISTING STORM DRAIN LINE		= PLUG & BLOCK	PRVC	= POINT OF REVERSE VERTICAL CURVE
— LD —	= PROPOSED LAND DRAIN LINE		= STREET LIGHT	PT	= POINT OF TANGENT
— EX.LD —	= EXISTING LAND DRAIN LINE		= SIGN	PP	= POWER/UTILITY POLE
— SW —	= PROPOSED SECONDARY WATER LINE	BLDG	= BUILDING	P.U.E.	= PUBLIC UTILITY EASEMENT
— EX.SW —	= EXISTING SECONDARY WATER LINE	BVC	= BEGIN VERTICAL CURVE	R/C	= REBAR & CAP
— IRR —	= PROPOSED IRRIGATION LINE	C&G	= CURB & GUTTER	RCB	= REINFORCED CONCRETE BOX
— EX.IRR —	= EXISTING IRRIGATION LINE	CB	= CATCH BASIN	RCP	= REINFORCED CONCRETE PIPE
— OH-P —	= EXISTING OVERHEAD POWER LINE	C.F.	= CUBIC FEET	RIM	= RIM OF MANHOLE
— TEL —	= EXISTING TELEPHONE LINE	C.F.S.	= CUBIC FEET PER SECOND	R.O.W.	= RIGHT-OF-WAY
— GAS —	= EXISTING NATURAL GAS LINE	CL	= CENTERLINE	SD	= STORM DRAIN
	= EXISTING EDGE OF PAVEMENT	DI	= DUCTILE IRON	SS	= SANITARY SEWER
X X X	= FENCE LINE	EP	= EDGE OF PAVEMENT	SW	= SECONDARY WATER
	= RETAINING WALL	EVC	= END VERTICAL CURVE	TBC	= TOP BACK OF CURB
— . . —	= DITCH/SWALE FLOWLINE	FC	= FENCE CORNER	TOE	= TOE OF SLOPE
	= PROPOSED FIRE HYDRANT	FF	= FINISH FLOOR	TOP	= TOP OF SLOPE
	= EXISTING FIRE HYDRANT	FFE	= FINISH FLOOR ELEVATION	TOW	= TOP OF WALL
	= PROPOSED MANHOLE	FG	= FINISHED GRADE	TSW	= TOP OF SIDEWALK
	= EXISTING MANHOLE	FH	= FIRE HYDRANT	VPI	= VERTICAL POINT OF INTERSECT.
	= PROPOSED SEWER CLEAN-OUT	FL	= FLOW LINE	W	= CULINARY WATER
	= PROPOSED GATE VALVE	GB	= GRADE BREAK	WM	= WATER METER
	= EXISTING GATE VALVE	HDPE	= HIGH DENSITY POLYETHYLENE PIPE		= NEW PAVEMENT
	= PROPOSED WATER METER	INV	= INVERT		= NEW CONCRETE
	= EXISTING WATER METER	IRR	= IRRIGATION		
	= PROPOSED CATCH BASIN	LD	= LAND DRAIN		

### Erosion Control General Notes:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT OPEN FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS.  
THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO  
PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF  
INTENT" WITH THE GOVERNING AGENCIES.

### **Maintenance:**

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

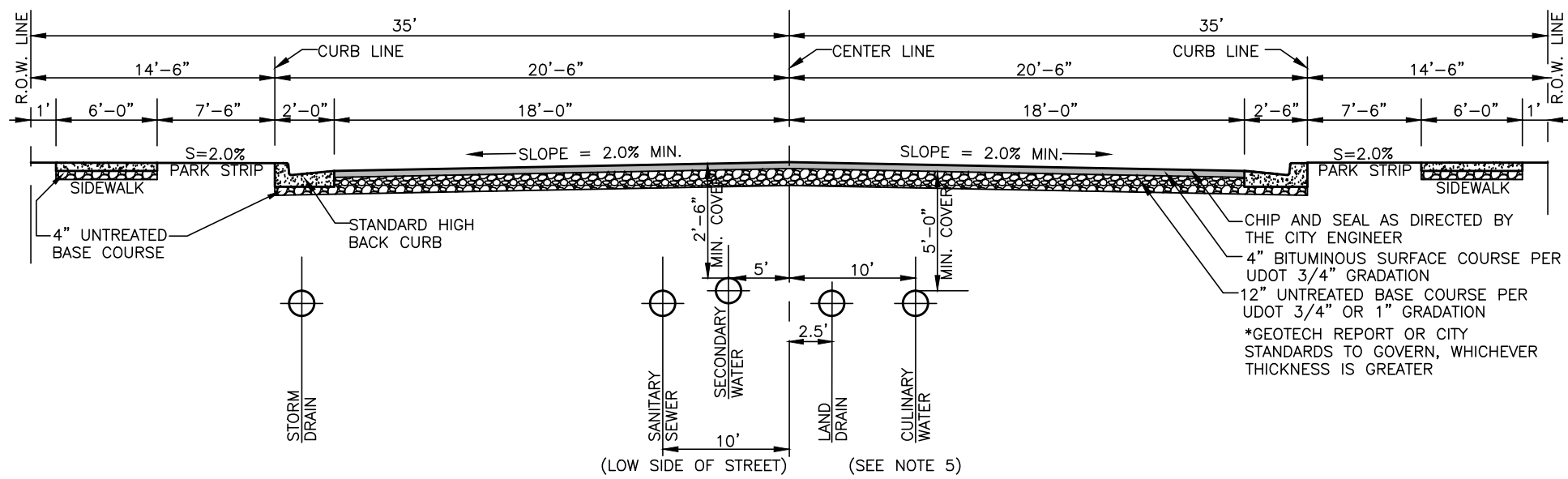
SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

EXPOSED SLOPES:

ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:

- A) Spraying DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
- B) TRACKING STRAW PERPENDICULAR TO SLOPES
- C) INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET




### Street Section (70' R.O.W.)

SCALE: NONE

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR. WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Reeve &amp; Associates, Inc. - Solutions You Can Build On



**Reeve  
& Associates, Inc.**  
5160 SOUTH 1500 WEST RIVERDALE, UT 84405  
TEL (801) 398-8800 FAX (801) 398-8801  
[www.reeve-inc.com](http://www.reeve-inc.com)

**LAND PLANNERS • LAND SURVEYORS  
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS**

REVISONS	
DATE	DESCRIPTION
09-18-17	CK Phase Lines
10-12-17	CK Proposed Surface
11-22-17	CK Phase Line
12-04-17	CK City Comments

# Riverside Place Subdivision Phase 3

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

## Notes/Legend

Revised: 12-04-17



### Project Info.

Engineer:  
J. NATE REEVE, P.E.

Drafter:  
C. KINGSLEY

Begin Date: AUGUST 2017

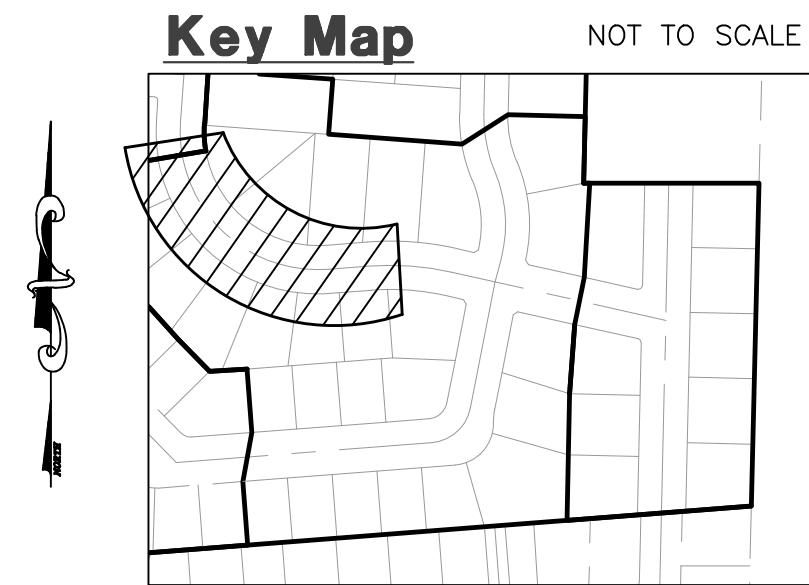
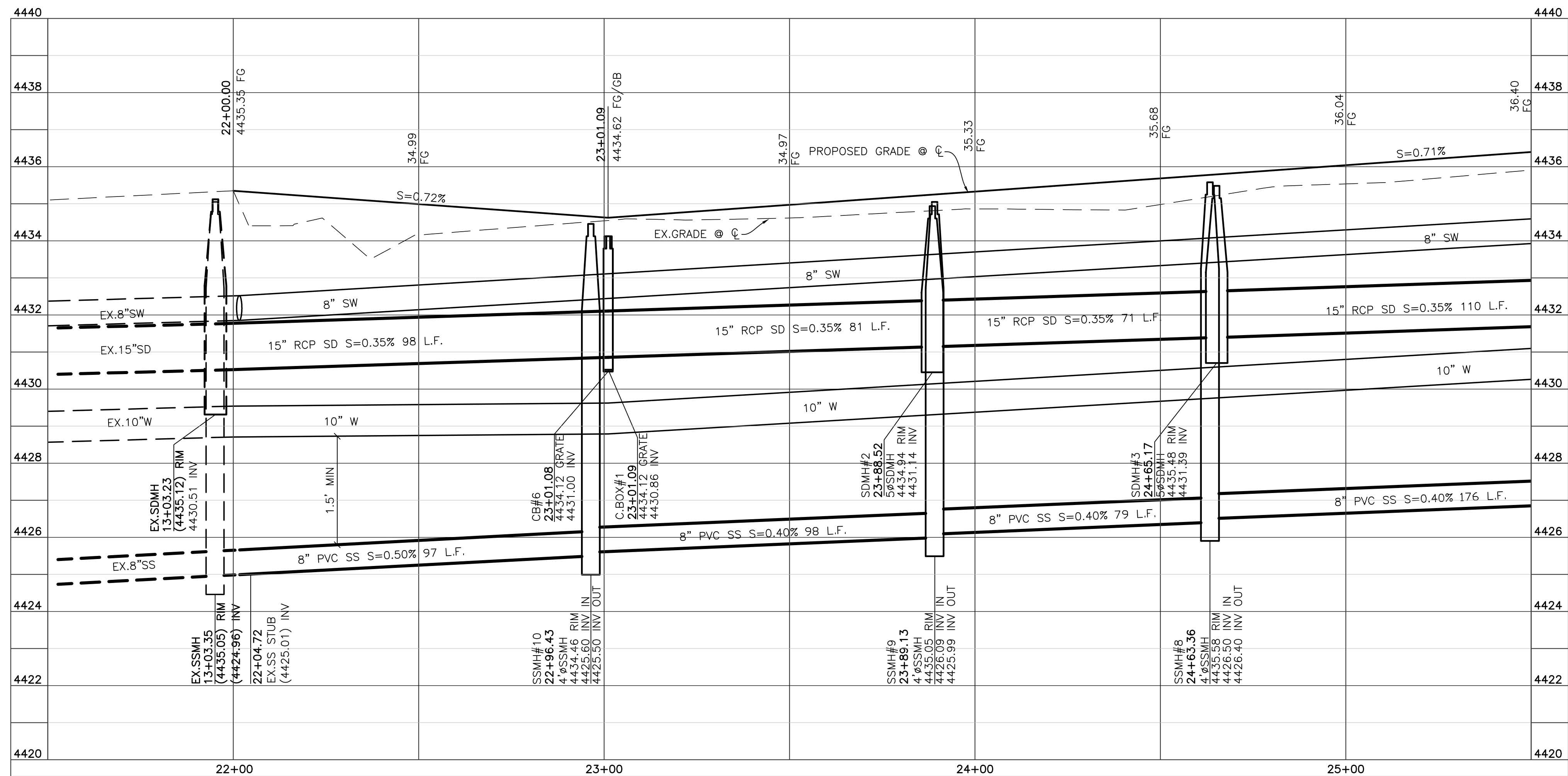
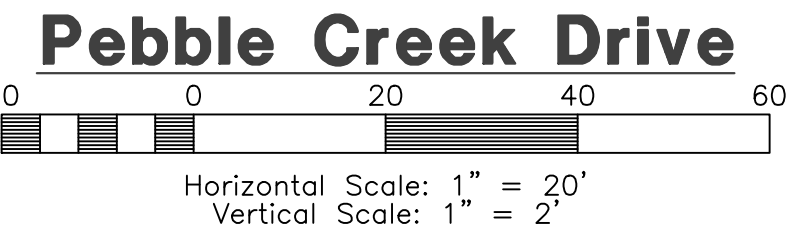
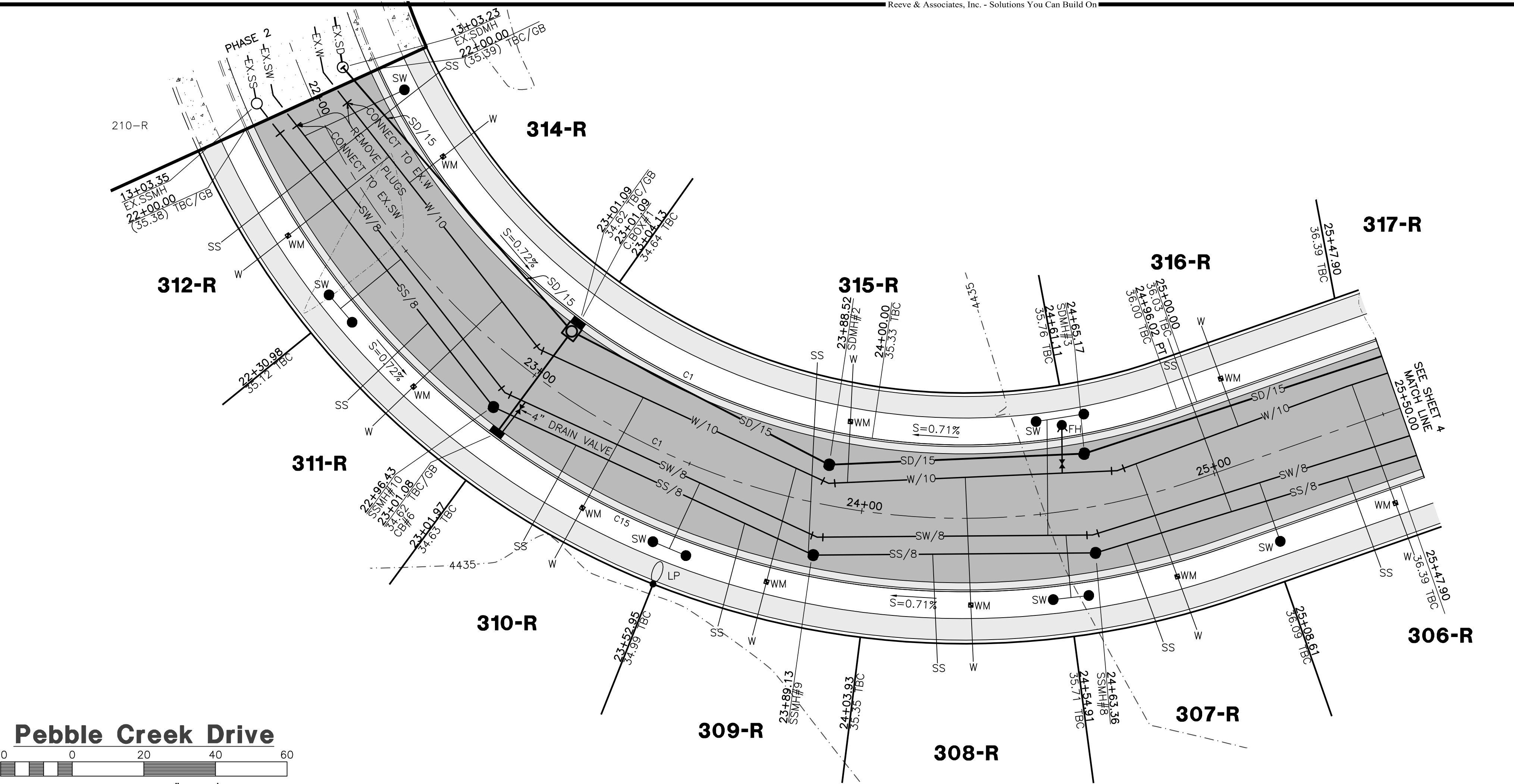
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SUBDIVISION  
PHASE 3

Number: 6626-01

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<b>2</b>	Sheets





**Construction Notes:**

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND COUNTY REQUIREMENTS.

**CULINARY WATER**

NOTE: 5" MIN. COVER REQUIRED OVER CW LINES  
W/8 - 8" DIP W/POLY WRAP WATER LINE  
W/10 - 10" DIP W/POLY WRAP WATER LINE  
W - 1" TYPE K COPPER SERVICE LATERAL

**SANITARY SEWER**

SS/4 - 4" PVC SDR 35 SERVICE LATERAL  
SS/8 - 8" PVC SDR-35 SEWER LINE

**STORM DRAIN**

SD/15 - 15" RCP STORM DRAIN

**SECONDARY WATER**

SW/8 - 8" PVC C-900 DR-14  
SECONDARY WATER LINE  
SW - SECONDARY SERVICE LATERAL  
PER CITY STANDARDS

**TBC Curve Data**

#	Delta	Radius	Length	Tangent	Chord	CH Length
C1	55°48'39"	179.50'	174.85'	95.06'	S66°30'49"E	168.02'
C15	55°52'28"	220.50'	215.03'	116.93'	N66°28'54"W	206.62'

**Centerline Curve Data**

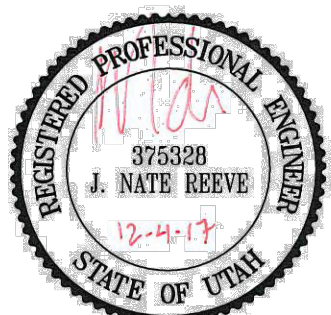
#	Delta	Radius	Length	Tangent	Chord	CH Length
C1	98°20'18"	200.00'	343.27'	231.45'	S45°14'59"E	302.66'

Revised: 12-04-17

**Riverside Place Subdivision  
Phase 3**

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

**Pebble Creek Drive  
21+50.00 - 25+50.00**



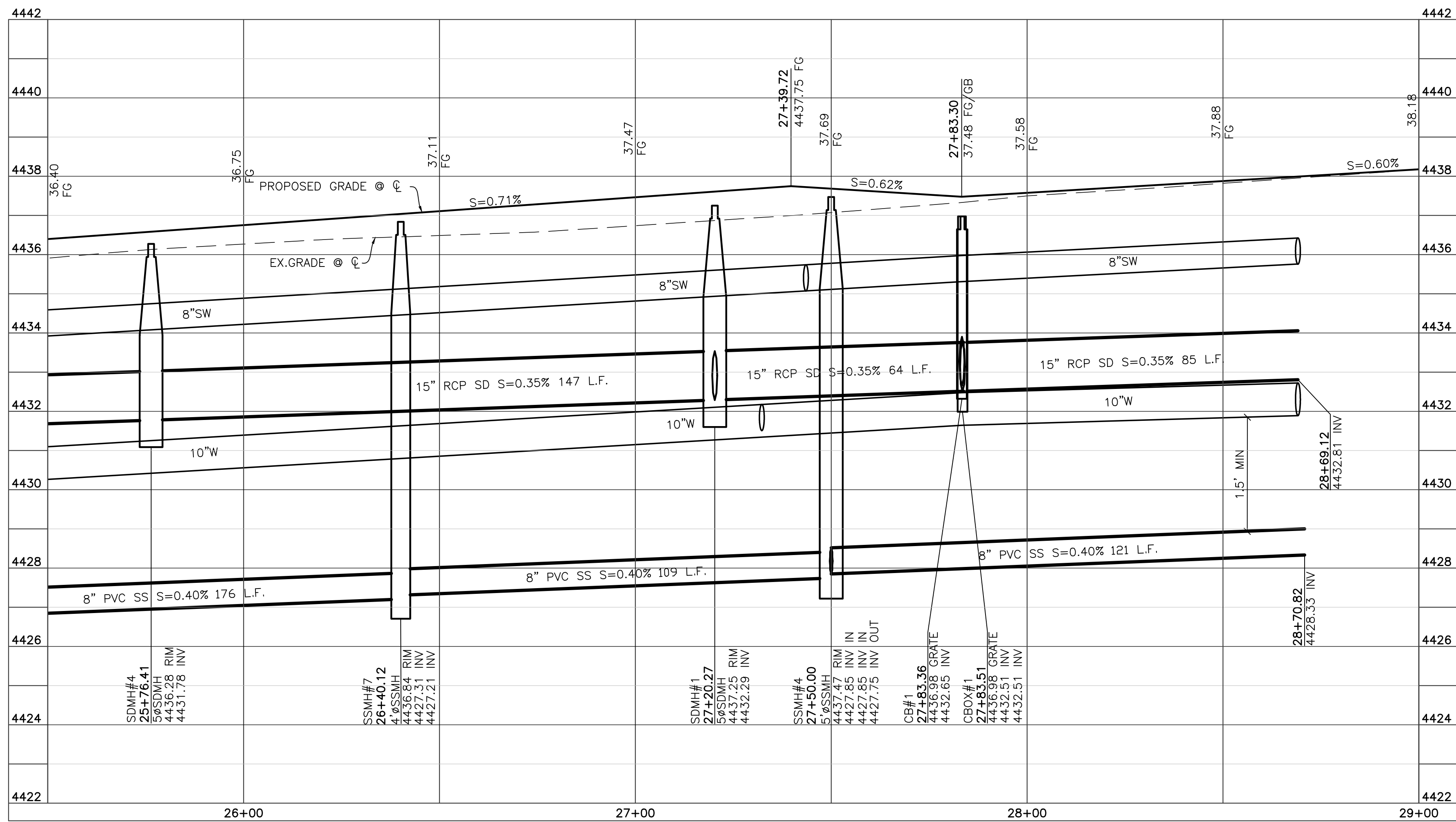
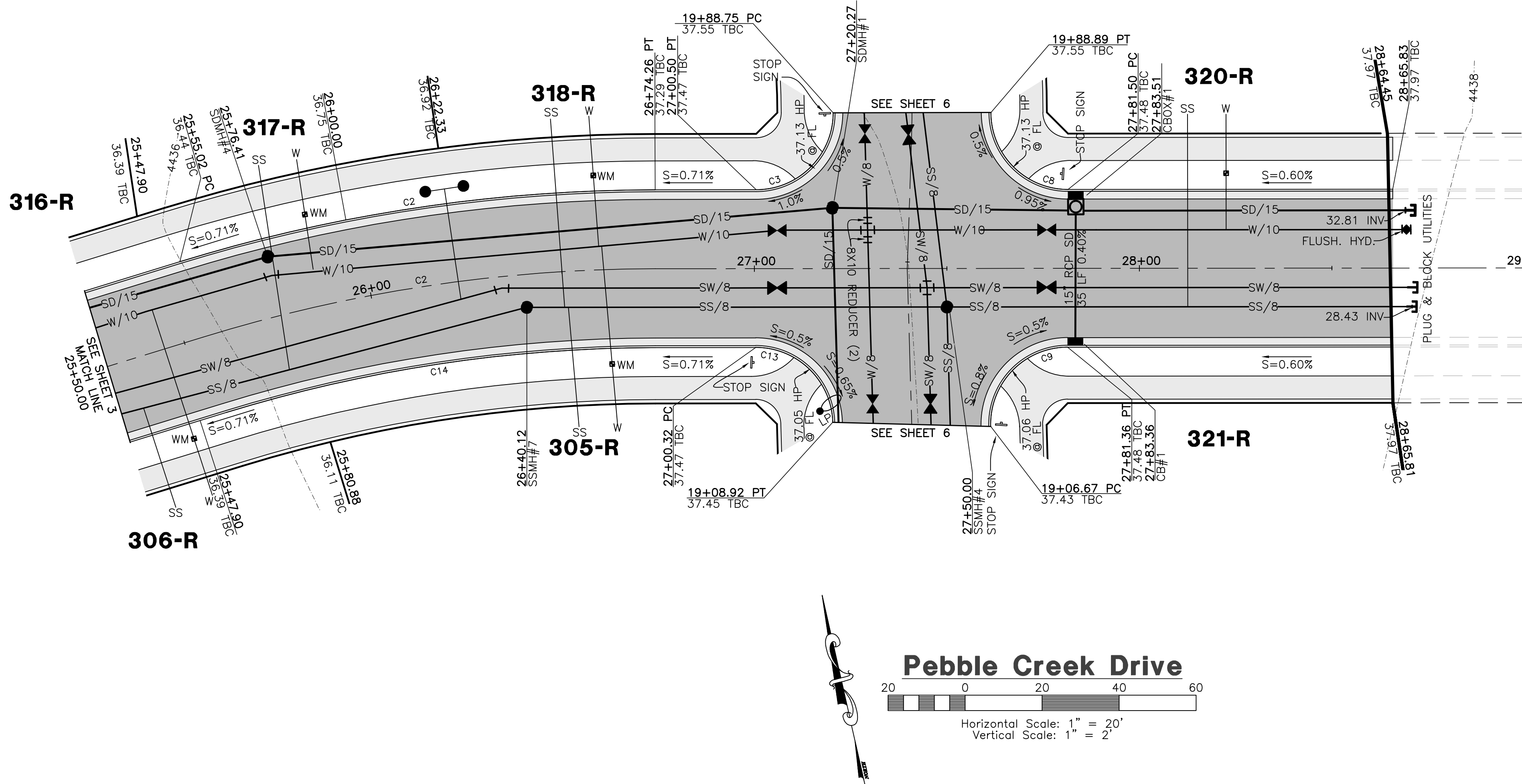
**Project Info.**

Engineer:  
J. NATE REEVE, P.E.  
Drafted:  
C. KINGSLEY  
Begin Date:  
AUGUST 2017  
Name:  
RIVERSIDE PLACE  
SUBDIVISION  
PHASE 3  
Number: 6626-01

Blue Stakes Location Center  
**Call: Toll Free  
1-800-662-4111**  
Two Working Days Before You Dig

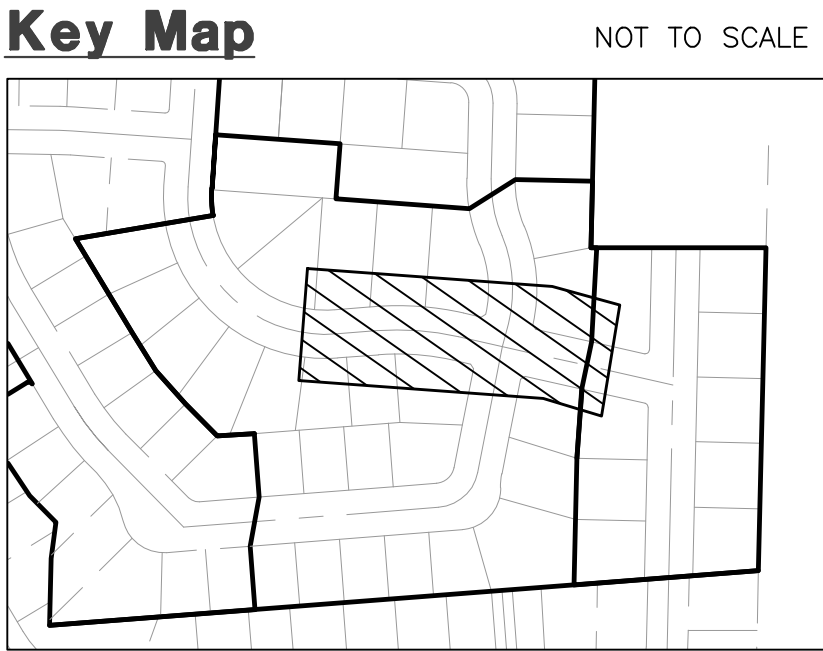
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TBC Curve Data						
#	Delta	Radius	Length	Tangent	Chord	CH Length
C2	17°04'48"	420.50'	125.35'	63.14'	S85°52'44"E	124.89'
C3	89°52'53"	20.00'	31.37'	19.96'	N57°43'13"E	28.26'
C8	90°04'43"	20.00'	31.44'	20.03'	S32°17'59"E	28.30'
C9	91°35'22"	20.00'	31.97'	20.56'	S56°51'59"W	4437.57'
C13	88°24'38"	20.00'	30.86'	19.45'	N33°08'01"W	4437.56'
C14	17°04'48"	379.50'	113.13'	56.99'	N85°52'44"W	112.71'

Centerline Curve Data						
#	Delta	Radius	Length	Tangent	Chord	CH Length
C2	17°05'18"	399.80'	119.24'	60.07'	S85°52'37"E	118.80'



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### SECONDARY WATER

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SECONDARY WATER LINE  
SW - SECONDARY SERVICE LATERAL  
PER CITY STANDARDS

Revised: 12-04-17

Riverside Place Subdivision  
Phase 3

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Pebble Creek Drive  
25+50.00 - 29+00.00

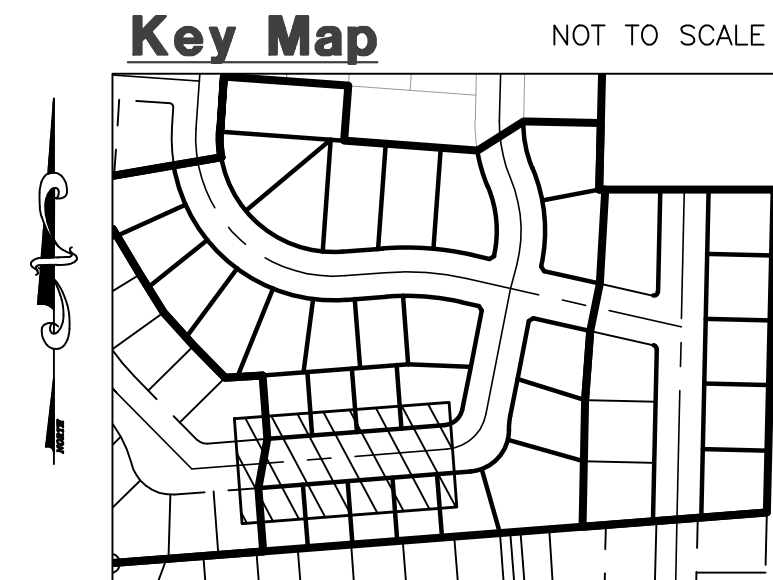
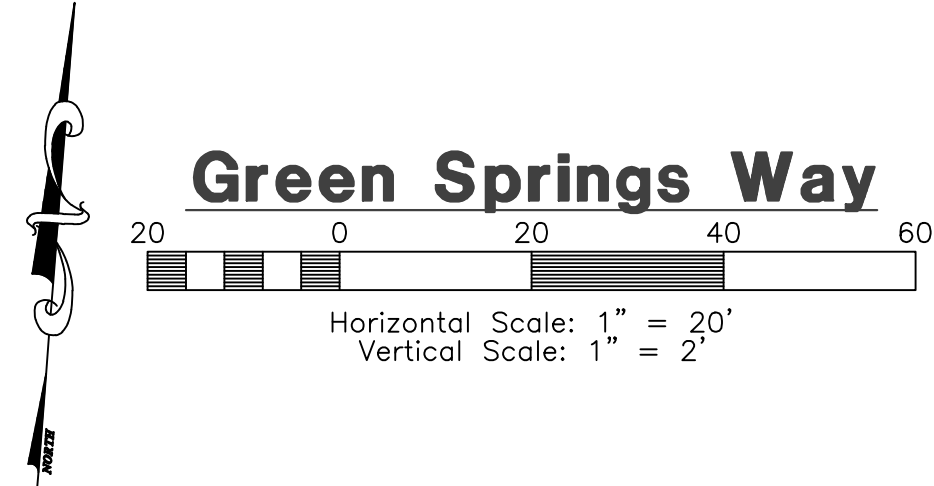


### Project Info.

Engineer:  
J. NATE REEVE, P.E.  
Drafted:  
C. KINGSLEY  
Begin Date:  
AUGUST 2017  
Name:  
RIVERSIDE PLACE  
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**Green Springs Way**  
**13+50.00 - 17+00.00**

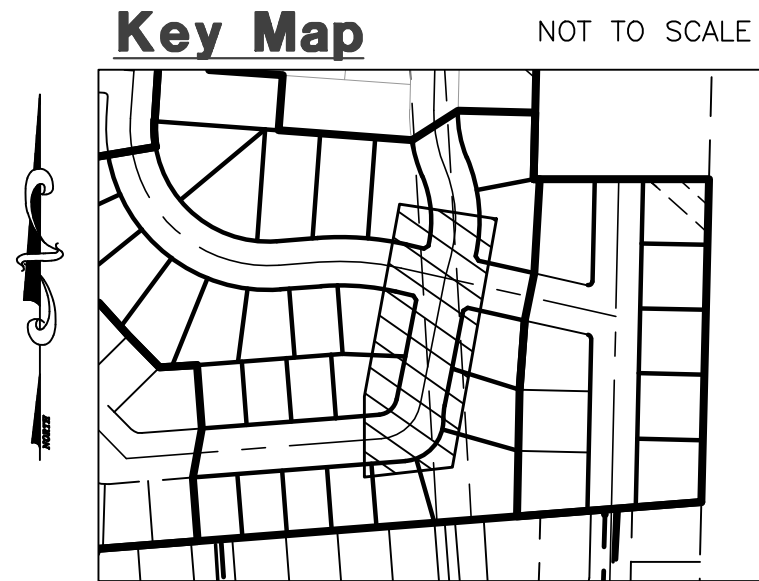
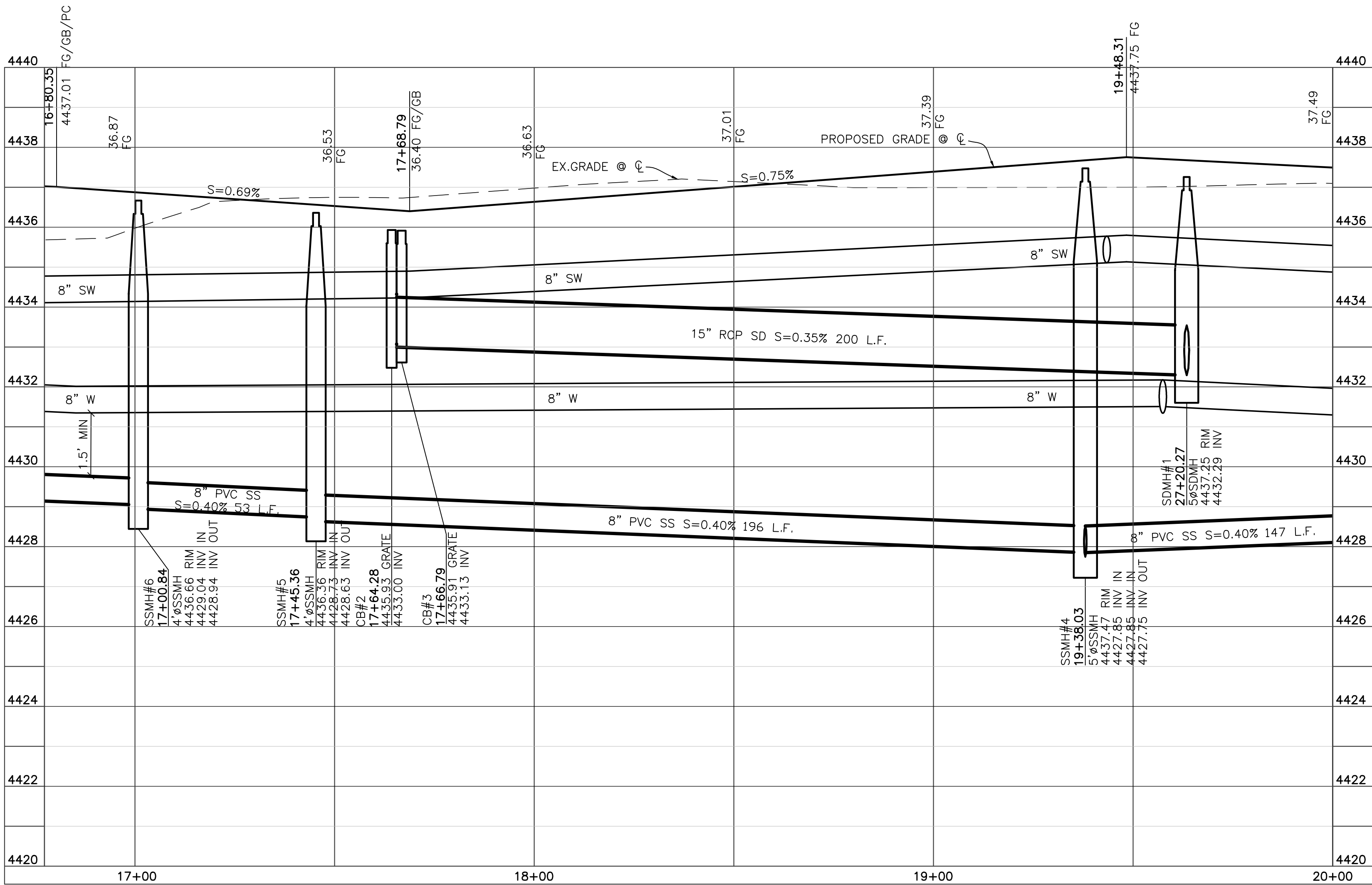
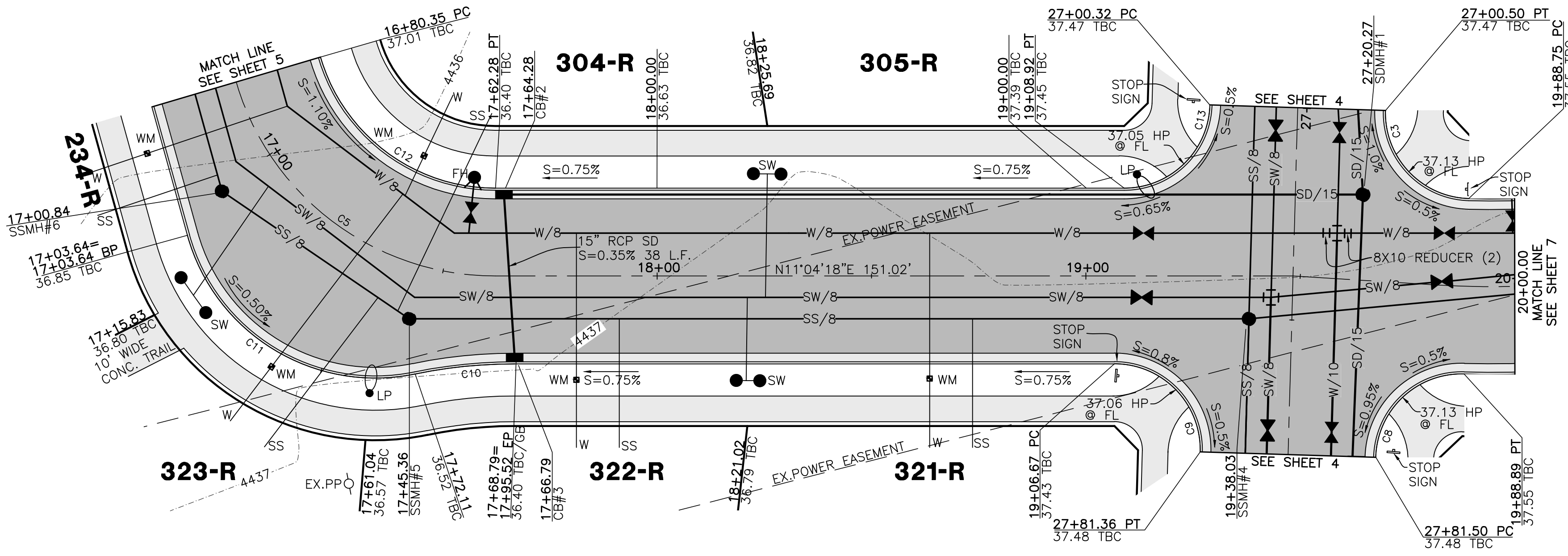


Engineer: J. NATE REEVE, P.E.  
 Drafter: C. KINGSLEY  
 Begin Date: AUGUST 2017  
 Name: RIVERSIDE PLACE  
 SUBDIVISION  
 PHASE 3  
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Sheets





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SW - SECONDARY SERVICE LATERAL  
PER CITY STANDARDS

### Green Springs Way

Horizontal Scale: 1" = 20'  
Vertical Scale: 1" = 2'

### TBC Curve Data

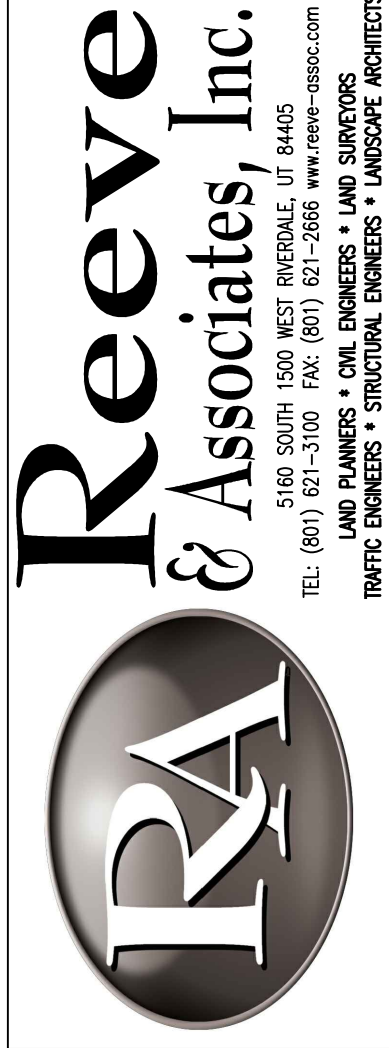
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C9	91°35'22"	20.00'	31.97'	20.56'	S56°51'59"W	4437.57'
C10	11°42'51"	114.50'	23.41'	11.75'	S5°12'52"W	23.37'
C11	86°13'25"	45.50'	68.47'	42.60'	S42°28'09"W	62.19'
C12	74°30'34"	42.50'	55.27'	32.32'	N48°19'35"E	51.46'
C13	88°24'38"	20.00'	30.86'	19.45'	N33°08'01"W	4437.56'

### Centerline Curve Data

#	Delta	Radius	Length	Tangent	Chord	CH Length
C5	74°30'34"	63.00'	81.93'	47.91'	N48°19'35"E	76.28'

Blue Stakes Location Center

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Two Working Days Before You Dig



REVISIONS	DATE	DESCRIPTION
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10-12-17	CK	Proposed Surface
11-22-17	CK	Phase Line
12-04-17	CK	City Comments

### Riverside Place Subdivision Phase 3

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

### Green Springs Way 17+00.00 - 20+00.00

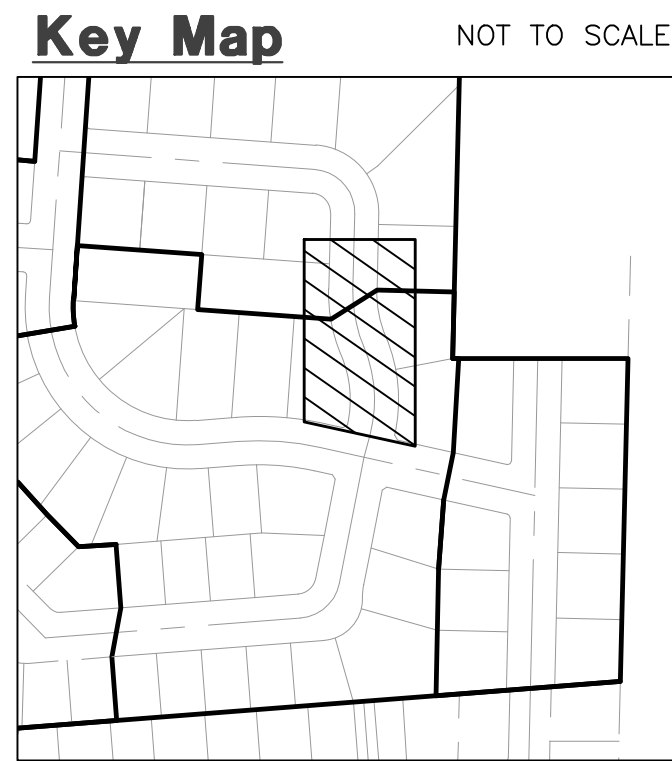
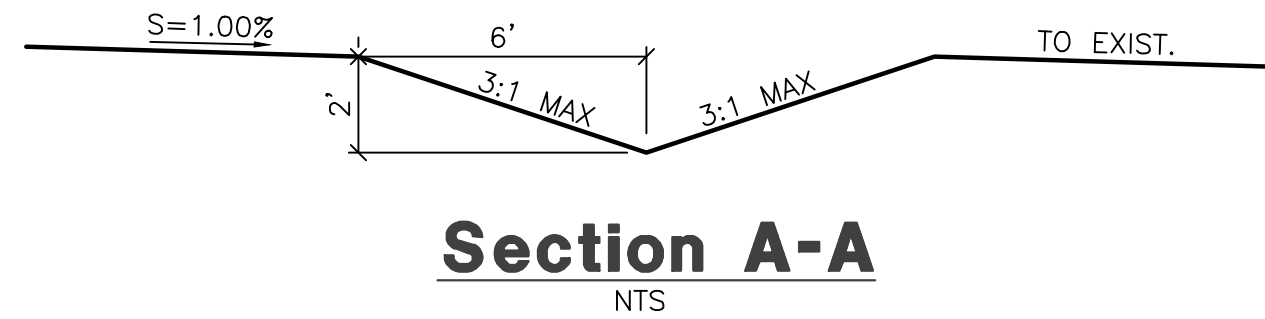


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SW - SECONDARY SERVICE LATERAL  
PER CITY STANDARDS

REVISIONS	
DATE	DESCRIPTION
09-18-17	CK Proposed Lines
10-12-17	CK Phase Surface
11-22-17	CK Phase Line
12-04-17	CK City Comments

Profile view of a sewer line. The vertical axis shows elevations from 4422 to 4442. The horizontal axis shows stationing from 20+00 to 23+00. The profile includes a ground line (FG) and a sewer line (SW) with a 1.5' minimum depth. The sewer line is labeled 8" PVC SS S=0.40% 147' L.F. and 8" W. The profile also shows a manhole structure with elevations: 4436.50 (FG), 4436.50 (RIM), 4436.50 (INV), and 4428.44 (OUT). The ground line is labeled 37.49 FG, 37.24 FG, 36.99 FG, 36.74 FG, 21+97.35, 4436.50 FG, and 36.49 FG. The sewer line is labeled 8" SW and 8" W. The profile also shows a manhole structure with elevations: 4436.50 (FG), 4436.50 (RIM), 4436.50 (INV), and 4428.44 (OUT). The ground line is labeled 37.49 FG, 37.24 FG, 36.99 FG, 36.74 FG, 21+97.35, 4436.50 FG, and 36.49 FG. The sewer line is labeled 8" SW and 8" W.

Centerline Curve Data						
#	Delta	Radius	Length	Tangent	Chord	CH Length
C3	37°26'32"	200.00'	130.70'	67.78'	N4°05'47"W	128.38'
C4	24°09'53"	200.00'	84.35'	42.81'	N10°44'07"W	83.73'

TBC Curve Data						
C4	35°35'49"	179.50'	111.52'	57.63'	N5°01'09"W	109.74'
C5	24°09'53"	220.50'	93.00'	47.20'	N10°44'07"W	92.31'
C6	24°09'53"	179.50'	75.71'	38.42'	S10°44'07"E	4437.14'
C7	35°32'19"	220.50'	136.77'	70.66'	S5°01'47"E	134.59'

Revised: 12-04-17



### Project Info.

Engineer: J. NATE REEVE, P.E.  
 Drafter: C. KINGSLEY  
 Begin Date: AUGUST 2017  
 Name: RIVERSIDE PLACE  
 SUBDIVISION  
 PHASE 3  
 Number: 6626-01

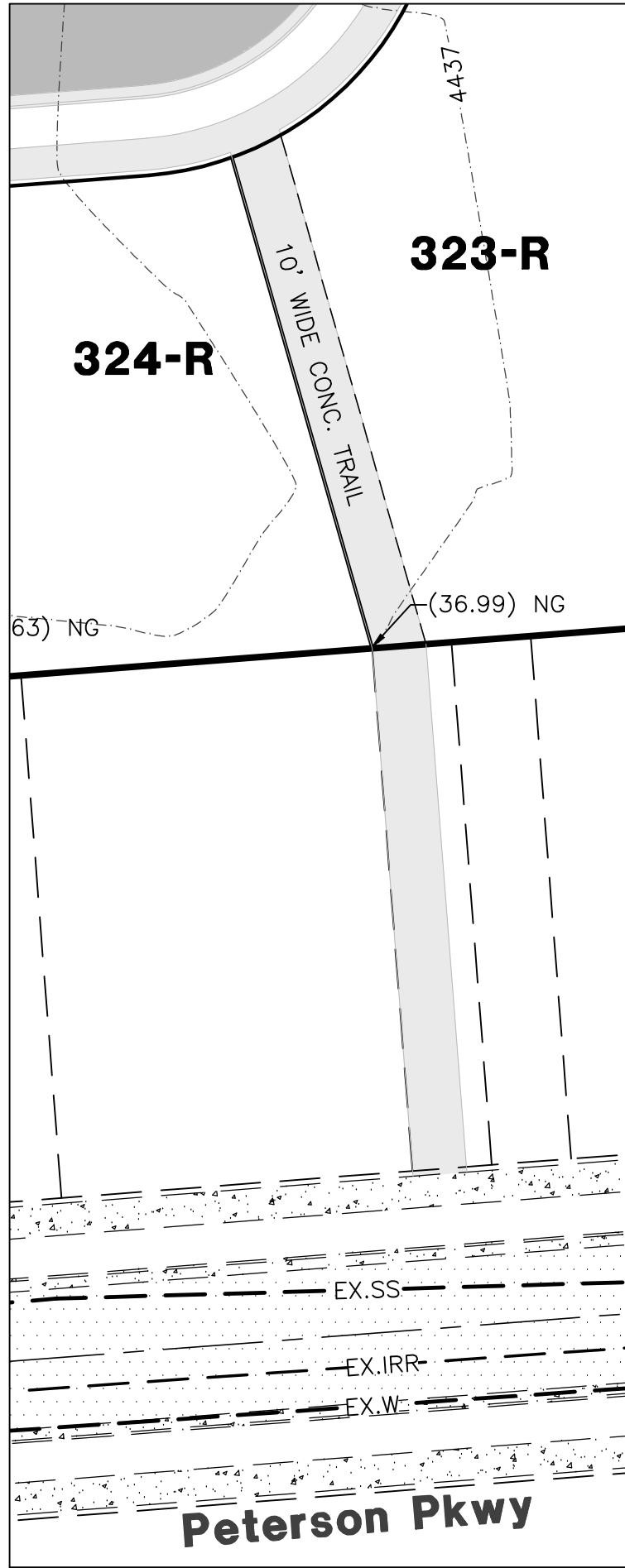
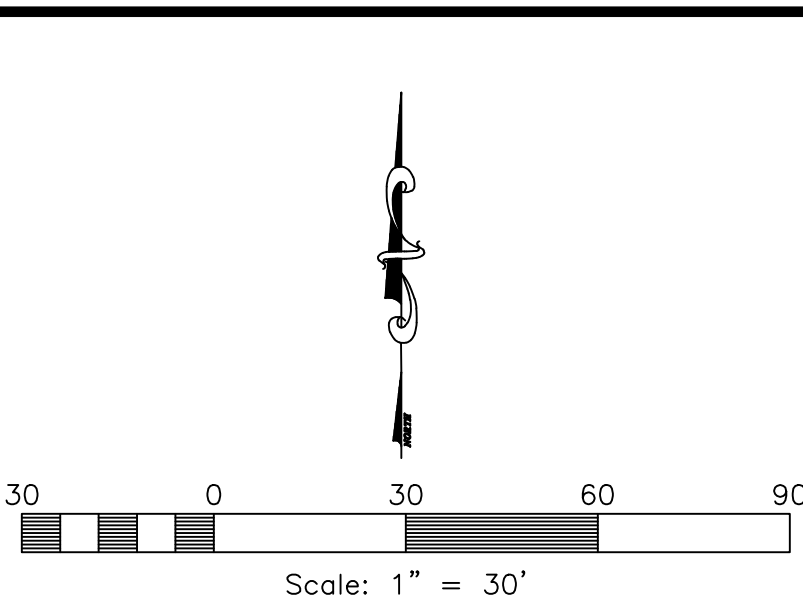
Blue Stakes Location Center

**Call: Toll Free  
1-800-662-4111**

## Two Working Days Before You Dig

Sheet	<b>11</b>
<b>7</b>	Sheets





**Detail A-A**  
Scale: 1" = 30'

**Elevation Datum**

PROJECT BENCHMARK - POINT 101, NW ¼ SECTION 28, T5N, R1W, SLB&M.  
EL. - 4231.192' (NAVD 88 PER RTK VRS OBSERVATION)

Revised: 12-04-17

**Reeve & Associates, Inc.**

**RA**

REVISIONS	DATE	DESCRIPTION
09-18-17	CK	Phase Lines
10-12-17	CK	Proposed Surface
11-22-17	CK	Phase Line
12-04-17	CK	City Comments

**Riverside Place Subdivision  
Phase 3**

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

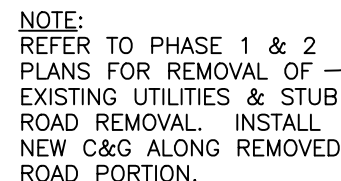
**Grading & Drainage Plan**



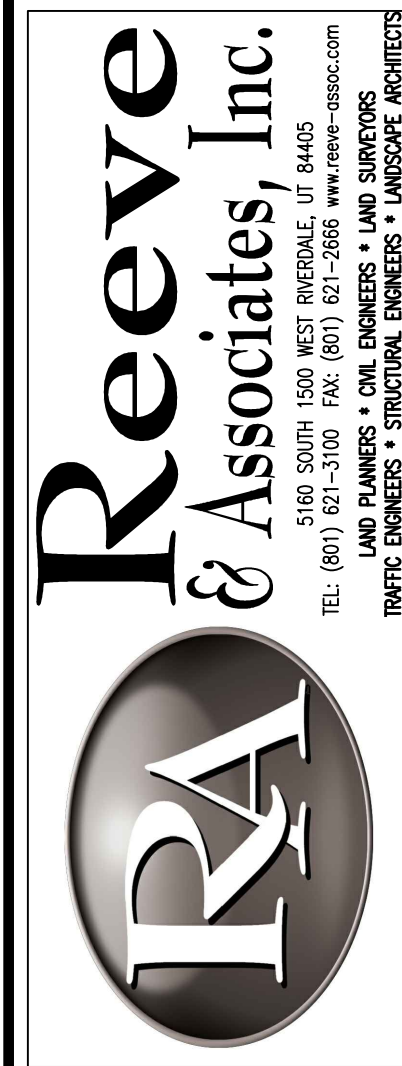
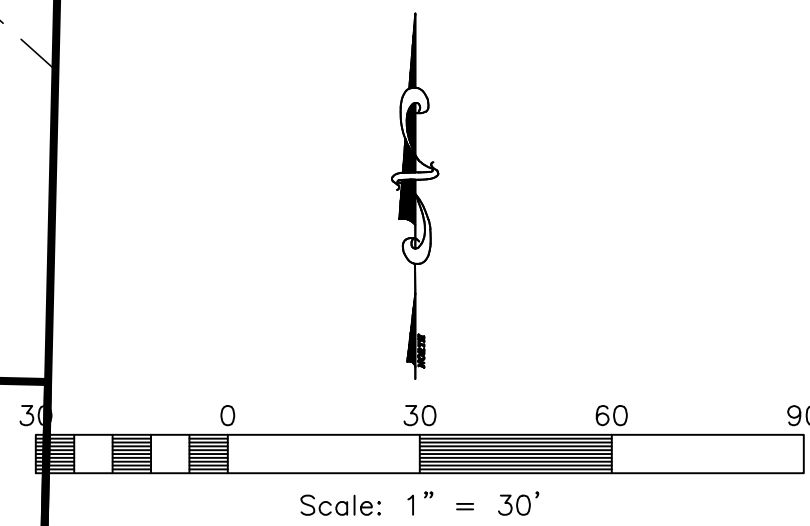
<b>Project Info.</b>	
Engineer:	J. NATE REEVE, P.E.
Drafter:	C. KINGSLEY
Begin Date:	AUGUST 2017
Name:	RIVERSIDE PLACE SUBDIVISION PHASE 3
Number:	6626-01

Sheet	<b>11</b>
<b>8</b>	Sheets





**NOTE:**  
WATER LATERALS WITHIN 10'  
OF OPPOSING SEWER  
LATERALS TO BE SLEEVED IN  
DUCTILE IRON ALONG LENGTH



REVISIONS	
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**Riverside Place Subdivision  
Phase 3**

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

## Utility Plan



### Project Info.

Engineer: J. NATE REEVE, P.E.  
 Drafter: C. KINGSLEY  
 Begin Date: AUGUST 2017  
 Name: RIVERSIDE PLACE  
 SUBDIVISION  
 PHASE 3  
 Number: 6626-01

Sheet	<b>11</b>
<b>9</b>	Sheets



SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
AUGUST 2017



Revised: 12-04-17

# Riverside Place Subdivision Phase 3

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

## Storm Water Pollution Prevention Plan Exhibit



Engineer: J. NATE REEVE, P.E.  
 Drafter: C. KINGSLEY  
 Begin Date: AUGUST 2017  
 Name: RIVERSIDE PLACE  
 SUBDIVISION  
 PHASE 3  
 Number: 6626-01

Sheet	<b>11</b>
<b>10</b>	Sheets

**Reeve  
& Associates, Inc.**  
5169 SOUTH 1500 WEST RIVERDALE, UT 84405  
(801) 621-3100 FAX: (801) 621-2666 [www.reeve-associ.com](http://www.reeve-associ.com)  
TEL: (801) 621-3100 FAX: (801) 621-2666  
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS

REVISIONS	
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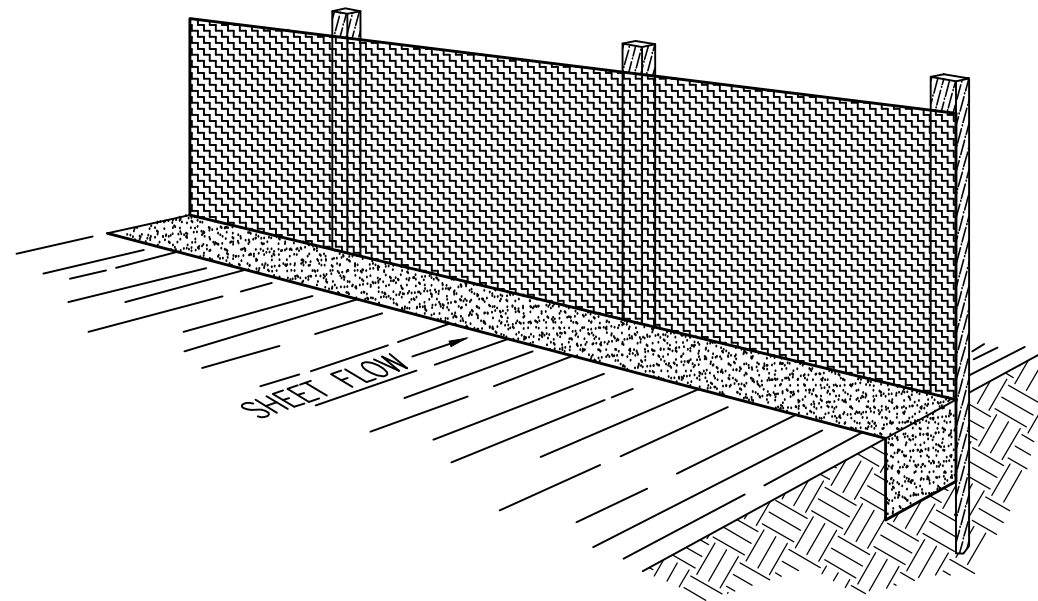
## Construction Activity Schedule

- PROJECT LOCATION.....SOUTH WEBER CITY, WEBER COUNTY, UTAH
- PROJECT BEGINNING DATE.....SEPTEMBER 2017
- BMP'S DEPLOYMENT DATE.....SEPTEMBER 2017
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....DOUG BRADY (801) 792-5123
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP  
BY OWNER/DEVELOPER



## Notes:

- Describe all BMP's to protect storm water inlets:  
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
  - Equipment / building / concrete wash areas:  
To be performed in designated areas only and surrounded with silt fence barriers.
  - Soil contaminated by soil amendments:  
If any contaminants are found or generated, contact environmental engineer and contacts listed.
  - Areas of contaminated soil:  
If any contaminants are found or generated, contact environmental engineer and contacts listed.
  - Fueling area:  
To be performed in designated areas only and surrounded with silt fence.
  - Vehicle maintenance areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Vehicle parking areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Equipment storage areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Materials storage areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Waste containment areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Service areas:  
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:  
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
  - Maintenance
    - Maintain all construction equipment to prevent oil or other fluid leaks.
    - Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
    - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
    - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
    - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
  - Fueling
    - If fueling must occur on-site, use designated areas away from drainage.
    - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
    - Cover retention area with an impervious material and install in in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
    - Use drip pans for any oil or fluid changes.
  - Washing
    - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
    - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
    - Use phosphate-free, biodegradable soaps.
    - Do not permit steam cleaning on-site.
- Spill Prevention and Control
  - Minor Spills:  
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
    - Contain the spread of the spill.
    - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
    - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up and properly dispose of contaminated soil.
    - If the spill occurs during rain, cover the impacted area to avoid runoff.
    - Record all steps taken to report and contain spill.
  - Major Spills:  
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
  - Maintain good housekeeping practices.
  - Enclose or cover building material storage areas.
  - Properly store materials such as paints and solvents.
  - Store dry and wet materials under cover, away from drainage areas.
  - Avoid mixing excess amounts of fresh concrete or cement on-site.
  - Perform washout of concrete trucks offsite or in designated areas only.
  - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
  - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
  - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
  - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
  - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
  - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
  - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
  - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. this should be confirmed by survey or other means acceptable to the engineer of record.
  - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
  - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
  - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the engineer of record of the governing agency.
  - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the engineer of record.
  - Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
  - Erosion control devices will be modified as need as the project progresses and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
  - Part III.D.4 of general permit UTR300000 identifies the minimum inspection requirements.
  - Part II.D.4.C identifies the minimum inspection report requirements.
  - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.



## Perspective View

Figure 2

### INSTALLATION

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

TABLE 1: Recommended Maximum Slope Lengths for Silt Fence (Richardson & Middlebrooks, 1991)		
Slope Steepness (%)	Max. Slope Length m (ft)	
<2%	30.5m (100ft)	
2-5%	22.9m (75ft)	
5-10%	15.2m (50ft)	
10-20%	7.6m (25ft)	
>20%	4.5m (15ft)	

### PREFABRICATED SILT FENCE ROLLS

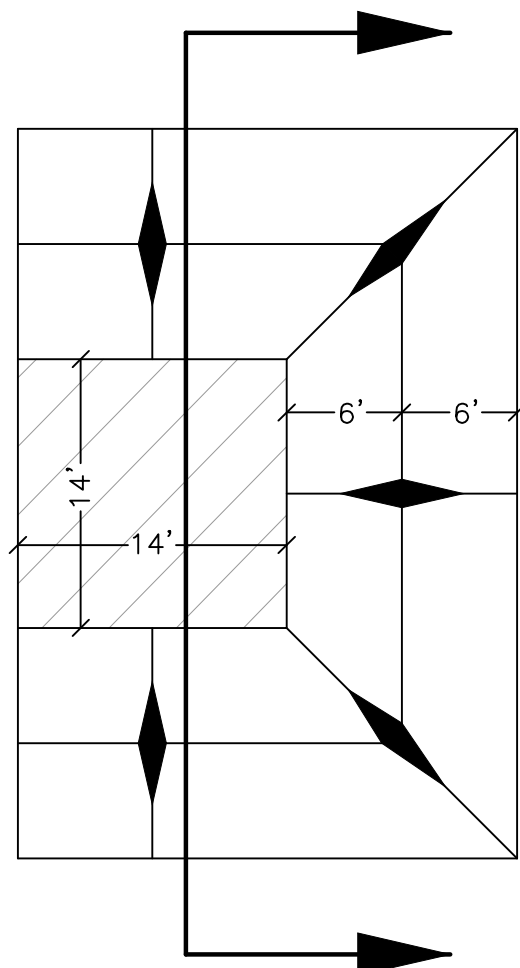
- \*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- \*Unroll the silt fence, positioning the post against the downstream wall of the trench.
- \*Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
- \*Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
- \*Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

### FIELD ASSEMBLY:

- \*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- \*Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing

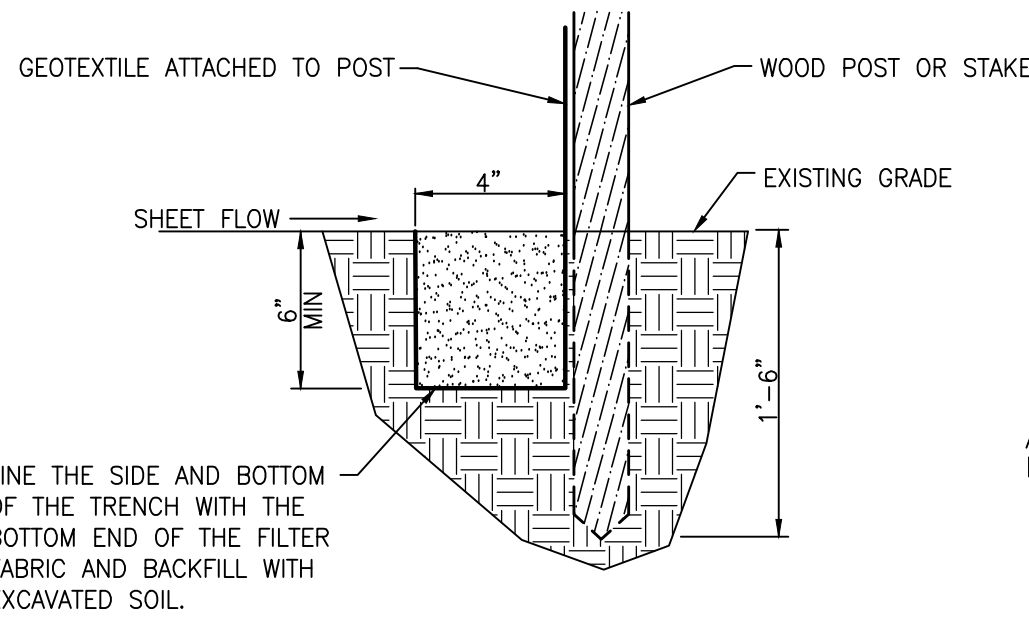
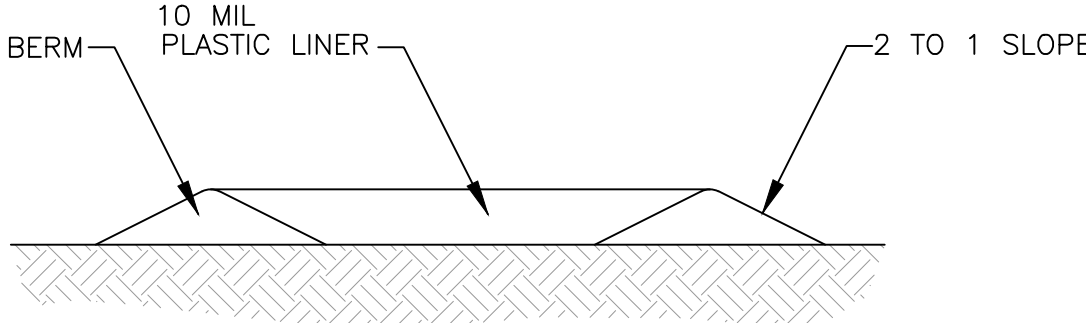
## Silt Fence Detail

SCALE: NONE

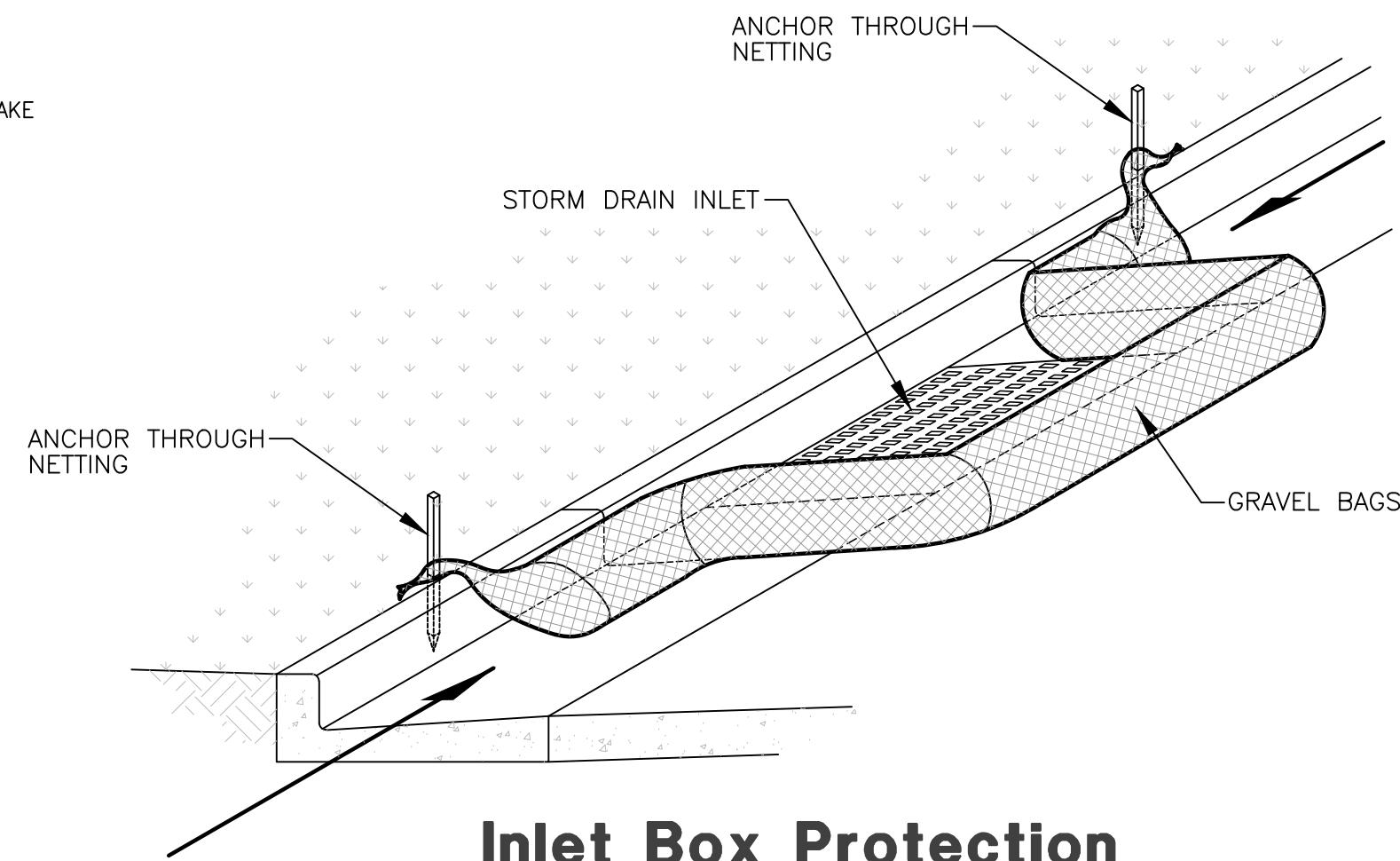


## Concrete Washout Area w/ 10 mil Plastic Liner

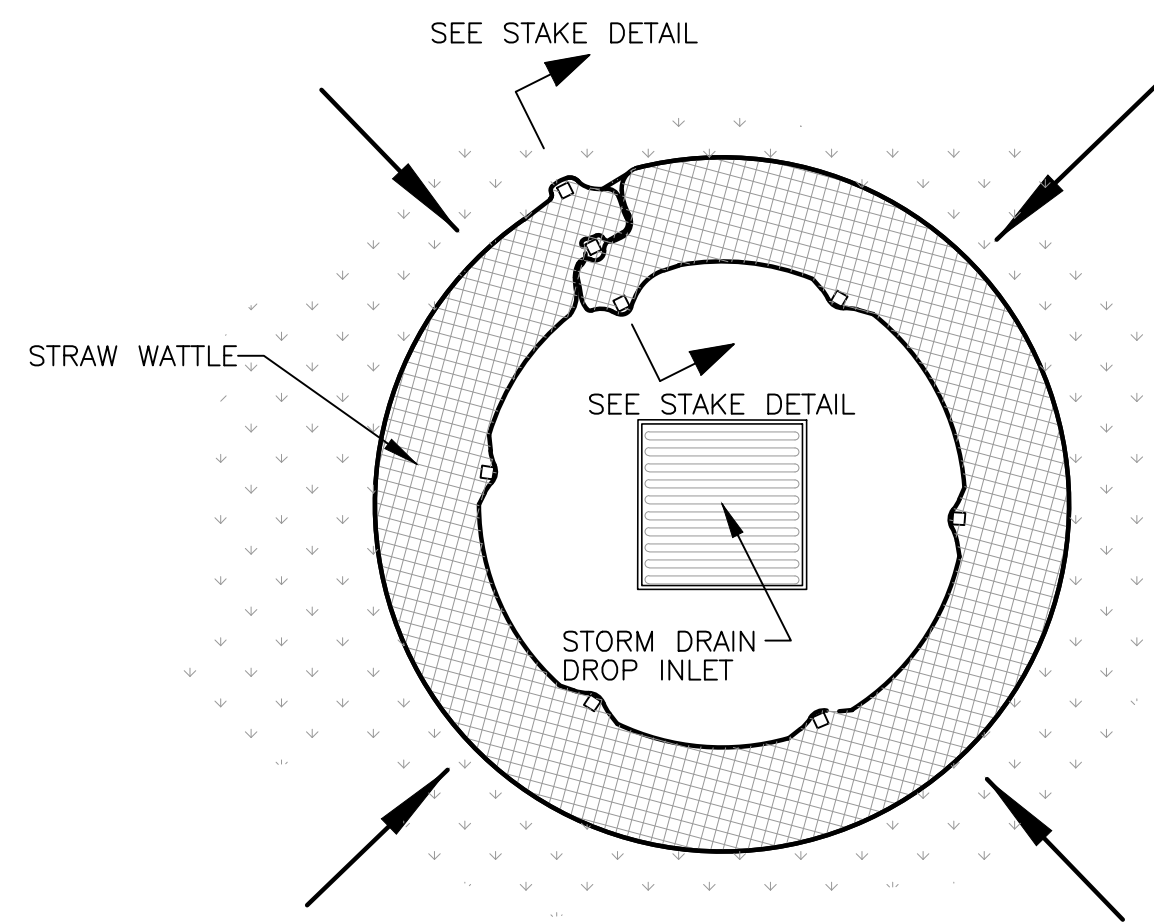
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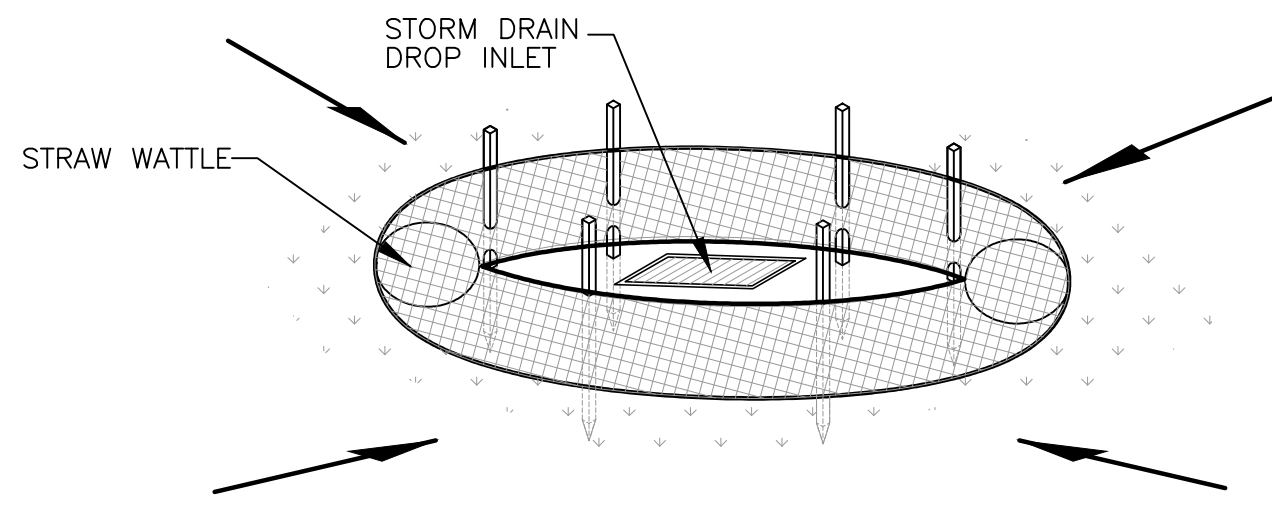
## Section



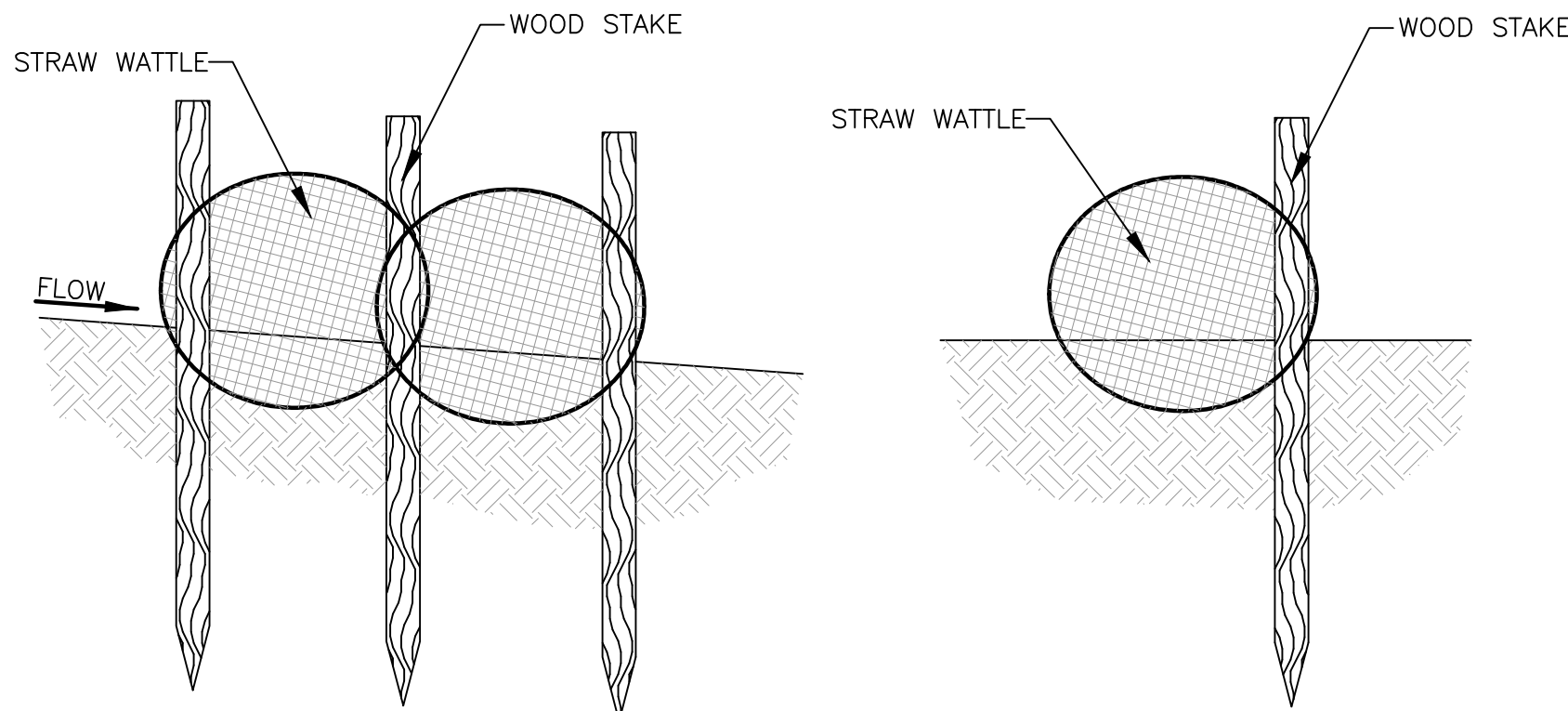
## Inlet Box Protection



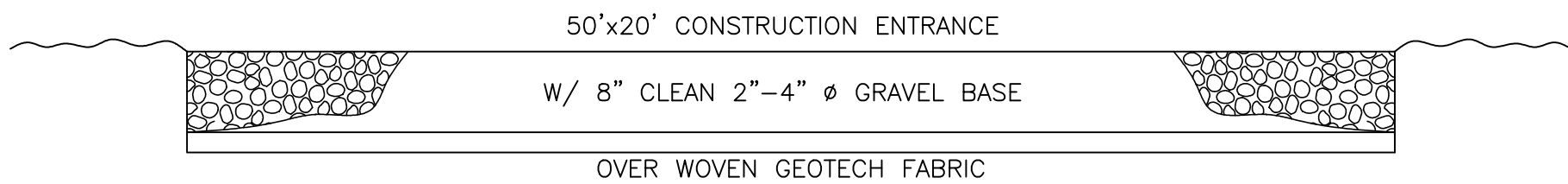
## Plan View



## Drop Inlet Protection



## Stake Detail



## Cross Section 50' x 20' Construction Entrance

REVISIONS	DATE	DESCRIPTION
09-18-17	CK	Phase Lines
10-12-17	CK	Proposed Surface
11-22-17	CK	Phase Line
12-04-17	CK	City Comments





# *Community and Economic Development*

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Davis County Administration Building - 61 S. Main Street - Farmington Utah 84025  
Telephone: (801) 451-3279- Fax: (801) 451-3281  
Barry Burton/Director

## **RIVERSIDE PLACE PHASE 3 FINAL**

By Barry Burton 12.6.17

**APPLICANT:** Miller Bates LLC

**REQUEST:** Final approval for Phase 3 of Riverside Place Subdivision.

**GENERAL INFORMATION:** This Phase 3 is lot different than the last Phase 3 we saw. This 28 lot phase is the same area we saw previously as Phases 3 and 4 plus a little more. They have resolved the issues I had before with corner lots that did not have complete streets along both frontages. Lots 301-312 and 324-328 are within the R-P zone and the rest of the lots are within the R-M zone; all of them conform to the approved preliminary plan and zoning requirements.

**PLAT:** The plat appears to be in order with one exception. The signature block for Rocky Mountain Power should be removed. This appears to give the right to approve (or deny) the plat to the utility company when they have no such right. Even if this were okay, we would need to include all utility providers.

**STAFF RECOMMENDATION:** I recommend the Planning Commission forward this proposal to the City Council with a recommendation of approval.

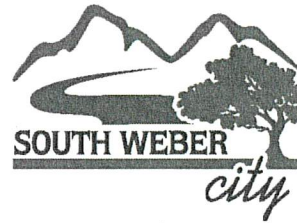


**For Office Use Only**

Fees received by: SK Date of submittal: 9/27/17  
Amount Paid: \$1100. Receipt #: 10-025475

Initial Review, all of the required supporting materials have been provided: \_\_\_\_\_

PC/CC Meeting Date: 10/12/17



**Final Plan Application**

Project/Subdivision Name: RIVERSIDE PLACE PHASE 3  
Approx. Location: 6650 S. 475 East  
Parcel Number(s): \_\_\_\_\_ Total Acres: 2.921  
Current Zone: \_\_\_\_\_  
Surrounding Land Uses: RESIDENTIAL  
Number of Lots: 12 # Lots Per Acre: \_\_\_\_\_  
Phase: 3 of 6 PUD: Yes / NO

**Contact Information**

**Developer or Agent**

Name: Manchester Group  
Company Name: MB-Riverside  
Address: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_  
Phone: 801-678-1074 Fax: \_\_\_\_\_  
Email: timothy.grubb@icloud.com

**Best Way/Preferred Method of Contact:**

☒ Email ☒ Phone \_\_\_\_\_ Fax \_\_\_\_\_ Mail

**Developer's Engineer**

Name: Reeve & Associates  
Company: CHRIS CAVE  
License #: \_\_\_\_\_  
Address: 5160 S. 1500 West  
City/State/Zip: Riverdale 84405  
Phone: 801-621-3100 Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**Best Way/Preferred Method of Contact:**

☒ Email ☒ Phone \_\_\_\_\_ Fax \_\_\_\_\_ Mail

**Surveyor**

☒ Check here if same as Engineer

Name: \_\_\_\_\_  
Company: \_\_\_\_\_  
License #: \_\_\_\_\_  
Address: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**Property Owner(s)**

☒ Check here if same as Developer

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Email: \_\_\_\_\_

*Waiting on payment*



## Final Plan Requirements

- ☒ Complete all conditions/requirements set by the Planning Commission at Preliminary Approval
- ☒ Finalized Draft of Covenants, Conditions, and Restrictions (if applicable)
- ☒ Finalized Storm Drain Calculations
- ☒ Any applicable agreements finalized, signed, and proof of recording with county provided (agreements with South Weber City must be finalized and remain unsigned)
- ☒ Finalized set of certified, stamped construction drawings and specifications as prepared by a licensed civil engineer\*\*

\*\*One full sized (24" x 36"), one reduced (11" x 17"), and one electronic PDF form shall be submitted of the following (the north area to point up or to the left):

- ☒ Format of Final Plat for Recording Required by the County

\*All plans must be prepared and stamped by a licensed and/or certified professionals including, but not limited to, architects, landscape architects, land planners, engineers, surveyors, transportation engineers or other professionals as deemed necessary by the City Planner.

## Applicant Certification

I certify under penalty of perjury that this application and all information submitted as a part of this application are true, complete, and accurate to the best of my knowledge. I also certify that I am the owner of the subject property and that the authorized agent noted in this application has my consent to represent me with respect to this application. Should any of the information or representations submitted in connection with this application be incorrect or untrue, I understand that The City of South Weber may rescind any approval, or take any other legal or appropriate action. I also acknowledge that I have reviewed the applicable sections of the South Weber City Land Development Code and that items and checklists contained in this application are basic and minimum requirements only and that other requirements may be imposed that are unique to individual projects or uses. Additionally, I agree to pay all fees associated with this project, as set by the current adopted Consolidated Fee Schedule as well as any fees associated with any City Consultant (i.e. engineer, attorney). The applicant shall also be responsible for all collection fees incurred including a collection fee of up to 40% (pursuant to the provisions of the Utah Code Ann. §12-1-11). I also agree to allow the Staff, Planning Commission, or City Council or appointed agent(s) of the City to enter the subject property to make any necessary inspections thereof.

Applicant's Signature:  Date: 9-25-17

Property Owner's Signature:  Date: 9-25-17