

SOUTH WEBER PLANNING COMMISSION AGENDA

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PUBLIC NOTICE is hereby given that the Planning Commission of SOUTH WEBER CITY, Utah, will meet in a regular public meeting on Thursday June 10, 2021 in the Council Chambers, 1600 E. South Weber Dr., commencing at 6:00 p.m.

OPEN (Agenda items may be moved in order or sequence to meet the needs of the Commission)

1. Pledge of Allegiance: Commissioner Walton
2. Public Comment: Please respectfully follow the guidelines below: Comments will also be accepted at publiccomment@southwebercity.com
 - a. Individuals may speak once for 3 minutes or less
 - b. State your name and address
 - c. Direct your comments to the entire Commission
 - d. Note: Planning Commission will not respond during the public comment period
3. Approval of Consent Agenda
 - a. PC2021-05-13 Minutes
4. Final Plat, Site & Improvement Plans for: Riverside Place Phase 4 (4.16 Acres, 12 Lots Zoned R-M) Located at approx. 6700 S Pebble Creek Drive. Applicant: Scott Heagy of MB-Riverside Place
5. **Public Hearing & Action on Rezone Request (16.34 Acres from A to NR) for Geneva Rock Located at approx. 2830 Cornia Drive. Applicant: Bill Gammell of Geneva Rock Products**
6. **Public Hearing & Action on Rezone Request (2.78 Acres from A to CH & 8.85 Acres from A to R7) for South Weber Gateway Located at approx. 2310 E South Weber Drive. Applicant: Brad Brown of Colliers International**
7. Action on Rezone Request (18.079 Acres from A & CH to CH) for Stephens Exit Located at NE Corner of 475 E & 6650 S. Applicant: Carter Randall of C&N Property Holdings LLC.
8. Planning Commission Bylaws
9. Planning Commission Comments (Boatright, Davis, Losee, Johnson, Walton)
10. Adjourn

In compliance with the Americans With Disabilities Act, individuals needing special accommodations during this meeting should notify the City Recorder, 1600 East South Weber Drive, South Weber, Utah 84405 (801-479-3177) at least two days prior to the meeting.

THE UNDERSIGNED DULY APPOINTED DEVELOPMENT COORDINATOR FOR THE MUNICIPALITY OF SOUTH WEBER CITY HEREBY CERTIFIES THAT A COPY OF THE FOREGOING NOTICE WAS MAILED, EMAILED, OR POSTED TO: 1. CITY OFFICE BUILDING 2. FAMILY ACTIVITY CENTER 3. CITY WEBSITE www.southwebercity.com 4. UTAH PUBLIC NOTICE WEBSITE www.pmn.utah.gov 5. THE GOVERNING BODY MEMBERS 6. OTHERS ON THE AGENDA

DATE: May 30, 2021

DEVELOPMENT COORDINATOR: Kimberli Guill

SOUTH WEBER CITY PLANNING COMMISSION MEETING

DATE OF MEETING: 13 May 2021 **TIME COMMENCED:** 6:07 p.m.

LOCATION: 1600 E. South Weber Drive, South Weber, Utah

PRESENT: COMMISSIONERS: Gary Boatright
Jeremy Davis (excused)
Wes Johnson
Julie Losee (via zoom)
Taylor Walton

CITY PLANNER: Shari Phippen

CITY ATTORNEY: Jayme Blakesley

CITY ENGINEER: Brandon Jones

DEVELOPMENT COORDINATOR: Kimberli Guill

Transcriber: Minutes transcribed by Michelle Clark

ATTENDEES: Paul Sturm, Fred Cox, Lute Morfin, Nicole Morfin, Tim Berry, Michael Grant, Stacy Eddings, Corinne Johnson, Carter Randall, Nate Harbertson, Joe Cook, Bob & Rolayne Collins, Henry DeVarona.

1. PLEDGE OF ALLEGIANCE: Michelle Clark

Commissioner Boatright excused Commissioner Davis from tonight's meeting.

2. Public Comment: Anyone requesting to comment live via Zoom must pre-register at the following <https://forms.gle/PMJFhYFJsD3KCi899> before 5 pm on the meeting date.

Comments will also be accepted at publiccomment@southwebercity.com

- a. Individuals may speak once for 3 minutes or less.
- b. State your name and address.
- c. Direct comments to the entire Commission
- d. Note Planning Commission will not respond during the public comment period.

Email received from **Brent Poll** (see attached)

Stacey Edding, 2645 E. 7800 S., referenced the Lofts off-site detention phase 1 depicted on page 52 of 223, (C410). She explained the note states "*Existing wooding fence is to be relocated to the property line where it overlaps*". She opined the fence is located on her property based off the survey markers installed; however, if the fence is found not to be located on her property, she

would like to work out a solution to prevent relocating the fence. She expressed due to the way the ground level is behind the fence, and the location of the detention pond, she would like to meet with Mr. Cook, the contractors, or the engineer before excavation takes place to clarify some of their concerns.

Paul Sturm, 2527 Deer Run Drive, referenced agenda item #5 concerning the public hearing and action on rezone request for the Stephens property located at 475 E. 6650 S. He recommended against the approval of the rezone request due to the developer not providing South Weber City with concept drawings with the rezone request. He addressed agenda # 6 concerning the final plat and site improvement plans for the Lofts at Deer Run located at 7870 S. 2700 E. He expressed the reviews by the city engineer and city planner during the 17 December 2020 Planning Commission meeting indicated the various items have been adequately addressed; however, the final plats and site and improvements plans presented tonight are only a small subset of what was promised and agreed upon.

3. Approval of Consent Agenda

- **Planning Commission Minutes of 8 April 2021**

Commissioner Johnson moved to approve the consent agenda. Commissioner Walton seconded the motion. A roll call vote was taken. Commissioners Boatright, Johnson, Losee, and Walton voted aye. The motion carried.

Commissioner Johnson moved to open the public hearing for Preliminary/Final Plat, Improvement Plans & Rezone for Bryce Estates (2 Lot Subdivision) Located at approx. 370 E 6725 S. by Developer Nate Reeve. Commissioner Walton seconded the motion. A roll call vote was taken. Commissioners Boatright, Johnson, Losee, and Walton voted aye. The motion carried.

******* PUBLIC HEARING *******

4. Preliminary/Final Plat, Improvement Plans & Rezone for Bryce Estates (2 Lot Subdivision) Located at approx. 370 E 6725 S. by Developer Nate Reeve

City Planner Shari Phippen reported she as well as the City Engineer Brandon Jones reviewed the request made by Nate Reeve and Seth Blair. The property being subdivided is located at 325 E. 6650 S. It includes approximately 1.5 acres and is currently zoned Agricultural (A). There is an existing home and other auxiliary buildings located on the property. The applicant is requesting to rezone the property to Residential Low Moderate (R-LM) and split the property into two platted lots.

The existing home will continue to front on 6650 South (Lot #1) and the new lot will front on 6725 South (Lot #2). 6725 South is a cul-de-sac that was built with Phase 1 of the Hidden Valley Meadows Subdivision.

The rezone is consistent with the General Plan. Lot #1 will continue to use their existing utility services. New utility services will be installed to serve Lot #2. Frontage improvements already exist for Lot #2 and no additional ROW needs to be dedicated to the road. However, ROW dedication for a 50' ROW on 6650 South and frontage improvements are required for Lot #1.

Commissioner Boatright asked if there was any public comment.

Timothy Berry, 331 E. 6725 S., voiced his concern with opening up the cul-de-sac and cutting into the asphalt. He was concerned about where the power and utilities will run through. He would rather see an easement through 6650 South and leave the fence required by Nilson Homes in that area. There are several kids who play in that cul-de-sac and adding another driveway is a safety issue.

Commissioner Walton moved to close the public hearing for Preliminary/Final Plat, Improvement Plans & Rezone for Bryce Estates (2 Lot Subdivision) Located at approx. 370 E 6725 S. by Developer Nate Reeve. Commissioner Johnson seconded the motion. A roll call vote was taken. Commissioners Boatright, Davis, Johnson, Losee, and Walton voted aye. The motion carried.

******* PUBLIC HEARING CLOSED *******

Developer Nate Reeve expressed it is unfortunate the utilities were not stubbed in; however, he is working with the City Engineer Brandon Jones and the city standards will be followed for connection of the utilities. He explained there are two parcels which are under contract with Nilson Homes. This is one single family home with anticipation of minimal traffic.

City Planner Shari Phippen explained when a road is cut there are city standards for patching. City Engineer Brandon Jones concurred city code allows for development on city roads and described the process for patching the concrete.

Commissioner Walton moved to recommend approval to the City Council for Preliminary/Final Plat, Improvement Plans & Rezone for Bryce Estates (2 Lot Subdivision) Located at approx. 370 E 6725 S. by Developer Nate Reeve subject to the following conditions:

1. City Engineer's Review of 30 April 2021
2. City Planner's Review of 13 May 2021

Commissioner Boatright seconded the motion. A roll call vote was taken. Commissioners Boatright, Johnson, Losee, and Walton voted aye. The motion carried.

Commissioner Walton moved to open the public hearing for Rezone Request for Stephens Exit Located at NE Corner of 475 E & 6650 S by Developer Carter Randall. Commissioner Johnson seconded the motion. A roll call vote was taken. Commissioners Boatright, Johnson, Losee, and Walton voted aye. The motion carried.

******* PUBLIC HEARING *******

5. Rezone Request for Stephens Exit Located at NE Corner of 475 E & 6650 S by Developer Carter Randall: City Planner Shari Phippen reported this parcel is located on the corner of 475 East and 6600 South in South Weber City. The applicant, with consent of the developer, has applied to rezone the property from its present zone of Agricultural to Commercial Highway. They have not presented the City with a concept plan as to what they want to do with the project.

Shari explained the City Council and Planning Commission have, in the past, requested that rezone applications come forward with a concept so that the City has some assurance of what types of projects are intended for properties. The General Plan does anticipate this property as Commercial Highway. She acknowledged it is difficult for her to do a full evaluation without a concept plan.

Commissioner Boatright pointed out this is a legislative action.

Commissioner Boatright asked if there was any public comment.

Corinne Johnson, 8020 S. 2500 E., recommended the Planning Commission hold off on moving this forward to the City Council. She was concerned about amendments that are coming with the Commercial Highway Zone and felt the Planning Commission needed to be afforded the time to review those amendments before making a motion to move it forward.

Nicole Mortin, 464 E. 6650 S., disagrees with this application. She would like to know what is going in the field and how it will affect the future.

Commissioner Johnson moved to close the public hearing for Rezone Request for Stephens Exit Located at NE Corner of 475 E & 6650 S by Developer Carter Randall. Commissioner Walton seconded the motion. A roll call vote was taken. Commissioners Boatright, Johnson, Losee, and Walton voted aye. The motion carried.

******* PUBLIC HEARING CLOSED *******

Developer Carter Randall explained he cannot get users without knowing what the City will allow. He understood the City has been working on modifying the code. He voiced he was not asking for change in the code, but he can't supply a plan because uses are unknown. He reviewed he has presented several different plans in the past.

Commissioner Losee explained this has been a heavily discussed piece of land in South Weber City and the C-H Zone is in the process of being reviewed by the Code Committee.

Commissioner Walton noted on the General Plan it states development plan and agreement are required. He is currently serving on the Code Committee and is in the midst of reviewing what types of uses can be on this parcel. He indicated in the past plans have been presented, and he felt the City owes it to the developer to provide uses for this area. He suggested this being a priority for the Code Committee to review.

Commissioner Johnson expressed the City has not adopted the uses for the C-H Zone and he understood the developer needs that to develop a concept plan. He expressed the City needs to get the zoning completed and would suggest tabling this agenda item at this time.

Commissioner Losee asked Brandon how many acres are zoned C-H and how many are zoned agricultural on this parcel.

Commissioner Boatright clarified there is a C-H Zone in the ordinance that is currently defined. He was hesitant to approve a rezone without a concept plan because he has seen too many cities get burned without a plan.

Carter Randall expressed it is a large enough piece of property to master plan and it would be difficult to stick to that plan over time. He explained the City needs to be comfortable with the uses in the C-H Zone and then he will find the users. Commissioner Losee stated the Planning Commission is in the process of determining that. Timing is unfortunate but it is what it is, and she asked for some patience while the Planning Commission works through this.

Shari explained the City has 180 days from when the intention to modify the code change is noticed. City Attorney Jayme Blakesley explained this property has a portion of C-H Zone and the rest is Agricultural. Brandon Jones reported 4.7 acres is currently in the C-H Zone.

Commissioner Walton moved to table the Rezone Request for Stephens Exit Located at NE Corner of 475 E & 6650 S by Developer Carter Randall until the C-H Zone uses are better defined and the development process is defined for the development plan and agreement overlay. Commissioner Losee seconded the motion. A roll call vote was taken. Commissioners Boatright, Johnson, Losee, and Walton voted aye. The motion carried.

6. Final Plat, Site & Improvement Plans for: The Lofts at Deer Run located at approx. 7870 S 2700 E by Developer Joseph Cook of Deer Run Development: City Planner Shari Phippen explained this agenda item is an administrative action item before the Planning Commission to either recommend approval or denial of the Final Plat and Site & Improvements Plans for the Lofts at Deer Run. In December 2020, the Planning Commission approved the architectural and landscaping plans as part of the approval of the preliminary plans. Because there were no changes to either plan that the Planning Commission required as part of the approval, they are not revisited by the Planning Commission as part of the final plan. Individual commissioners made comments about what they would like to see in the final, but there was not a vote by the commission putting any of those requests into place.

Shari reported she studied the City Planner and City Engineer reviews referenced in the 17 December 2020 meeting. She pointed out the motion did not require the applicant to change the architectural or landscaping plans other than identifying where the mechanical equipment would be, which the applicant did. Approval of the architectural and landscaping plans comes under the umbrella of Preliminary Site Plan & Improvements.

Shari explained preliminary plans and final plans have distinct requirements. Once a preliminary plan has been approved, those requirements are not reviewed again by the Planning Commission unless minor changes are needed. They are sent on to the City Council as part of a single, final packet. At final approval, the Planning Commission reviews only those items that are on the final plan requirements, along with any minor changes/corrections that were identified in the preliminary plan.

Request Approval Standards

The following points were raised by Brandon Jones, City Engineer and Barry Burton, previous City Planner. They needed to be addressed and submitted with the final plats and plans.

Mechanical Equipment Screening

- Building roofs are gabled, which will provide adequate screening for mechanical equipment.

Irrigation Plan

- An irrigation plan was submitted with final plans and has been reviewed/approved by the City Engineer.

Shari reported the final plat is compliant with all engineering and planning standards. The improvement plans have been reviewed and accepted by the City Engineer as meeting city standards where applicable.

Shari commented the City has received letters from Weber Basin Water Conservancy District, Davis & Weber Canal Co, and South Weber Water Improvement District. Those agencies have reviewed the plans and provided final approval letters. Specific construction requirements related to their services will be discussed and reviewed at the staff-led preconstruction meeting.

The architectural plans were reviewed and approved as part of the preliminary plat approval.

City code 10-5 and 10-7 require that projects over an acre in size receive a conditional use permit. For residential projects requiring a conditional use permit, the review and approval process is identical to the subdivision process. By approving the final plats & plans, the City approves the conditional use permit for the project.

A development agreement is required as part of the project. It was approved with the preliminary plan, with some needed amendments. The amended agreement does not come back to the Commission, but it will go to the Council for approval, along with the final plats & plans.

General Plan Analysis

Review of relevant portions of the General Plan were reviewed as part of the approval of the preliminary plat. There are no further General Plan considerations currently.

Staff Analysis

Based on review by myself, as the City Planner and Brandon Jones, the City Engineer, the final plats & plans for The Lofts at Deer Run are fully compliant with the requirements necessary to be recommended for approval to City Council.

City Engineer Brandon Jones Review of 30 April 2021 is as follows:**BACKGROUND**

The Planning Commission gave preliminary approval to The Lofts at Deer Run on December 17, 2020. Our engineering review memo to the Planning Commission, dated December 7, 2020 covered all aspects related to preliminary review and approval, including: Approval letters, Title Report, Amended Development Agreement, Traffic Study, Parking, Geotechnical & Geologic, Environmental, Survey, Retaining Walls, Landscaping, Architectural, Utility Services, Fire Flow, D&W Canal, Plats, and Improvement Plans. For more details, please refer to that memo. Following approval, the developer has prepared final plans. Our office has completed several reviews of the Final Plats and Improvement Plans for The Lofts at Deer Run Development. The city staff has gone through 3 revisions of the final plans. The most recent and complete set is dated April 22, 2021.

GENERAL

E1. Approval Letters. We have received final approval letters from Weber Basin Water Conservancy District (WBWCD), Davis & Weber Counties Canal Company (DWCCC), and South Weber Water Improvement District (SWWID). Implementation of construction requirements will be addressed in the preconstruction meeting and during construction.

E2. Draft Amended Development Agreement. This was recommended for approval at the December 17, 2020 Planning Commission meeting. No further action is needed by the Planning Commission. This will move forward for final approval to the City Council with the rest of the development proposal.

E3. Phasing. The development proposal includes the final plats and improvement plans for 3 phases. Therefore, construction could take place in phases or all at once, but future approval of subsequent phases by the city will not be needed, once approved.

PLATS

E4. There is one overall plat, and individual condo plats associated with each building. These plats comply with the requirements in the code. We have no further comments.

IMPROVEMENT PLANS

E5. Just for your information:

A. All on-site improvements are private and will be maintained by the Owner.

B. The plans include phasing for each building. All grading and utilities necessary for each phase are shown independently.

C. The final design for all the retaining walls is included.

E6. We have no further comments.

STAFF ASSESSMENT

E7. The plats meet all requirements of City Code. The improvements meet City Standards where applicable and follow generally accepted design standards for all private improvements.

Developer Joseph Cook expressed he is willing to work with the surrounding neighbors with regards to fencing and thanked everyone for their time.

Commissioner Johnson questioned the amount of commercial. Fred Cox, architect for the project, stated there is approximately 4,000 sq. ft. facing the road which still has commercial.

City Attorney Jayme Blakesley explained the designated common area.

Commissioner Losee discussed wanting to see a full and complete Final Plat & Improvement Plans for this development. Fred Cox replied the developer has presented the plats and civil drawings which were reviewed by City staff and revised.

Shari explained there are items that have already been approved before this meeting and based on the Planning Commission action tonight it will all be put together for review for City Council.

Commissioner Walton asked if everything that was approved in preliminary matches the final. Shari stated yes. Commissioner Walton recommended the Code Committee develop a definition of preliminary plan. Commissioner Boatright agreed. He appreciated the developer's patience. He expressed there are many in the community who do not like this project, but he looks forward to the good people and welcomes those who will move into this development.

Commissioner Walton moved to recommend approval to the City Council for the Final Plat, Site & Improvement Plans for: The Lofts at Deer Run located at approx. 7870 S 2700 E by Developer Joseph Cook of Deer Run Development. Commissioner Boatright seconded the motion. A roll call vote was taken. Commissioners Boatright and Walton voted aye. Commissioner Johnson and Losee voted no. The motion failed.

Jayme explained the motion failed and will move forward to the City Council without recommendation from the Planning Commission. He expressed this is one of those situations where it can feel a little odd as a Commissioner because the perception is the Planning Commission is a gatekeeper of sorts to things that rise to the City Council. In this case, it is an application for a landowner for approval under a code provision that was in place at the time the application was made.

Commissioner Johnson explained his reason for voting no was the reduction of commercial from 27,000 square feet to 4,000. Commissioner Losee stated there is still so much that is not understood about this project and what it will ultimately look like is missing. She requested to see final plat site and improvements plan so that the citizens will know exactly what they are getting and what the Planning Commission is recommending for approval.

Commissioner Boatright moved to open the public hearing for updates to the following ordinances:

a. Title 10, Chapter 1, Section 10-A: Land Use Matrix

b. Title 10, Chapter 1, Section 10: Definitions

c. Title 10, Chapter 5: Zoning Districts

Commissioner Johnson seconded the motion. A roll call vote was taken. Commissioners Boatright, Johnson, Losee, and Walton voted aye. The motion carried.

***** PUBLIC HEARING *****

7. Public Hearing & Action on updates to the following ordinances:

a. Title 10, Chapter 1, Section 10-A: Land Use Matrix

b. Title 10, Chapter 1, Section 10: Definitions

c. Title 10, Chapter 5: Zoning Districts

City Planner Shari Phippen memo of 27 April 2021 is as follows:

After the 2020 General Plan was adopted, the South Weber City Code Committee was tasked with reviewing Title 10, the SWC zoning code. Their overall goal of the committee was to suggest land use code changes in each zone for the SWC Planning Commission review and make recommendations to the City Council.

The documents included for review and recommendation to Council are as follows:

1. A redline copy of the land use matrix, showing what is current and what is proposed.
2. A clean copy of the land use matrix
3. A redline copy of the land use definitions, showing proposed changes to what is currently in City code.
4. A clean copy of the land use definitions a. Note on definitions: The definitions include all terms related to land use in South Weber City, which may or may not be specifically identified on the land use matrix. For example, "Acre" is defined but is not a specific use.
5. A redline copy of Title 10, Chapter 5, showing what is currently in code and what is proposed.
6. A clean copy of Title 10, Chapter 5
7. The current SWC zoning map
8. The projected land use map from the 2020 General Plan

Items 7 and 8 are not part of the proposed changes, but are provided for the Commission, Council and public to view for context on where zones are located throughout the City.

Permitted and Conditional Uses

On the land use matrix, each use is classified as either "Permitted (P)" or "Conditional (C)." There are a few key differences between permitted and conditional uses:

- Both permitted and conditional uses are allowed uses. The difference is in the level of review allowed and the ability for the City to identify and mitigate potential detrimental impacts caused by the use.
- **Permitted Uses:** these uses are those generally accepted to have impacts suitable for the zone in which they are located and do not require an additional level of review, unless the use otherwise requires a site plan, subdivision, business license or something similar.
- **Conditional Uses:** these uses are those which may have impacts the City should look at mitigating. Such impacts may include traffic patterns, dust, materials/chemical storage, or other similar things. The City reviews these uses and can set conditions which will mitigate detrimental impacts of the use. **The City may only deny a conditional use if the impacts cannot be reasonably mitigated.**
- Uses on the matrix that are not designated as Permitted or Conditional are not allowed in that zone. Uses not classified on the land use matrix are not permitted. Changes to the land use matrix go through the code amendment process.

Core Philosophies/Questions

In making land use suggestions, the committee discussed and deliberated the following core philosophical questions:

- (Residential/Commercial) Does the land use drastically alter the purpose and intent of the zone?
- (C) Does the land use bring needed services to the citizens of South Weber, primarily, as well as to surrounding communities?
- (R) Does the land use create a situation out of harmony with a residential neighborhood?
- (R/C) Does the land use serve the character and values of South Weber?
- (R/C) In the case of conditional uses, what are the possible detrimental impacts, and can those impacts be reasonably mitigated to not create a nuisance?

Additional Considerations

A few other key points to know regarding the documents:

1. **Some Uses Are Defined But Not Applied:** The code committee opted to define some uses that they feel are not appropriate land uses for South Weber City. The rationale behind this is two-fold:
 - a. It removes the potential for land use applicants to argue what something is based on a loose definition.
 - i. For example, something cannot be classified as a service station, which we would allow, if it meets the proposed definition of a truck stop, which we would not.
 - b. It allows the City to determine the difference between two uses that may be closely related, by tying the presence of amenities or something like the use and classifying it accordingly.
2. **Land Uses Have Been Removed From Each Zone and Put in One Location in Code:** The code committee determined that putting land uses and definitions in a single place provides staff, applicants, and elected/appointed officials with an easier method to review and compare where land uses may be located throughout South Weber.
3. **Certain Uses Are Statutorily Required:** State and federal laws require that cities allow certain uses. The City is legally required to determine zones where those uses are allowed. If no zone is provided for those uses, they are permitted in every zone. State and federally required land uses are identified with an asterisk on the matrix.

Jayne pointed out State law requires a city to identify a zone to allow sexually oriented businesses and cannabis, otherwise you cannot prohibit them anywhere.

Commissioner Boatright asked if there was any public comment. There was none.

Commissioner Boatright moved to close the public hearing for updates to the following ordinances:

- a. **Title 10, Chapter 1, Section 10-A: Land Use Matrix**
- b. **Title 10, Chapter 1, Section 10: Definitions**
- c. **Title 10, Chapter 5: Zoning Districts**

Commissioner Walton seconded the motion. A roll call vote was taken. Commissioners Boatright, Johnson, Losee, and Walton voted aye. The motion carried.

***** PUBLIC HEARING CLOSED *****

Commissioner Losee asked does South Weber City have to zone it in order to prevent it. Jayme replied that is correct. Commissioner Boatright thanked the Code Committee for all their time and effort. He averred this is well done and incorporates lots of lessons that have been learned over the years.

Commissioner Johnson appreciated the matrix but identified dairy not being allowed in agricultural. Jayme explained the definitions separate uses involving animals and horticultural. Commissioner Johnson questioned why farm stand is not included on the highway. Commissioner Walton pointed out farmers market is included. Jayme explained the difference between farm stand and farmers' market. Commissioner Johnson discussed including farmer markets into uses. He suggested allowing off highway vehicles be allowed in vehicle recreation. Commissioner Johnson asked about tiny homes. Jayme explained they fall under recreation vehicle.

Commissioner Walton asked the Planning Commission if they are comfortable with the uses in the C-H Zone. Shari expressed if there are changes it is within the Planning Commission prerogative to make those changes. The Planning Commission has the authority to make changes and suggestions independent of what the Code Committee suggests.

Commissioner Losee expressed given the lack of public support for a hotel in the C-H Zone, it should be a conditional use or removed. Shari clarified it is a conditional use in one zone.

Commissioner Boatright was comfortable with what has been presented. Commissioner Johnson would like to move forward but there are some requested amendments that have been discussed in this meeting. Jayme pointed out if the changes are simple, they can be included in the motion. Commissioner Walton was ready to move it onto the next level.

Commissioner Walton moved to recommend approval to the City Council for the updates to the following ordinances:

a. Title 10, Chapter 1, Section 10-A: Land Use Matrix

b. Title 10, Chapter 1, Section 10: Definitions

c. Title 10, Chapter 5: Zoning Districts

Commissioner Boatright seconded the motion. A roll call vote was taken. Commissioners Boatright, Johnson, Losee, and Walton voted aye. The motion carried.

8. Planning Commission Bylaws:

Commissioner Boatright recommended moving the Planning Commission Bylaws to the next meeting.

REPORTS:

Planning Commission Comments

Commissioner Boatright: thanked everyone for tonight's meeting.

Commissioner Losee: thanked the Code Committee for all their work.

ADJOURNED: Commissioner Johnson moved to adjourn the Planning Commission meeting at 8:10 p.m. Commissioner Walton seconded the motion. Commissioners Boatright, Johnson, Losee, and Walton voted aye. The motion carried.

APPROVED: _____ Date
Chairperson: Gary Boatright

Transcriber: Michelle Clark

Attest: Development Coordinator, Kimberli Guill

**Comments to South Weber City Planning Commission
for 13May21 Meeting
by Paul A. Sturm**

Public Comments on Meeting Packet

- 1) Agenda Item #5 - Packet Page 26 of 223 - Public Hearing & Action on Rezone Request for Stephens Exit Located at NE Corner of 475 E & 6650 S by Developer Carter Randall.

As is noted in the SWC City Planners Staff review, in the Executive Summary, "The City Council and Planning Commission have, in the past, requested that rezone applications come forward with a concept so that the City has some assurance of what types of projects are intended for properties."

Please Note: Packet Page 16 of 223 (Agenda Item #4) demonstrates the proper procedure to request a property rezone as was done for the Bryce Estates request that included a Concept Plan.

* I recommend against approval of this rezone request due to the developer not providing SWC with concept drawings with their rezone request! The City has been "hoodwinked" by too many developers in the past to not require additional information as to their plans.

- 2) Agenda Item #6 - Packet Page 29 of 223 - Final Plats, Site & Improvement Plans for: The Lofts at Deer Run located at approx. 7870 S 2700 E by Developer Joseph Cook of Deer Run Development.

The reviews conducted by the SWC City Planner and City Engineer indicate that the various items to be addressed during the 17Dec20 Planning Commission Meeting have been adequately addressed. The Preliminary Plats, Site & Improvement Plans that were presented on 17Dec20 also need to be included by reference because the Final Plats, Site & Improvement Plans presented tonight are only a small subset of what was promised and agreed upon.

To: Planning Commission

Date: 13 May 2021

From: Jeffery P. and Stacey L. Eddings, 2645 E. 7800 S. South Weber, UT 84405

Ref: The Lofts Offsite Detention, Page 52 of 223, C410

We would like to address the Offsite Detention – Phase 1 that is depicted on page 52 (C410). We have issue with the note that states “*Exist. wood fence is to be relocated to the property line where it overlaps*”. We believe that the fence is located on our property based off the survey markers installed. However, by chance if the fence is found not to be located on our property we would like to try and work out a solution to prevent us from having to relocate the fence.

One solution we thought of was if Mr. Cook would entertain the idea of selling us as a small section of the land, a section that is roughly 6’ wide and 51’ in length and that would abut our small parcel to the south and the canals property to the north. By allowing us to purchase this small section of land we wouldn’t have to relocate our fence and based off the drawings it doesn’t look like it would interfere with any construction of the detention pond as that area looks to be just grass.

On another note, due to the way the ground level is behind the fence and that it seems like the detention pond is going to be literally up to our property line in one spot we would like to meet with either Mr. Cook, the contractors or engineers before excavation takes place to clarify some of our concerns.

Thank you for your attention and we look forward to hearing from Mr. Cook on this matter.

Jeffery P. Eddings
Stacey L. Eddings
801-510-7791
Jefferyeddings@yahoo.com

From: [Gary Boatright Jr.](#)
To: [Kim Guill](#)
Subject: Fwd: Publoic Hearings this evening.
Date: Thursday, May 13, 2021 4:29:44 PM

Kim,
Will you add this to the public comments for the meeting tonight.

Gary

----- Forwarded message -----

From: Brent Poll <Brent_Poll@hotmail.com>

Date: May 13, 2021 3:57 PM

Subject: Publoic Hearings this evening.

To: Wes Johnson <wjohnson@southwebercity.com>, Hayley Alberts <hAlberts@southwebercity.com>, Blair Halverson <bhalverson@southwebercity.com>, Taylor Walton <twalton@southwebercity.com>, Wayne Winsor <wwinsor@southwebercity.com>, dpitts@southwebercity.com, Tim Grubb <tgrubb@southwebercity.com>, Quin Soderquist <qSoderquist@southwebercity.com>, "Gary Boatright Jr." <gboatright@southwebercity.com>, Angie Petty <apetty@southwebercity.com>, Lisa Smith <lsmith@southwebercity.com>

Cc: "TAMASHIRO, PEIFEN T GS-13 USAF AFMC AFCEC/CZOM" <peifen.tamashiro@us.af.mil>, cbarnitz@utah.gov, "FISHER, BARBARA F GS-12 USAF AFMC 75 ABW/PA" <barbara.fisher.1@us.af.mil>, bourgeois.sandra@epa.gov, engels.alan@epa.gov, "FISHER, BARBARA F GS-12 USAF AFMC 75 ABW/PA" <barbara.fisher.1@us.af.mil>, jcoyote23@gmail.com, "Justin @home" <justin_poll23@yahoo.com>

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Dear City Officials,

On the agenda for this evening's Planning Commission hearings are two more proposed subdivisions in areas known/identified to be polluted by HAFB. This has been well known and so documented for more than 30 years now. The 1991 Remedial Investigation precisely warns all concerned that the most "probable cause" of future human exposures to the Base's pollution would likely be through land use changes from low-density farm properties to enable higher-density subdivisions. This addition of more probable exposure for more humans (including the most vulnerable pregnant women, younger children and the elderly) within the known polluted properties, should be a condition PRECLUDED rather than ENABLED by our City officials. This could only be so when they adhered to State law and City Ordinances which required all of them to promote and safeguard the health and well-being of present and future residents of Cities and towns.

All the areas at issue in the west-end of our City are listed on the National Priority List (NPL) as being still one of the most imminently hazardous to human health in our entire Country. Not a single square inch of any portion of our City has been delisted from this NPL. Every single new owner/operator, and even all former owners/operators of every parcel of land in this

polluted area is (according to CERCLA) a Potential Responsible Party (PRP) with all the duties, responsibilities and potential liabilities that this designation entails. All lending institutions involved in such endeavors should, or at least deserve to be, also made aware of this condition

An injustice here is that some personal liability should be affixed to City officials who fail to study and appreciate the harm they generate rather than prevent when they make such horrible and avoidable misjudgments. If any or all of you wish to debate this matter again, I would welcome the exercise. All interested should be invited.

Please include this email as part of the hearing regarding the properties at issue and provide copies to those soliciting and funding the proposed land-use changes.

Brent Poll
South Weber
(801)479-3786

From: [Robert Osborne](#)
To: [Public Comment](#)
Subject: Planning Commission By-Lays
Date: Thursday, May 13, 2021 1:06:32 PM

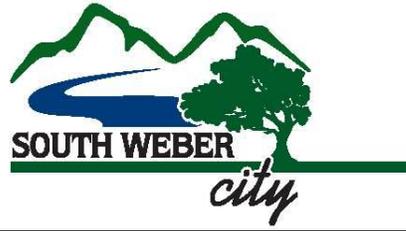
Hello.

It is of my opinion that in part of the public clamor section: Citizens and Commissioners are not to be texting among commissioners and citizens and commissioner to commissioner during meetings. This allows for conversations to happen during the meeting that is not privileged to the whole citizenry and causes a conflict of interest.

I am hopeful that the city council will also apply the same type of by-laws to themselves and would recommend the planning commission encourage them to do so.

Thanks,

Rob Osborne

<p>Planning Commission Meeting Date: 6-10-21 Agenda Item: Final Plat, Site & Improvement Plans for: Riverside Place Phase 4 (4.16 Acres, 12 Lots Zoned R-M) Staff Review: Shari Phippen, City Planner</p>	 <p>SOUTH WEBER city</p>
<p>Project Name: Riverside Place, Phase 4</p>	
<p>Request: To give a recommendation to the City Council on the final plat for Phase 4 of Riverside Place</p>	
<p>Property Address: Approx. 6700 South Pebble Creek Drive</p>	
<p>Applicant: Scott Heagy</p>	
<p>Governing Document(s): South Weber City General Plan, South Weber City Future Land Use Map, South Weber City Zoning Map, South Weber City Code Title 10</p>	
<p>Decision Type: Administrative Recommendation to the Council</p>	
<p>Required Commission Action(s): Once the Commission feels prepared to recommend (for or against) to the Council, the chair should call for a motion.</p>	
<p>Public Hearing Notice: N/A- public hearings are not required on final plats Posted at: N/A Published in/on: N/A Mailed to: N/A</p>	

Executive Summary

This property is located at approximately 6700 South Pebble Creek Drive (575 E 6675 S). This is the fourth phase in the subdivision and builds off of previously completed phases. The project has been reviewed by staff for compliance with all relevant City zoning and engineering codes, standards and specifications, and is fully compliant with all relevant standards, with exception noted below.

The following items were identified by City Engineer Brandon Jones as needing addressed/corrected prior to the final plat being presented to the City Council for review. A copy of his review letter is included in the packet.

- The developer should provide a letter to the City from South Weber Irrigation Company stating that SWIC has reviewed the improvement plans and that those plans meet SWIC requirements.
- Add the Address Table to the plat so that it is clear which lots have which coordinates.
- Verify correct bearings along north boundary line / Old Fort Road.
- Verify that the improvements shown along Old Fort Road are shown in the correct location.

General Plan Analysis

The property was rezoned to R-M prior to the preliminary plat being approved, so there is no rezone or further general plan analysis to be done with this phase.

Staff Analysis

Administrative decisions such as this are not subject to public or personal opinion, but rather are subject to evaluation based on the plain language of City code.

When the preliminary plat was approved, it took into account minimum lot sizes, lot widths, setbacks and other zoning requirements. This final plat is in line with the approved preliminary plat.

The lot size standards, and how the plat meets or fails to meet each relevant standard, are below.

- A. Density: *There shall be no more than 2.80 building lots per acre contained within the boundaries of each phase of every subdivision or planned unit development; except when previously completed phases of the same development have sufficiently low density so that the average is still 2.80 building lots per acre or less. (Ord. 15-05, 7-14-2015)*
 - a. The density of this plat is 3.02 building lots per acre (12 units on 3.91 acres). Although this is outside of the 2.8 lots per acre, previously completed phases fall far enough below the 2.80 maximum that the density of all phases of Riverside still lies at or below 2.80 building lots per acre.
- B. Lot Area: All lots meet or exceed the required 9,000 sq ft minimum lot size.
- C. Lot Width: When factoring in all previous phases of the development, the average lot width meets the required 90' minimum.

In all material aspects related to zoning and engineering, it is staff's opinion that the plat is compliant. Minor engineering corrections have been noted under "Executive Summary".



MEMORANDUM

TO: South Weber City Planning Commission

FROM: Brandon K. Jones, P.E.
South Weber City Engineer 

CC: Shari Phippen – South Weber City Planner

RE: **RIVERSIDE PLACE PHASE 4
Engineering Review (Final)**

Date: June 1, 2021

Our office has completed a review of the Final Plat and Improvement Plans for the Riverside Place Phase 4 Subdivision, received May 24, 2021.

BACKGROUND

This is the last phase of the Riverside Place development. It is located in the northeast portion of the development between Phase 2 and Phase 3. Roads were stubbed from these phases and the new Riverside Way is connecting these stubs. The lots on the north back on Old Fort Road, but do not have any access to Old Fort Road. The lots on the east back on the Posse Grounds.

GENERAL

E1. Approval Letters. Final plans need to be submitted to South Weber Irrigation Company and an approval letter provided to the City indicating that the improvement plans meet their requirements.

PLAT

E2. Add the Address Table to the plat so that it is clear which lots have which coordinate.
E3. Verify correct bearings along north boundary line / Old Fort Road.

IMPROVEMENT PLANS

E4. Verify that the improvements shown along Old Fort Road are shown in the correct location.

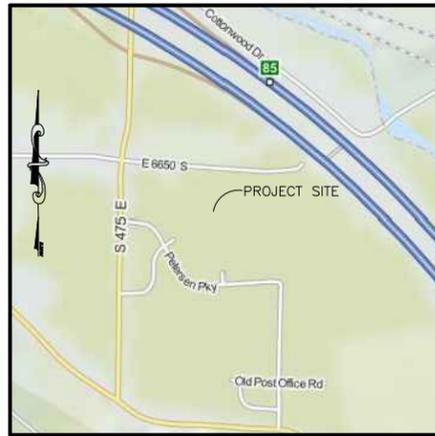
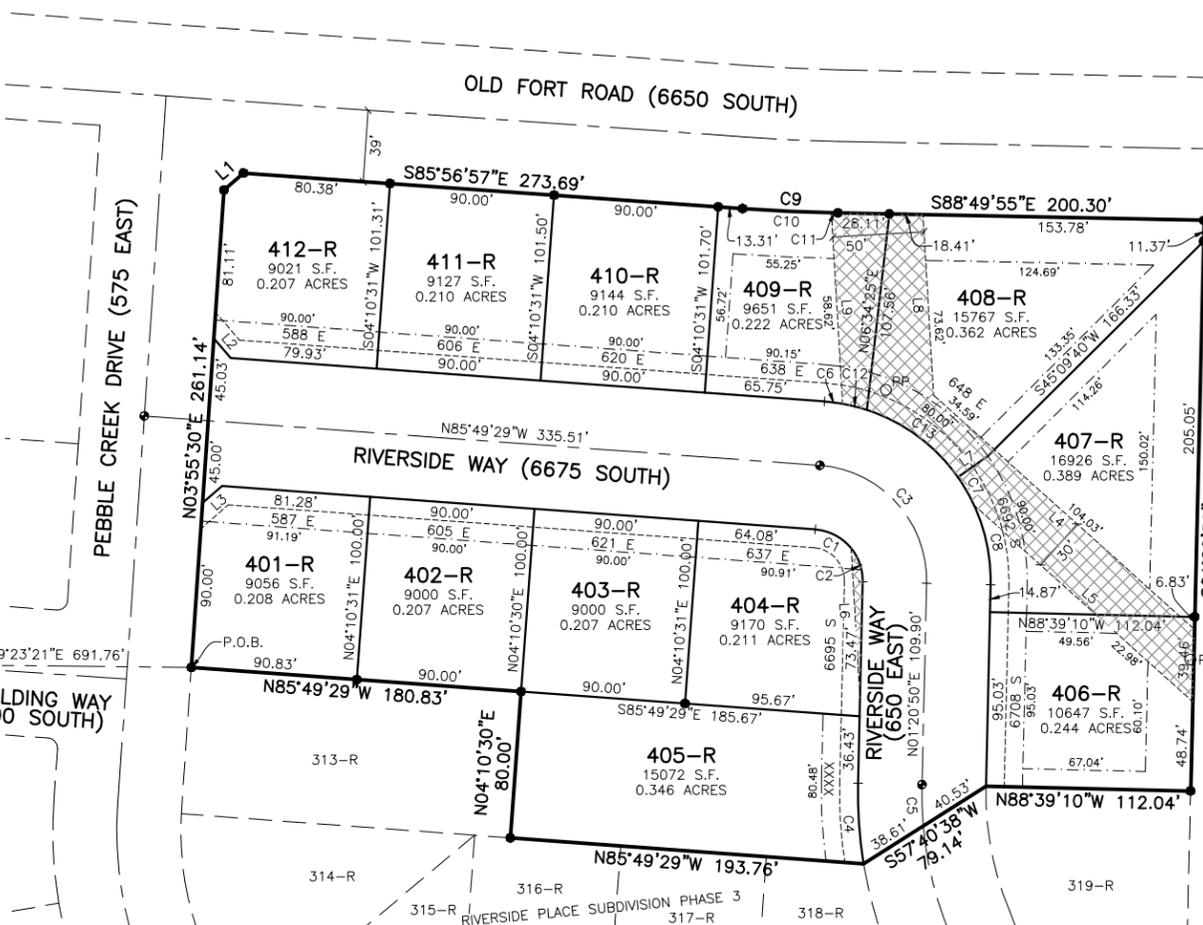
STAFF ASSESSMENT

E5. The plat and improvement plans meet the requirements of the City Code and City Standards. However, the items listed above should be addressed before final approval from City Council.

RIVERSIDE PLACE SUBDIVISION PHASE 4

PART OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
CITY OF SOUTH WEBER, DAVIS COUNTY, UTAH
MAY, 2021

NORTHWEST CORNER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. (FOUND BCM DATED 1941)



VICINITY MAP
(NOT TO SCALE)

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS PLAT IS THE SECTION LINE BETWEEN THE NORTHWEST CORNER AND THE WEST QUARTER AND OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. SHOWN HEREON AS S00°36'39\"

NARRATIVE

THE PURPOSE OF THIS PLAT IS TO DIVIDE THIS PROPERTY INTO LOTS AND STREETS. THE BOUNDARY WAS DETERMINED BY PHASE LINES AND THE SURROUNDING SUBDIVISIONS. THE SOUTH BOUNDARY LINE WAS DETERMINED BY RETRACING AND MATCHING PHASE 3. THE WEST BOUNDARY LINE WAS DETERMINED BY MATCHING PEBBLE CREEK DRIVE. THE NORTH BOUNDARY LINE WAS ESTABLISHED BY MATCHING OLD FORT ROAD. THE EAST BOUNDARY LINE WAS ESTABLISHED BY DEED. ALL BOUNDARY CORNERS AND REAR LOT CORNERS WERE SET WITH A 5/8\"

BOUNDARY DESCRIPTION

PART OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 313-R OF RIVERSIDE PLACE SUBDIVISION PHASE 3, SAID POINT BEING S00°36'39\"

NOTES

- ALL GENERAL UTILITY EASEMENTS ARE 10 FEET IN WIDTH.
- ALL LOTS ARE SUBJECT TO THE REQUIREMENTS OF THE GEOTECHNICAL REPORT PREPARED BY GSH, DATED DECEMBER 3, 2015.
- R = BASEMENTS ARE NOT ALLOWED, DUE TO THE PRESENCE OF HIGH GROUNDWATER AND NO LAND DRAIN SYSTEM AVAILABLE.
- ALL STREETS ARE PUBLIC RIGHT-OF-WAYS.
- SIGNATURE ON THIS PLAT BY PACIFICORP / ROCKY MOUNTAIN POWER (RMP) HEREBY CERTIFIES:
-THE EASEMENT SHOWN HEREON IS SHOWN WITH THE CORRECT WIDTH AND IN THE CORRECT LOCATION AND TAKES PRECEDENCE OVER ANY PREVIOUSLY RECORDED EASEMENT DESCRIPTION
-ANY RESTRICTION(S) CONTAINED IN CURRENTLY RECORDED EASEMENT DOCUMENT(S) ARE STILL IN FORCE AND GOVERN THE USE OF THIS EASEMENT

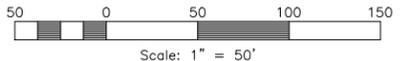
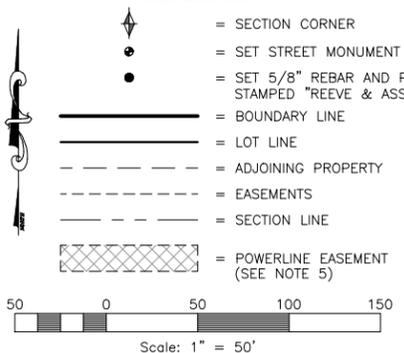
LINE TABLE

LINE	BEARING	DISTANCE
L1	N48°59'07\"	14.09'
L2	S40°49'29\"	14.18'
L3	S49°02'44\"	14.11'
L4	S48°08'54\"	191.53'
L5	S48°08'54\"	160.46'
L6	S03°23'15\"	82.05'
L7	S54°52'10\"	20.00'
L8	S03°23'15\"	98.70'
L9	S03°23'15\"	104.38'

CURVE TABLE

#	RADIUS	ARC LENGTH	CHD LENGTH	TANGENT	CHD BEARING	DELTA
C1	28.00'	22.71'	22.09'	12.02'	S62°35'23\"	46°28'13\"
C2	28.00'	19.89'	19.47'	10.39'	S19°00'13\"	40°42'06\"
C3	63.00'	95.85'	86.87'	59.96'	S42°14'20\"	87°10'19\"
C4	235.00'	44.14'	44.07'	22.13'	S04°02'00\"	10°45'40\"
C5	200.00'	22.52'	22.51'	11.27'	S01°52'42\"	6°27'05\"
C6	98.00'	9.93'	9.93'	4.97'	S82°55'15\"	5°48'28\"
C7	98.00'	17.80'	17.78'	8.93'	S29°55'36\"	10°24'28\"
C8	98.00'	44.59'	44.21'	22.69'	S11°41'16\"	26°04'12\"
C9	1039.00'	52.28'	52.27'	26.14'	N87°23'26\"	2°52'58\"
C10	1039.00'	48.64'	48.64'	24.32'	S87°17'25\"	2°40'56\"
C11	1039.00'	3.64'	3.64'	1.82'	S88°43'54\"	0°12'02\"
C12	98.00'	13.67'	13.66'	6.85'	S76°01'12\"	7°59'39\"
C13	98.00'	63.10'	62.02'	32.69'	S53°34'36\"	36°53'32\"

LEGEND



WEST QUARTER CORNER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. (FOUND BCM DATED 1941)

SOUTH WEBER CITY PLANNING COMMISSION
APPROVED BY THE SOUTH WEBER PLANNING COMMISSION ON THIS THE ____ DAY OF _____, 20____.
CHAIRMAN, SOUTH WEBER CITY PLANNING COMMISSION

SOUTH WEBER CITY ENGINEER
I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.
SOUTH WEBER CITY ENGINEER DATE

SOUTH WEBER CITY COUNCIL
PRESENTED TO THE SOUTH WEBER CITY COUNCIL THIS THE ____ DAY OF _____, 20____, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.
SOUTH WEBER CITY MAYOR ATTEST: CITY RECORDER

SOUTH WEBER CITY ATTORNEY
APPROVED BY THE SOUTH WEBER CITY ATTORNEY THIS THE ____ DAY OF _____, 20____.
SOUTH WEBER CITY ATTORNEY

BASEMENT APPROVAL
(SEE NOTE 5)
PACIFICORP DATE

PROJECT INFORMATION
Project Name: RIVERSIDE PLACE SUBD. PH. 4
Surveyor: T. HATCH
Designer: N. ANDERSON
Begin Date: 1-18-2021
Number: 6626-01
Scale: 1\"/>

DAVIS COUNTY RECORDER
ENTRY NO. _____ FEE PAID _____ FILED FOR RECORD AND RECORDED, _____ AT _____ IN BOOK _____ OF THE OFFICIAL RECORDS, PAGE _____
RECORDED FOR:
DAVIS COUNTY RECORDER
DEPUTY



4 Riverside Place Ph. 4 Final

SURVEYOR'S CERTIFICATE
I, TREVOR J. HATCH, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF RIVERSIDE PLACE SUBDIVISION PHASE 4 IN SOUTH WEBER CITY, DAVIS COUNTY, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE DAVIS COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND. I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF SOUTH WEBER CITY, DAVIS COUNTY CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.



SIGNED THIS ____ DAY OF _____, 20____.
9031945
UTAH LICENSE NUMBER

OWNERS DEDICATION AND CERTIFICATION
WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THE PLAT AND NAME SAID TRACT RIVERSIDE PLACE SUBDIVISION PHASE 4, AND DO HEREBY DEDICATE, GRANT AND CONVEY TO SOUTH WEBER CITY, DAVIS COUNTY, UTAH, ALL PARTS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER; AND ALSO DEDICATE TO SOUTH WEBER CITY THOSE CERTAIN STRIPS AS EASEMENTS FOR GENERAL UTILITY AND DRAINAGE PURPOSES AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE AS MAY BE AUTHORIZED BY SOUTH WEBER CITY, WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN SUCH EASEMENTS.

SIGNED THIS ____ DAY OF _____, 20____.
MB- RIVERSIDE PLACE PHASE 4, 5, 6, LLC
MANAGER

CORPORATE ACKNOWLEDGMENT
STATE OF UTAH)
COUNTY OF _____)
ON THE ____ DAY OF _____, 20____,
PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, (AND) _____ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ AND _____ OF SAID CORPORATION AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED.
NOTARY PUBLIC
MY COMMISSION EXPIRES: _____
RESIDING IN _____ COUNTY, _____

Rocky Mountain Power Notes

PURSUANT TO UTAH CODE ANNEXATION 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A GENERAL UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
PURSUANT TO UTAH CODE ANNEXATION 17-27A-603(4)(C)(II) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE GENERAL UTILITY EASEMENT AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS GENERAL UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE GENERAL UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER (1) A RECORDED EASEMENT OR RIGHT-OF-WAY (2) THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS (3) TITLE 54, CHAPTER 8A, DAMAGE TO UNDERGROUND FACILITIES OR (4) ANY OTHER PROVISION OF LAW.

Project Narrative/Notes/Revisions

- 01/15/21 CK - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.
- 04/08/21 CK - UPDATED PER JONES & ASSOCIATES COMMENTS DATED MARCH 29, 2021.

Riverside Place Subdivision Phase 4 Improvement Plans

SOUTH WEBER CITY, DAVIS COUNTY, UTAH
JANUARY 2021



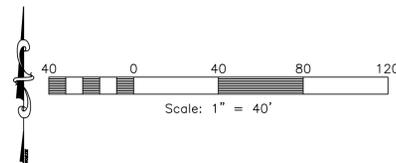
Vicinity Map
NOT TO SCALE



Sheet Index Key Map
NOT TO SCALE

Sheet Index

- Sheet 1 - Cover/Index Sheet
- Sheet 2 - Notes/Legend/Street Cross-Section
- Sheet 3 - Riverside Way - 0+00.00 - 5+75.00
- Sheet 4 - Grading & Drainage Plan
- Sheet 5 - Utility Plan
- Sheet 6 - Storm Water Pollution Prevention Plan Exhibit
- Sheet 7 - Storm Water Pollution Prevention Plan Details



Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Developer Contact:

Scott Heagy
Miller Bates, LLC
1245 E. Brickyard Rd., Suite 100
Salt Lake City, UT 84106
(385) 220-4742

Project Contact:

Project Manager: Chris Cave
Project Engineer: Jeremy Draper



REVISIONS	DATE	DESCRIPTION
04-08-21	CK	City Comments

**Riverside Place Subdivision
Phase 4**

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Cover/Index Sheet



Project Info.

Engineer: JEREMY A. DRAPER, P.E.
Drafted: C. KINGSLEY
Begin Date: JANUARY 2021
Name: RIVERSIDE PLACE SUBDIVISION PHASE 4
Number: 6626-01

Sheet **1** of **7** Sheets

General Notes:

- 1. ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UN-INCORPORATED), INDIVIDUAL PRODUCT MANUFACTURERS, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), AND THE DESIGN ENGINEER. THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
2. CONTRACTOR TO STRICTLY FOLLOW GEOTECHNICAL RECOMMENDATIONS FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, BASE, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, RETAINING WALLS AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH THE PROJECT GEOTECHNICAL ENGINEER.
3. TRAFFIC CONTROL, STRIPING & SIGNAGE TO CONFORM TO CURRENT GOVERNING AGENCIES TRANSPORTATION ENGINEER'S MANUAL AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
4. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
5. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
6. AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
7. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
8. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
9. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
10. ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD, INCLUDING OBTAINING REQUIRED INSPECTIONS.
11. ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CORRECTIONS.
12. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND.
13. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH BY THE GEOTECHNICAL ENGINEER.
14. CATCH BASINS SHALL BE GRADIENT AS SPECIFIED ON GRADING PLANS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAGMEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
16. CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED AND SHALL BE BONDED FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
17. CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY HIMSELF BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS TO THE LOCATION OF THE PROPOSED WORK AND OF THE CONDITIONS OF THE SITE. CONTRACTOR SHALL AT THE SITE OF WORK, IF, DURING THE COURSE OF HIS EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO HIM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, HE SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING HIS BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, HE HAS RELIED AND IS RELYING ON HIS OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON HIS OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INFORMATION PROVIDED BY THE CONTRACTOR TO THE EXTENT OF HIS INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT HE HAS NOT RELIED SOLELY UPON OWNER- OR ENGINEER-FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING HIS BID.
18. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
19. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
20. CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
21. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
23. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF PROTECTING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
24. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF SUCH FACILITIES TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
25. CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL UTILITIES AND OTHER FACILITIES, AS AS-BUILT RECORD DRAWINGS SHALL BE SUBJECT TO CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED, WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR, PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWINGS SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
26. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE HIGHEST QUALITY ARE TO BE USED.
27. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS AND ALL NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS IN THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
28. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.
29. CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH LOCAL, STATE AND NATIONAL SAFETY CODES, ORDINANCES, OR REQUIREMENTS FOR EXCAVATION AND TRENCHES.
30. ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.

Utility Notes:

- 1. CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, INTERNET.
2. EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS (BY OTHERS), PRIOR TO COMMENCING ANY WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY LOCATED IN THE FIELD. THEIR MAIN AND SERVICE LINES AND HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
3. CONTRACTOR SHALL NOT HOLE ALL UTILITIES TO DETERMINE IF CONFLICTS EXIST PRIOR TO BEGINNING ANY EXCAVATION. NOTIFY ENGINEER OF ANY CONFLICTS. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES TO WHICH UTILITIES WILL BE CONNECTED. PRIOR TO COMMENCING ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE REQUIRED PROCEDURES.
4. CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT HIS EXPENSE.
5. ALL VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE.
6. CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE.
7. CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOX WITH NON-SHRINKING GROUT, INCLUDING PIPE VOIDS LEFT BY CUTTING PROCESS, TO A SMOOTH FINISH.
8. CONTRACTOR SHALL GROUT WITH NON-SHRINK GROUT BETWEEN GRADE RINGS AND BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX.
9. SILT AND DEBRIS IS TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
10. CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
11. EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DE-WATERED CONDITIONS.
12. CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
13. MAINTAIN A MINIMUM 18" VERTICAL SEPARATION DISTANCE BETWEEN ALL UTILITY DEVICES.
14. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
15. ALL BOLTED FITTINGS MUST BE GREASED AND WRAPPED.
16. UNLESS SPECIFICALLY NOTED OTHERWISE, MAINTAIN AT LEAST 2 FEET OF COVER OVER ALL STORM DRAIN LINES AT ALL TIMES (INCLUDING DURING CONSTRUCTION).
17. ALL WATER LINES SHALL BE INSTALLED A MINIMUM OF 60" BELOW FINISHED GRADE.
18. ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, PIPE EDGE TO PIPE EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, THE SEWER LINE AND WATER LINE SHALL BE LAID IN SEPARATE TRENCHES AND THE BOTTOM OF THE WATER LINE SHALL BE AT LEAST 18" ABOVE THE TOP OF THE SEWER LINE.
19. CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
20. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
21. CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.
22. THRUST BLOCKS & RESTRAINED JOINTS WITH MEGA-LUG ADAPTERS REQUIRED ON ALL BENDS AND FITTINGS USING BLUE BOLTS. PROTECT ALL BOLTS FROM BEING ENCASED IN CONCRETE. INSTALL PER MANUFACTURER RECOMMENDATIONS.

Notice to Contractor:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON RECORDS OF THE VARIOUS UTILITY COMPANIES AND/OR MUNICIPALITIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

THE CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

- NOTE:
1. SAWCUT EXISTING ASPHALT INSIDE FROM OUTER EDGE FOR TACK SEAL OF NEW ASPHALT
2. CONTRACTOR TO VERIFY 2% MIN. AND 5% MAX. SLOPE FROM EDGE OF ASPHALT TO LIP OF GUTTER

Survey Control Note:

THE CONTRACTOR OR SURVEYOR SHALL BE RESPONSIBLE FOR FOLLOWING THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS) MODEL STANDARDS FOR ANY SURVEYING OR CONSTRUCTION LAYOUT TO BE COMPLETED USING REEVE & ASSOCIATES, INC. SURVEY DATA OR CONSTRUCTION IMPROVEMENT PLANS. PRIOR TO PROCEEDING WITH CONSTRUCTION STAKING, THE SURVEYOR SHALL BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON AN ALTA SURVEY, IMPROVEMENT PLAN, OR ANY ELECTRONIC DATA PROVIDED. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN FIVE (5) EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY REEVE & ASSOCIATES, INC. AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION STAKING.

Erosion Control General Notes:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT OPEN FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS.

THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE GOVERNING AGENCIES.

Maintenance:

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

EXPOSED SLOPES:

ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:

- A) SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
B) TRACKING STRAW PERPENDICULAR TO SLOPES
C) INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

Geotechnical Report Notes:

- 1. ALL LOTS ARE SUBJECT TO THE REQUIREMENTS OF THE GEOTECHNICAL REPORT PREPARED BY GSH DATED DECEMBER 3, 2015.
2. THE SHALLOW TO MODERATELY SHALLOW GROUNDWATER ENCOUNTERED AT THE SITE MAY AFFECT THE INSTALLATION OF UTILITIES.
3. GSH RECOMMENDS THAT THE TOP OF HABITABLE FLOOR SLABS BE ESTABLISHED A MINIMUM 3.0 FEET ABOVE MEASURED GROUNDWATER OR A MINIMUM 1.5 FEET ABOVE THE LEVEL CONTROLLED BY A SUBDRAIN SYSTEM. A SUBDRAIN SYSTEM WILL DEPEND ON THE AVAILABILITY OF A DOWN GRADIENT POINT OF GRAVITY DISCHARGE SUCH AS A LAND DRAIN. THE DEPTH OF THE LAND DRAIN WILL CONTROL THE ALLOWABLE DEPTH FOR FOUNDATIONS.
4. QUALIFIED GEOTECHNICAL ENGINEER FROM GSH WILL NEED TO VERIFY THAT ALL NON-ENGINEERED FILLS, TOPSOIL, DELETERIOUS MATERIAL AND/OR DISTURBED SOILS HAVE BEEN COMPLETELY REMOVED PRIOR TO THE PLACEMENT OF STRUCTURAL SITE GRADING FILLS, FLOOR SLABS, FOOTINGS, FOUNDATIONS, OR RIGID PAVEMENTS.
5. NATURAL OR IMPORTED FINE-GRAINED COHESIVE SOILS ARE NOT RECOMMENDED FOR USE AS TRENCH BACKFILL IN STRUCTURALLY LOADED AREAS.
6. ON SITE GRANULAR SOILS MAY BE REUTILIZED AS SITE GRADING FILLS IF THEY MEET REQUIREMENTS OF GEOTECHNICAL REPORT. FINE GRAINED CLAY/SILT SOILS ARE NOT RECOMMENDED FOR RE-UTILIZATION AS STRUCTURAL FILL.

Flood Information Data

FLOOD ZONE DESIGNATION "X" PER F.E.M.A. FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL NUMBERS 4901100089E DATED JUNE 18, 2007.

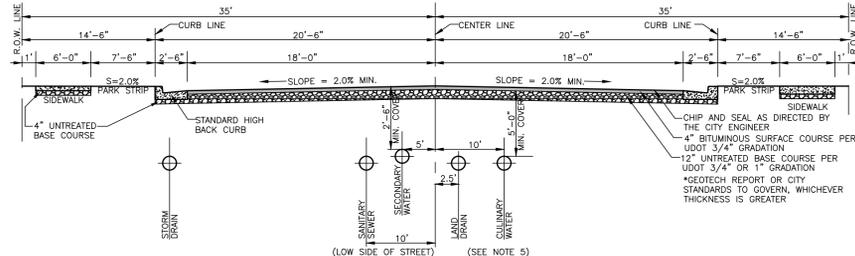
AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

(THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THE SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP OR THE LOCATION OF THE FLOOD ZONE BOUNDARY. IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THE SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.)

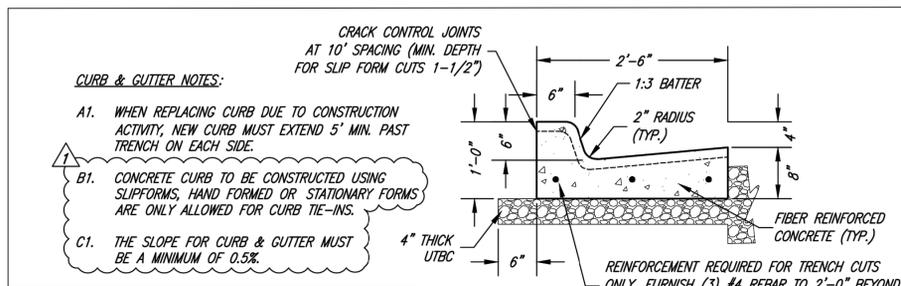
- SW LAT = PROPOSED SECONDARY WATER LATERAL
LD LAT = PROPOSED LAND DRAIN LATERAL
W LAT = PROPOSED WATER LATERAL
SS LAT = PROPOSED SEWER LATERAL
W/8 = PROPOSED CULINARY WATER LINE
EX.W = EXISTING CULINARY WATER LINE
SW/8 = PROPOSED SECONDARY WATER LINE
EX.SW = EXISTING SECONDARY WATER LINE
SS/8 = PROPOSED SANITARY SEWER LINE
EX.SS = EXISTING SANITARY SEWER LINE
SD/15 = PROPOSED STORM DRAIN LINE
EX.SD = EXISTING STORM DRAIN LINE
LD/8 = PROPOSED LAND DRAIN LINE
EX.LD = EXISTING LAND DRAIN LINE
IRR/18 = PROPOSED IRRIGATION LINE
EX.IRR = EXISTING IRRIGATION LINE
X X X = FENCE LINE
--- = DRAINAGE SWALE
= PROPOSED FIRE HYDRANT
= EXISTING FIRE HYDRANT
= PROPOSED MANHOLE
= EXISTING MANHOLE
= PROPOSED SEWER CLEAN-OUT
= PROPOSED GATE VALVE
= EXISTING GATE VALVE
= PLUG & BLOCK
= AIR VAC ASSEMBLY

Legend

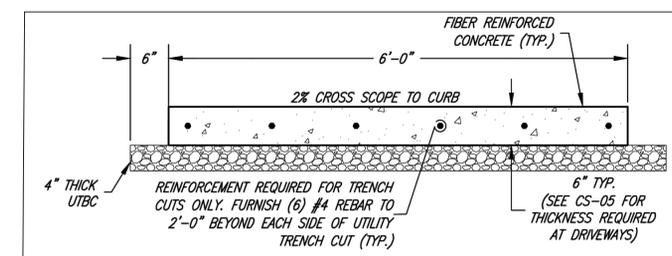
- = PROPOSED WATER METER
= EXISTING WATER METER
= PROPOSED CATCH BASIN
= EXISTING CATCH BASIN
= PLUG W/ 2" BLOW-OFF
= STREET LIGHT
= SIGN
= BASEMENT FLOOR ELEVATION
= BUILDING
= BOTTOM OF STAIRS
= BOTTOM OF WALL
= BEGINNING POINT
= CURB & GUTTER
= CATCH BASIN
= CUBIC FEET
= CUBIC FEET PER SECOND
= FINISH FLOOR
= FINISHED FLOOR ELEVATION
= FINISHED GRADE
= FIRE HYDRANT
= FLOW LINE
= GRADE BREAK
= INVERT
= LINEAR FEET
= NATURAL GRADE
= POINT OF CURVATURE
= POWER/UTILITY POLE
= POINT OF RETURN CURVATURE
= POINT OF TANGENCY
= PUBLIC UTILITY BASEMENT
= REINFORCED CONCRETE PIPE
= RIM OF MANHOLE
= RIGHT-OF-WAY
= STORM DRAIN
= SANITARY SEWER
= TOP BACK OF CURB
= TOP OF ASPHALT
= TOP OF CONCRETE
= TOP OF FINISHED FLOOR
= TOP OF STAIRS
= TOP OF WALL
= TOP OF SIDEWALK
= CULINARY WATER
= WATER METER
= EXISTING ASPHALT PAVEMENT
= PROPOSED ASPHALT PAVEMENT
= PROPOSED CONCRETE
= PROPOSED GRAVEL
= EXISTING CONTOUR GRADE
= PROPOSED CONTOUR GRADE



Street Section (70' R.O.W.)



CURB & GUTTER SECTION (CITY STANDARD)



SIDEWALK SECTION (CITY STANDARD)

Reeve & Associates, Inc.
1810 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 671-1100 www.reeve-assoc.com
LAND OWNERS • LAND ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

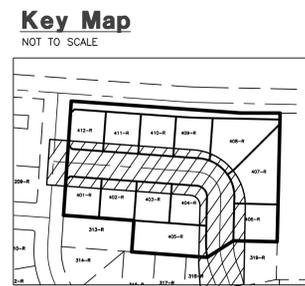
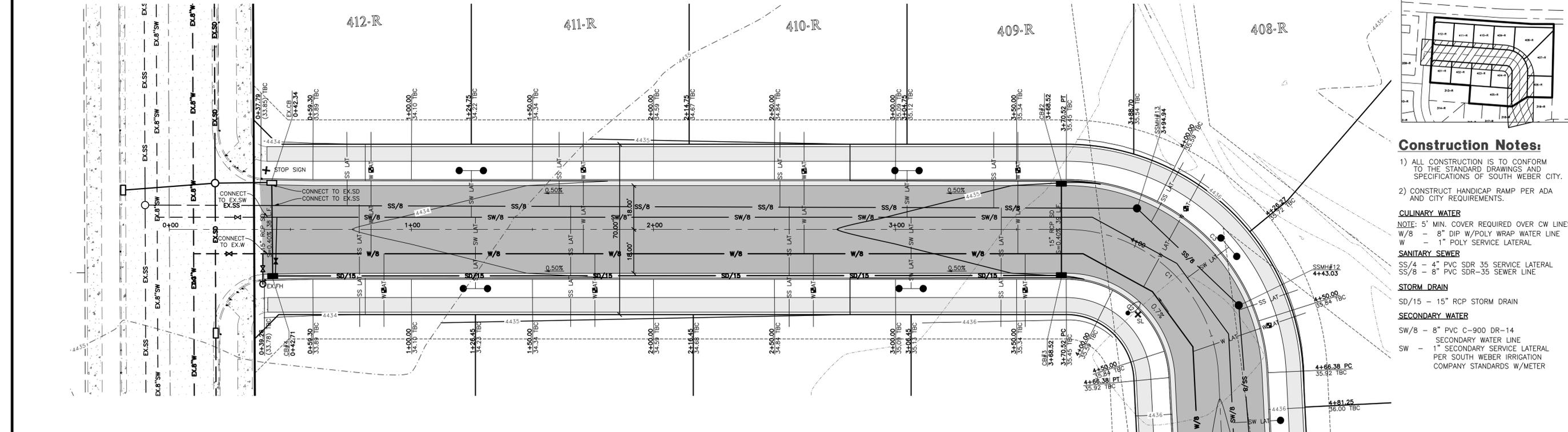
Table with 3 columns: REVISIONS, DATE, DESCRIPTION. Row 1: 04-08-21, CK, City Comments.

Riverside Place Subdivision Phase 4
Notes/Legend/ Street Cross-Section
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

PROFESSIONAL ENGINEER
5338480
JEREMY A. DRAPER
STATE OF UTAH

Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafter: C. KINGSLEY
Begin Date: JANUARY 2021
Name: RIVERSIDE PLACE SUBDIVISION PHASE 4
Number: 6626-01

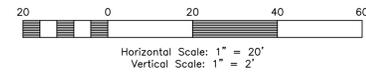
Sheet 2 of 7 Sheets



Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY.
 - 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.
- CULINARY WATER**
NOTE: 5' MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W - 1" POLY SERVICE LATERAL
- SANITARY SEWER**
SS/4 - 4" PVC SDR 35 SERVICE LATERAL
SS/8 - 8" PVC SDR-35 SEWER LINE
- STORM DRAIN**
SD/15 - 15" RCP STORM DRAIN
- SECONDARY WATER**
SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
SW - 1" SECONDARY SERVICE LATERAL PER SOUTH WEBER IRRIGATION COMPANY STANDARDS W/METER

**GREEN SPRINGS WAY
0+00.00 - 5+75.00**

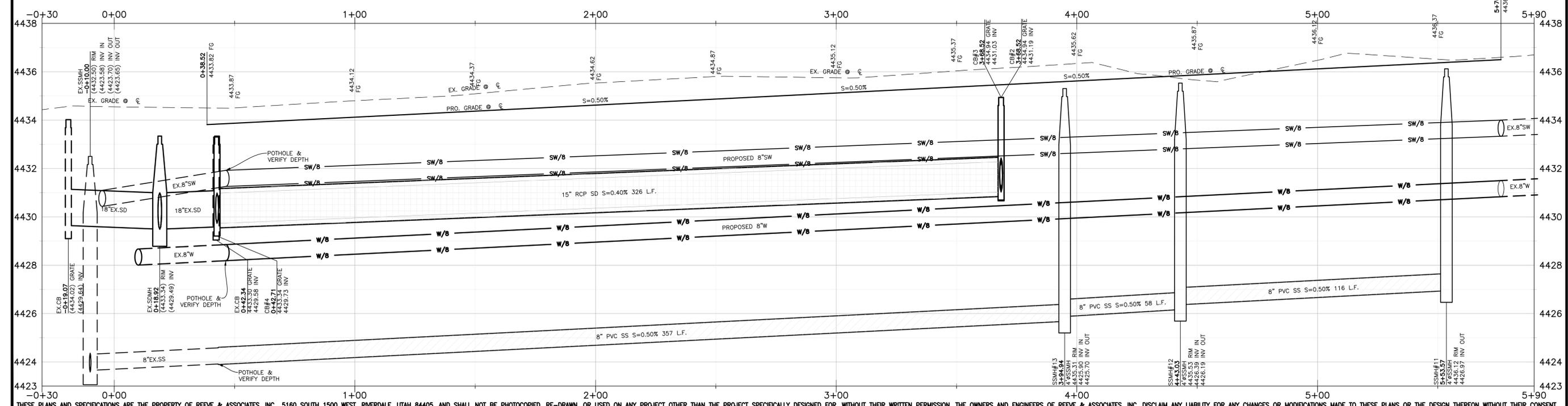


Centerline Curve Data

#	Delta	Radius	Length	Tangent	Chord	CH Length
C1	87°10'19"	63.00'	95.85'	59.96'	S42°14'20"E	86.87'

TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	CH Length
C2	87°10'19"	42.50'	64.66'	40.45'	N42°14'20"W	58.60'
C3	87°10'19"	83.50'	127.04'	79.48'	N42°14'20"W	115.14'



Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 821-1100 www.reeve-assoc.com

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TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION
DATE	04-08-21
BY	CK
CHK	City Comments

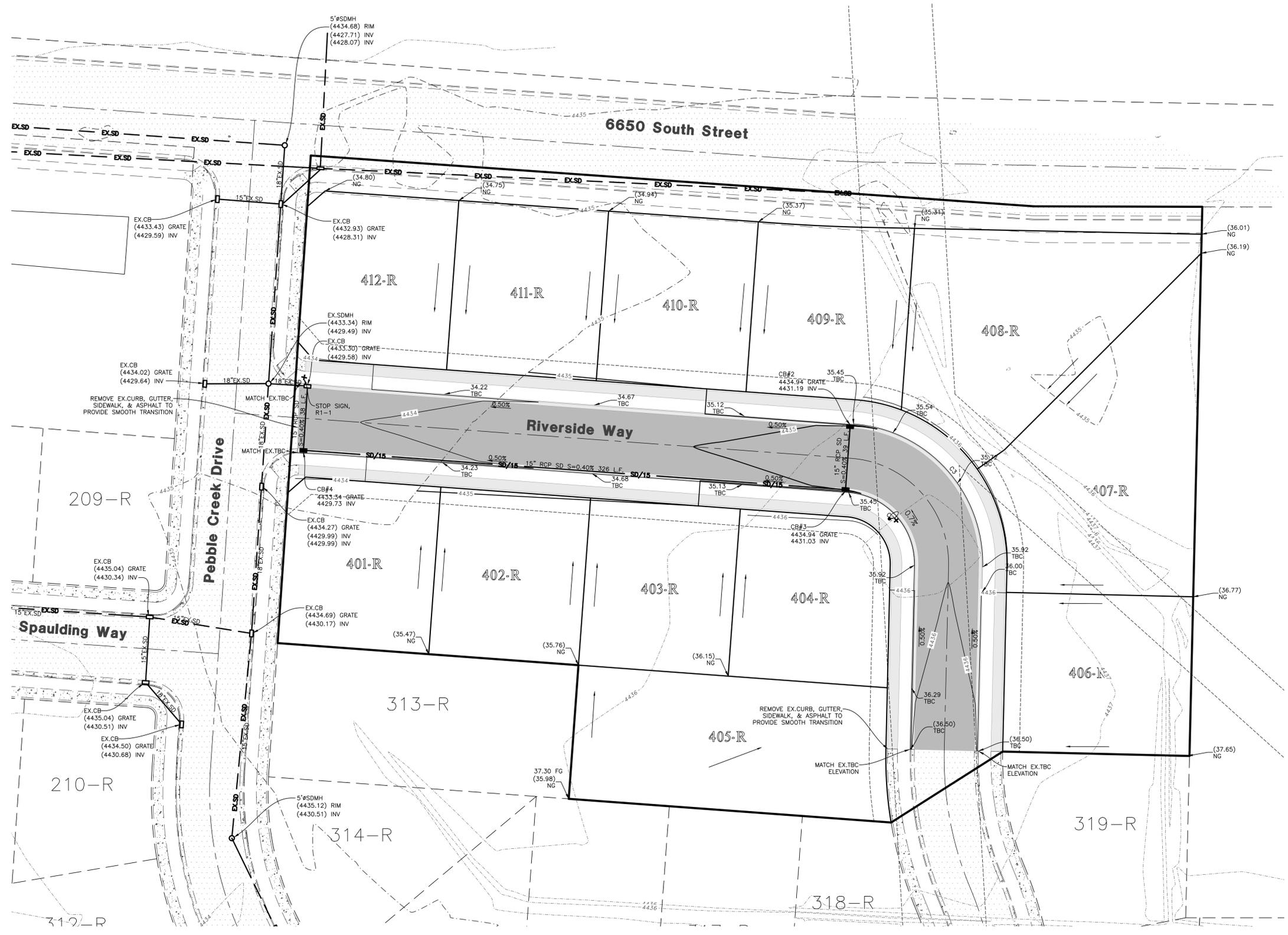
**Riverside Place Subdivision
Phase 4**
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

**GREEN SPRINGS WAY
0+00.00 - 5+75.00**



Project Info.
Engineer: JEREMY A. DRAPER, P.E.
 Drafter: C. KINGSLEY
Begin Date: JANUARY 2021
Name: RIVERSIDE PLACE SUBDIVISION PHASE 4
Number: 6626-01

Sheet **7**
3 Sheets



Reeve & Associates, Inc. - Solutions You Can Build On

Reeve & Associates, Inc.
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
 TEL: (801) 621-3100 www.reeve-associates.com
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DATE	DESCRIPTION
	04-08-21	OK City Comments

Riverside Place Subdivision Phase 4
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH
Grading & Drainage Plan

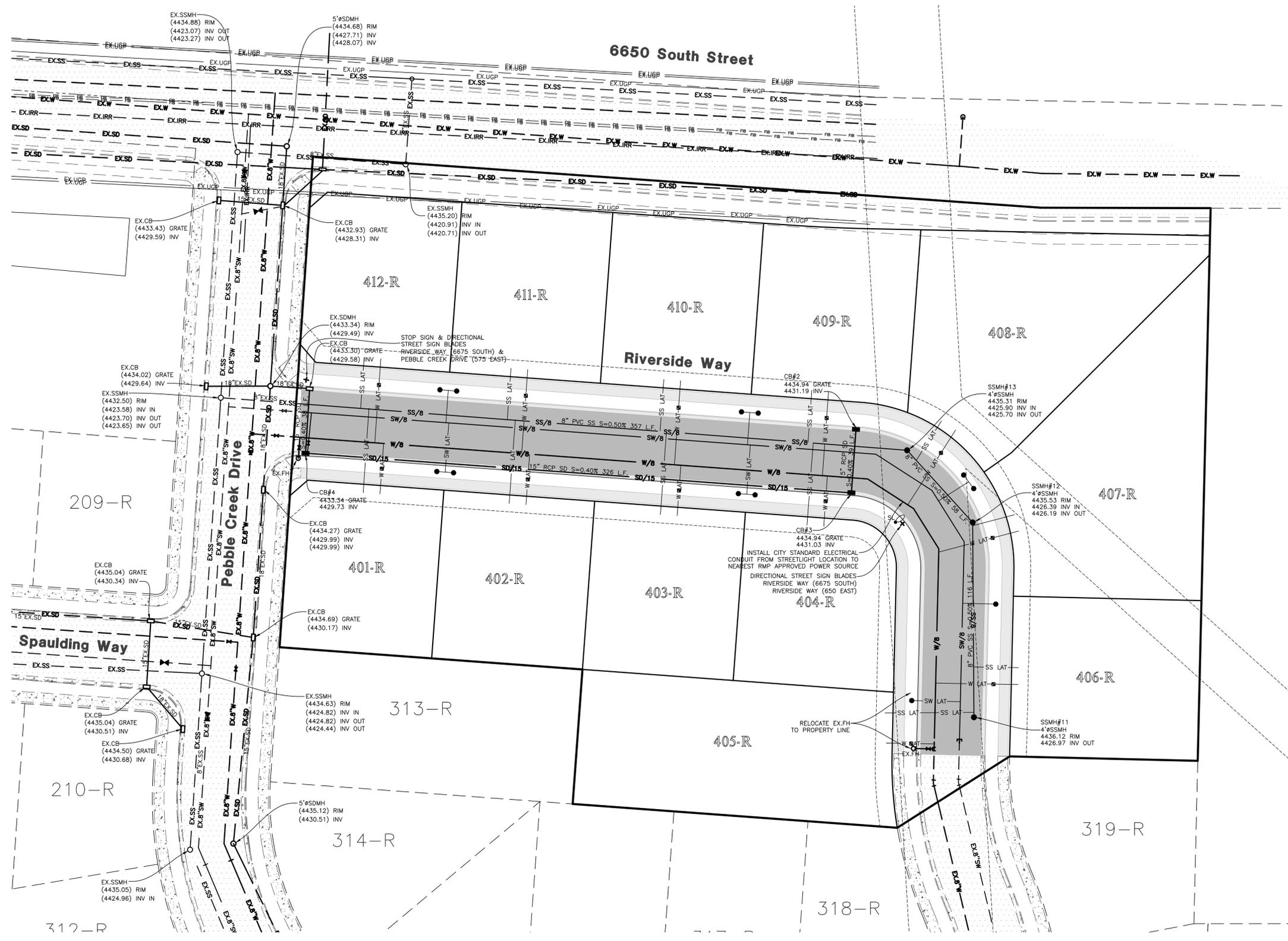


Project Info.

Engineer: JEREMY A. DRAPER, P.E.
 Drafter: C. KINGSLEY
 Begin Date: JANUARY 2021
 Name: RIVERSIDE PLACE SUBDIVISION PHASE 4
 Number: 6626-01

Sheet	7
4	Sheets

Elevation Datum
 PROJECT BENCHMARK - POINT 101, NW 1/4 SECTION 28, T8N, R1W, SLB&M.
 EL. - 4231.192' (NAVD 88 PER RTK VRS OBSERVATION)



Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY.
 - 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.
- CULINARY WATER**
NOTE: 5' MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W - 1" POLY SERVICE LATERAL
- SANITARY SEWER**
SS/4 - 4" PVC SDR 35 SERVICE LATERAL
SS/8 - 8" PVC SDR-35 SEWER LINE
- STORM DRAIN**
SD/15 - 15" RCP STORM DRAIN
- SECONDARY WATER**
SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
SW - 1" SECONDARY SERVICE LATERAL PER SOUTH WEBER IRRIGATION COMPANY STANDARDS W/METER

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REVISIONS	DATE	DESCRIPTION
	04-08-21	OK City Comments

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Riverside Place Subdivision Phase 4
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

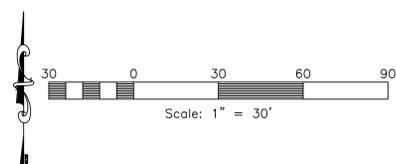
Utility Plan



Project Info.

Engineer: JEREMY A. DRAPER, P.E.
 Drafter: C. KINGSLEY
 Begin Date: JANUARY 2021
 Name: RIVERSIDE PLACE SUBDIVISION PHASE 4
 Number: 6626-01

Sheet	7
5	Sheets



Riverside Place Subdivision Phase 4 Storm Water Pollution Prevention Plan Exhibit

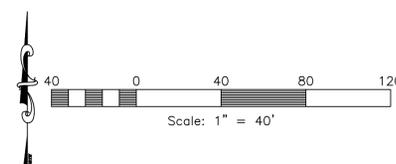
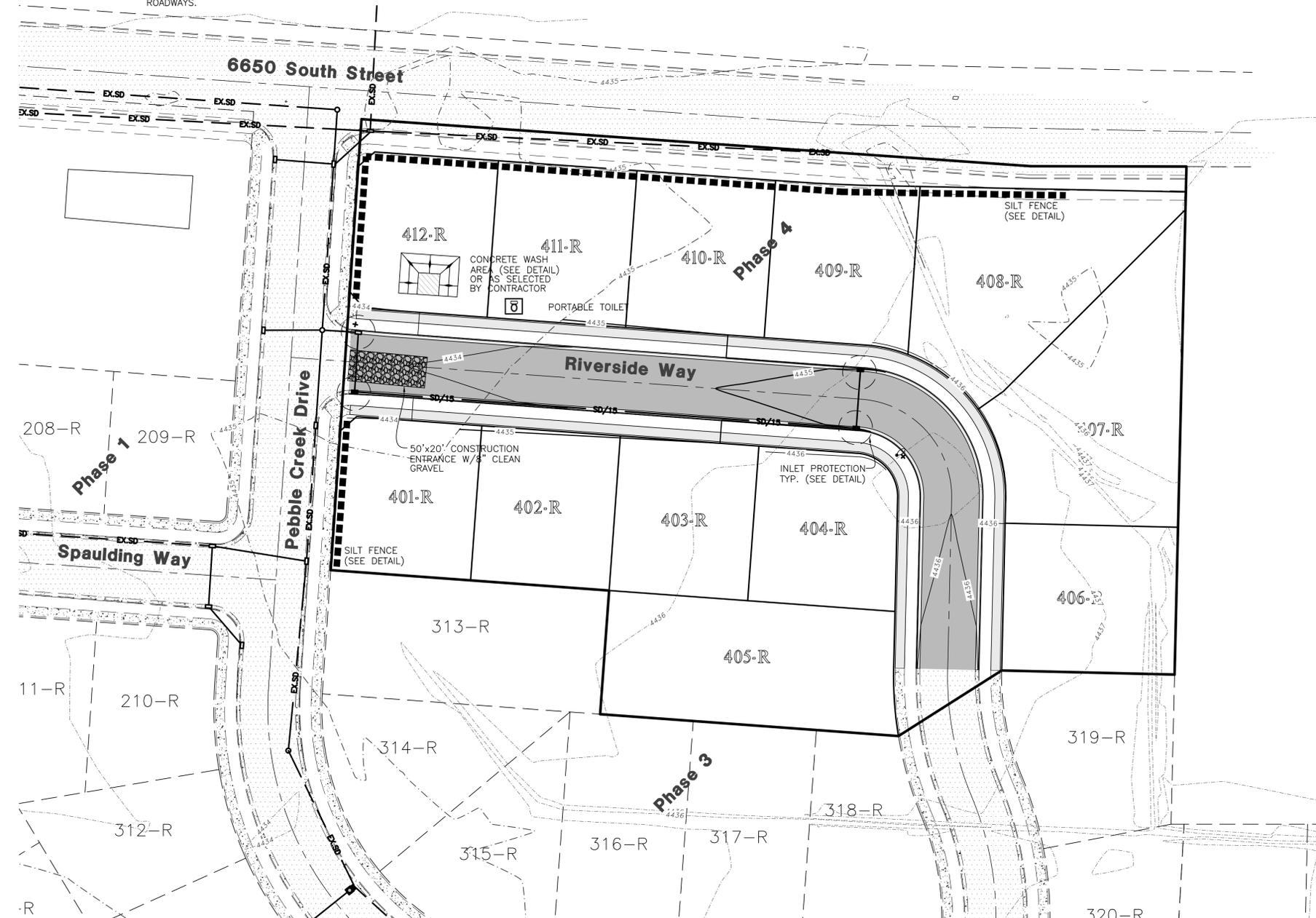
SOUTH WEBER CITY, DAVIS COUNTY, UTAH
JANUARY 2021

STREETS TO BE SWEEP WITHIN
1000 FEET OF CONSTRUCTION
ENTRANCE DAILY IF NECESSARY

ALL VEHICLES EXITING SITE
TO PROCEED THROUGH
CONSTRUCTION ENTRANCE
TO REDUCE AMOUNTS OF
SEDIMENT TRACKED ONTO
ROADWAYS.



Vicinity Map
NOT TO SCALE

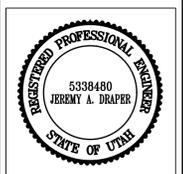


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REVISIONS	DATE	DESCRIPTION
	04-08-21	CK City Comments

**Riverside Place Subdivision
Phase 4
Storm Water Pollution
Prevention Plan Exhibit**

SOUTH WEBER CITY, DAVIS COUNTY, UTAH



Project Info.

Engineer: JEREMY A. DRAPER, P.E.
 Drafter: C. KINGSLEY
 Begin Date: JANUARY 2021
 Name: RIVERSIDE PLACE SUBDIVISION PHASE 4
 Number: 6626-01

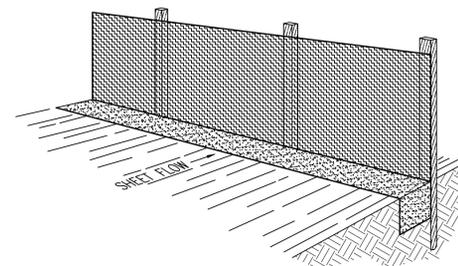
Construction Activity Schedule

- PROJECT LOCATION.....SOUTH WEBER CITY, DAVIS COUNTY, UTAH
- PROJECT BEGINNING DATE.....JANUARY 2021
- BMP'S DEPLOYMENT DATE.....JANUARY 2021
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....DOUG BRADY (801) 792-5123
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER

Sheet	7
6	Sheets

Notes:

- Describe all BMP's to protect storm water inlets:
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
 - Equipment / building / concrete wash areas:
To be performed in designated areas only and surrounded with silt fence barriers.
 - Soil contaminated by soil amendments:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Areas of contaminated soil:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Fueling area:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle maintenance areas:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle parking areas:
To be performed in designated areas only and surrounded with silt fence.
 - Equipment storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Materials storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Waste containment areas:
To be performed in designated areas only and surrounded with silt fence.
 - Service areas:
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
 - Maintenance
 - Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
 - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
 - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
 - Fueling
 - If fueling must occur on-site, use designated areas away from drainage.
 - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
 - Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
 - Use drip pans for any oil or fluid changes.
 - Washing
 - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
 - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
 - Use phosphate-free, biodegradable soaps.
 - Do not permit steam cleaning on-site.
- Spill Prevention and Control
 - Minor Spills:
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
 - Contain the spread of the spill.
 - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
 - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up and properly dispose of contaminated soil.
 - If the spill occurs during rain, cover the impacted area to avoid runoff.
 - Record all steps taken to report and contain spill.
 - Major Spills:
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
 - Maintain good housekeeping practices.
 - Enclose or cover building material storage areas.
 - Properly store materials such as paints and solvents.
 - Store dry and wet materials under cover, away from drainage areas.
 - Avoid mixing excess amounts of fresh concrete or cement on-site.
 - Perform washout of concrete trucks offsite or in designated areas only.
 - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
 - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
 - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
 - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
 - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
 - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
 - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
 - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
 - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
 - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
 - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the engineer of record of the governing agency.
 - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the engineer of record.
 - Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
 - Erosion control devices will be modified as need as the project progresses and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
 - Part III.D.4 of general permit UTR300000 identifies the minimum inspection requirements.
 - Part II.D.4.C identifies the minimum inspection report requirements.
 - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.



Perspective View

Figure 2

INSTALLATION

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

Slope Steepness (%)	Max. Slope Length m (ft)
<2%	30.5m (100ft)
2-5%	22.9m (75ft)
5-10%	15.2m (50ft)
10-20%	7.6m (25ft)
>20%	4.5m (15ft)

PREFABRICATED SILT FENCE ROLLS

- Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- Unroll the silt fence, positioning the post against the downstream wall of the trench.
- Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
- Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
- Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

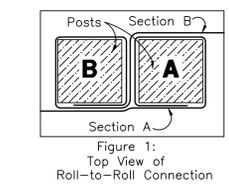


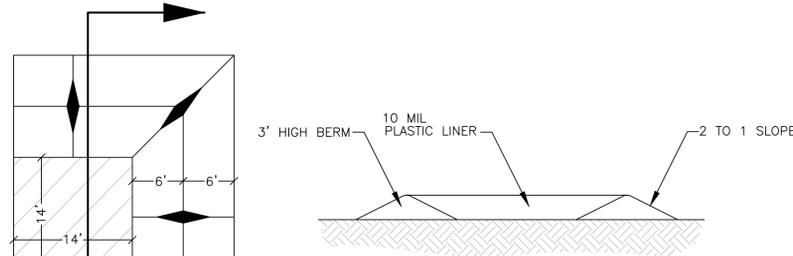
Figure 1: Top View of Roll-to-Roll Connection

FIELD ASSEMBLY:

- Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing

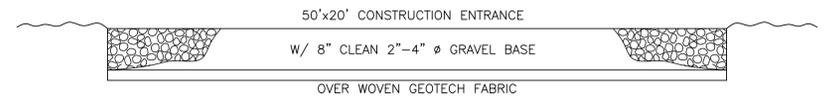
Silt Fence Detail

SCALE: NONE

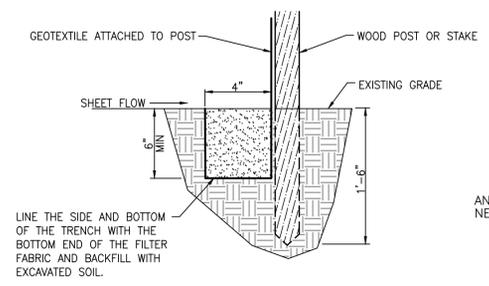


Concrete Washout Area w/ 10 mil Plastic Liner

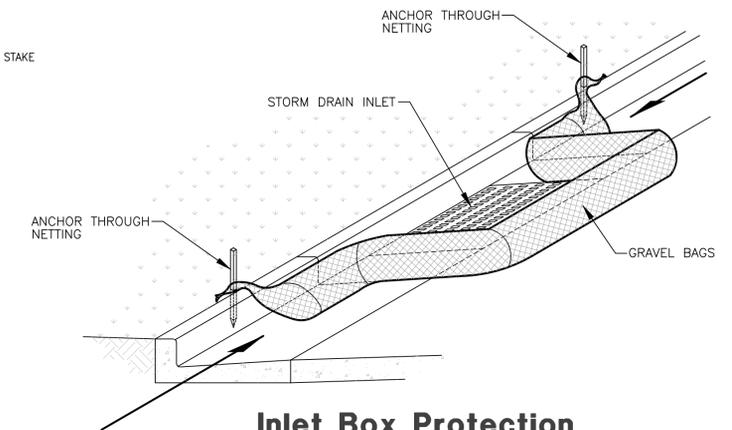
SCALE: NONE



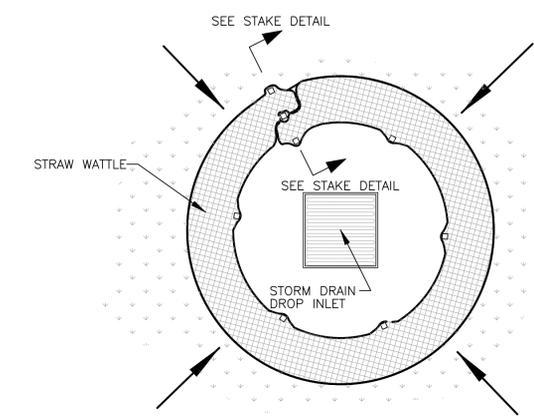
Cross Section 50' x 20' Construction Entrance



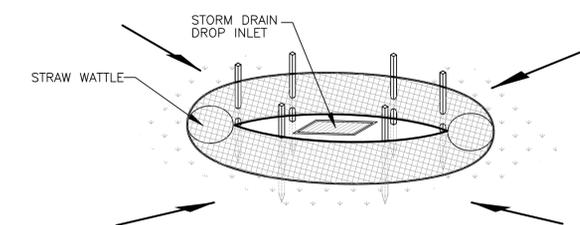
Section



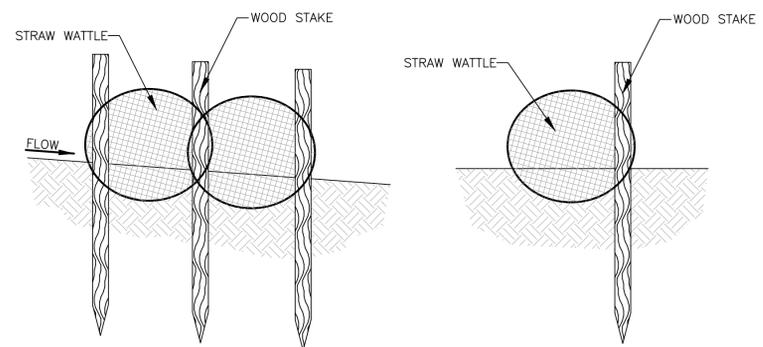
Inlet Box Protection



Plan View



Drop Inlet Protection



Stake Detail

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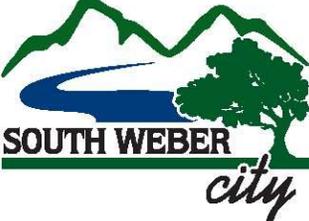
REVISIONS	DESCRIPTION
DATE	CITY Comments
04-08-21	CK

Riverside Place Subdivision Phase 4
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH
Storm Water Pollution Prevention Plan Details

REGISTERED PROFESSIONAL ENGINEER
 5338480
 JEREMY A. DRAPER
 STATE OF UTAH

Project Info.
 Engineer: JEREMY A. DRAPER, P.E.
 Drafter: C. KINGSLEY
 Begin Date: JANUARY 2021
 Name: RIVERSIDE PLACE SUBDIVISION PHASE 4
 Number: 6626-01

Sheet **7**
 7 Sheets

<p>Planning Commission Meeting Date: 6/10/21 Agenda Item: Public Hearing & Action on Rezone Request (16.34 Acres from A to NR) for Geneva Rock Staff Review: Shari Phippen, City Planner</p>	
<p>Project Name: Geneva Rock Rezone</p>	
<p>Request: Rezone 16.34 acre from Agricultural to Natural Resource.</p>	
<p>Property Address: 2830 Cornia Drive</p>	
<p>Applicant: Bill Gammell, Geneva Rock Products</p>	
<p>Governing Document(s): South Weber City General Plan, South Weber City Future Land Use Map, South Weber City Zoning Map</p>	
<p>Decision Type: Legislative Recommendation to the Council</p>	
<p>Required Commission Action(s): Once the Commission feels prepared to recommend (for or against) to the Council, the chair should call for a motion.</p>	
<p>Public Hearing Notice: May 30, 2021</p>	
<p>Posted at: South Weber City Hall, South Weber Family Activity Center, South Weber Elementary</p>	
<p>Published in/on: South Weber City website, Ogden Standard Examiner, Utah Public Notice website</p>	
<p>Mailed to: property owners within 300' radius of property</p>	

Executive Summary

This rezone is being requested in order for Geneva Rock to expand their current excavation operation. The property currently surrounding the proposed rezone is already zoned Natural Resources. Rezoning the parcel to natural resources would be in line with the existing zoning and current use of the property.

On the land use side of the rezone request, excavation is a conditional use in the natural resources, so prior to expanding their business into the rezoned property, if the rezone is granted, Geneva should be required to obtain a conditional use permit.

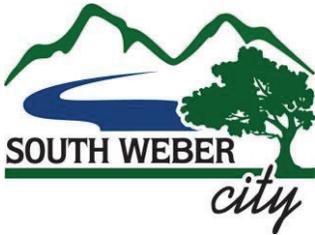
Staff & General Plan Analysis

As this is a legislative issue, the Commission’s role is to review the request and make a recommendation to the City Council. The Commission may recommend the Council approve or deny the request. The Commission may also attach conditions or recommendations to its motion to the Council. Council will then review the request and either approve or deny the rezone, or approve with conditions.

Strictly speaking, the rezone request does not comply with the future land use map of the General Plan, as the General Plan does not anticipate a natural resource zone in the City. I have looked into the

conversations surrounding this property that were held during the General Plan update process. In examining this property and making a determination for the future land use map, the City was considering what the use of the property could be once the property was no longer an excavation operation.

I have spoken to Geneva and requested that they provide the City with a concept of how the business will expand into the property. While not required as part of the rezone application, it would allow the City to see the plans for expansion of the business and to consider those plans when reviewing the conditional use permit that Geneva will need to obtain prior to actually beginning excavation on this portion of the property.



1600 E. South Weber Drive
South Weber, UT 84405

www.southwebercity.com

801-479-3177
FAX 801-479-0066

FOR OFFICE USE ONLY

Fee paid \$ _____ Receipt _____ Date _____

Recommended by Planning Commission on: _____

Approved by City Council on: _____

ZONE CHANGE APPLICATION

Approx. Location: 2830 Cornia Dr. South Weber, UT 84405

Parcel Number(s): 130390046 Total Acres: _____

Request: 16.34 Acres changed from Agricultural Zone to Natural Resource Zone
_____ Acres changed from _____ Zone to _____ Zone

Legal Description: (attach if too large) _____

PART OF THE NW 1/4 OF SEC 36-T5N-R1W, SLM, & MORE PARTLY DESC AS FOLLOWS: BEG AT A PT ON THE W R/W LINE OF THE OLD STATE HWY; SD PT BEING N 89°54'03" W 314.60 FT ALG THE SEC LINE & S 0°05'57" W 35.41 FT FR THE N 1/4 COR OF SD SEC 36; & RUN TH S 32°02'45" W 901.32 FT ALG SD W LINE TO THE PT OF A CURVE; TH SW'LY 601.82 FT ALG THE ARC OF A 1798.23 FT RAD CURVE TO THE RIGHT (CHORD BEARS S 44°51'02" W 599.02 FT); TH N 84°41'58" W 51.30 FT; TH SW'LY 89.33 FT ALG THE ARC OF A 1765.09 FT RAD CURVE TO THE RIGHT (CHORD BEARS S 57°08'52" W 89.32 FT); TH S 89°37'49" W 52.02 FT; TH SW'LY 99.98 FT ALG THE ARC OF A 1738.85 FT RAD CURVE TO THE RIGHT (CHORD BEARS S 61°42'50" W 99.97 FT); TH N 89°56'01" W 366.34 FT ALG SD 1/4 1/4 SEC LINE TO THE E'LY R/W LINE OF HWY 89; TH NW'LY 248.72 FT ALG THE ARC OF A 3002.62 FT RAD CURVE TO THE LEFT (CHORD BEARS N 19°12'46" W 248.64 FT); TH S 68°24'52" W 28.87 FT; TH NW'LY 283.44 FT ALG THE ARC OF A 2973.75 FT RAD CURVE TO THE LEFT (CHORD BEARS N 24°18'59" W 283.34 FT); TH N 27°02'49" W 426.45 FT; TH N 23°03'23" W 386.99 FT; TH N 60°32'15" E 142.66 FT; TH S 89°54'03" E 973.41 FT TO THE 1/4 1/4 SEC LINE; TH S 0°05'57" W 2.41 FT; TH S 89°54'03" E 1008.62 FT TO THE POB. CONT. 41.19 ACRES, M/L.

Proposed Use: _____
Sand and Gravel Extraction

How does this use support the City's General Plan? _____

The General plan recognizes this area as a Natural Resource and would be aligned with the General Plan in being able to mine the remaining Natural Resource.

Applicant

Property Owner, if not Applicant

Name: Bill Gammell

Name: same as applicant

Company: Geneva Rock Products, Inc.

Company: _____

Address: 730 N 1500 W

Address: _____

City/State/Zip: Orem, UT 84057

City/State/Zip: _____

Phone: 801-802-6900

Phone: _____

Email: bgammell@clydeinc.com

Email: _____

Public Notice Authorization: I (we) do hereby give permission to South Weber City to place a city Apublic notice@ sign on the property contained in this application for the purpose of notification of the change of zoning application.

Signed: Jay H Ritchie
Property Owner

Property Owner

APPLICANT'S AFFIDAVIT

State of Utah)
County of Davis)

I (we) Jay H. Ritchie, being duly sworn, depose and say I (we) am (are) the sole owner(s)/agent of the owner(s), of the property involved in this application, to-wit, 2830 Cornia Drive
Property Address

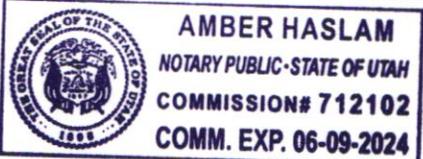
and that the statements and answers contained herein, in the attached plans, and other exhibits, thoroughly and to the best of my ability, present the argument in behalf of the application. Also, all statements and information are in all respects true and correct, to the best of my knowledge and belief.

Dated this 07 day of May, 2021.

Signed: Jay H Ritchie
Property Owner or Agent

Property Owner or Agent

Subscribed and Sworn before me this 4 day of May,



Notary Public: [Signature]

AGENT AUTHORIZATION

State of Utah)
County of _____)

I (we) _____, the sole owner(s) of the real property located at _____, South Weber City, Utah do hereby appoint _____,
Property Address

as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and to appear on my (our) behalf before any city boards considering this application.

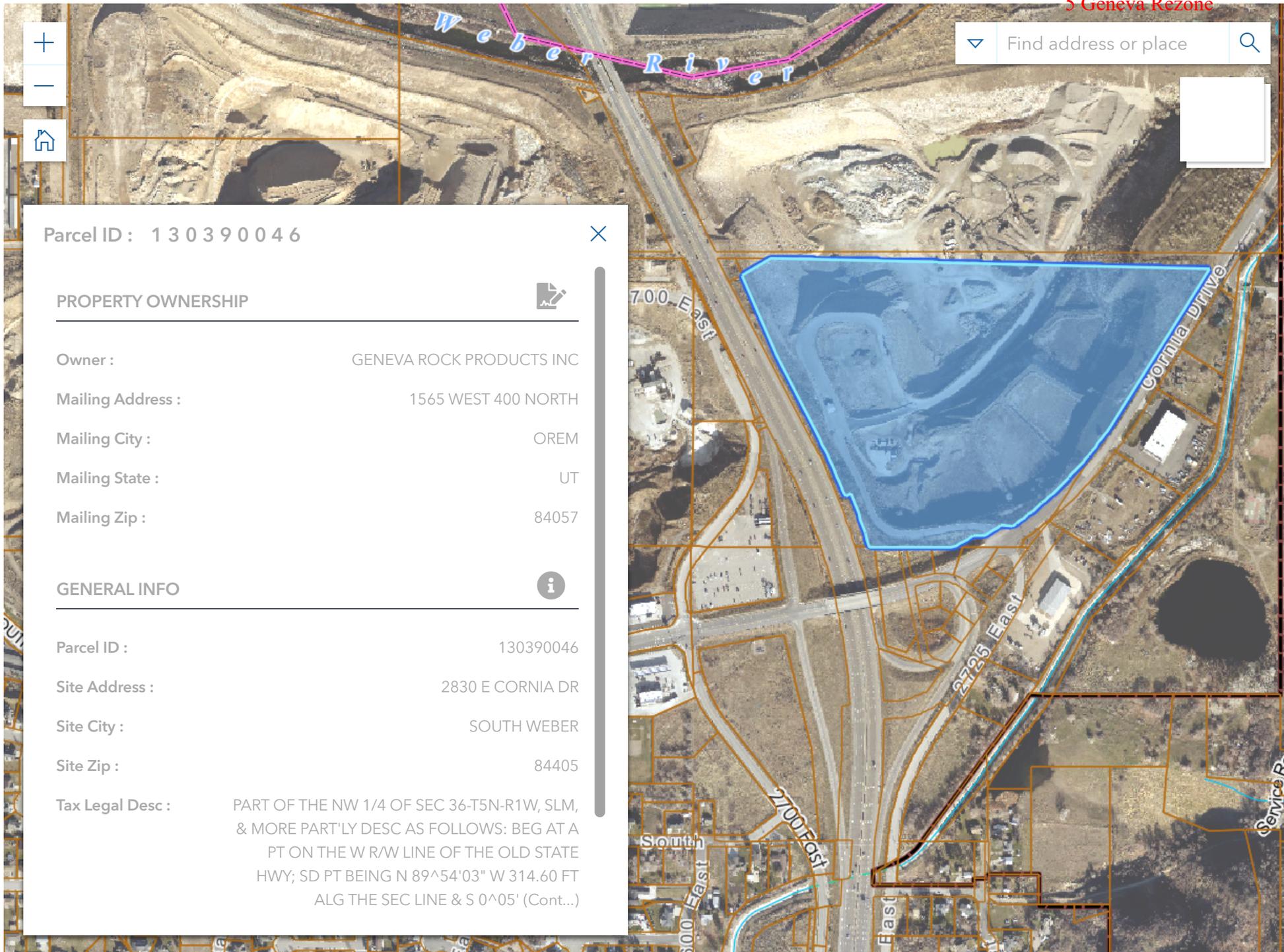
Dated this _____ day of _____,

Signed: _____
Property Owner

Property Owner

Subscribed and Sworn before me this _____ day of _____,

Notary Public: _____



Find address or place

Parcel ID : 130390046

PROPERTY OWNERSHIP

Owner : GENEVA ROCK PRODUCTS INC

Mailing Address : 1565 WEST 400 NORTH

Mailing City : OREM

Mailing State : UT

Mailing Zip : 84057

GENERAL INFO

Parcel ID : 130390046

Site Address : 2830 E CORNIA DR

Site City : SOUTH WEBER

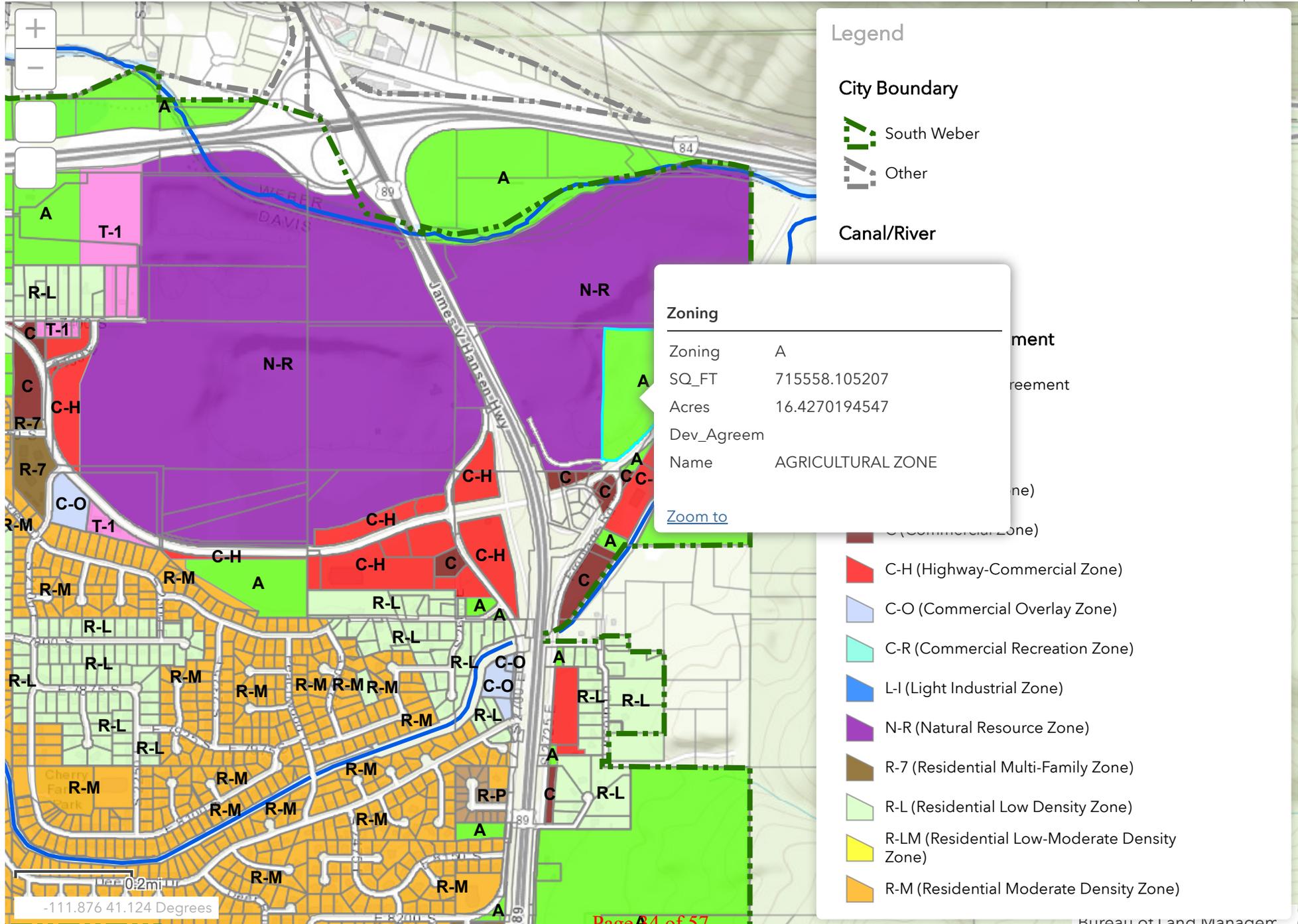
Site Zip : 84405

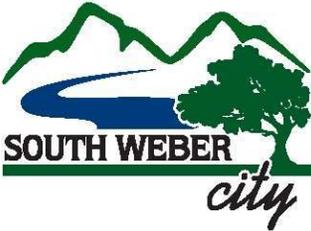
Tax Legal Desc : PART OF THE NW 1/4 OF SEC 36-T5N-R1W, SLM, & MORE PART'LY DESC AS FOLLOWS: BEG AT A PT ON THE W R/W LINE OF THE OLD STATE HWY; SD PT BEING N 89^54'03" W 314.60 FT ALG THE SEC LINE & S 0^05' (Cont...)



Zoning Map

for South Weber City



<p>Planning Commission Meeting Date: 6/10/21 Agenda Item: Public Hearing & Action on Rezone Request (2.78 Acres from A to CH & 8.85 Acres from A to R7) for South Weber Gateway Staff Review: Shari Phippen, City Planner</p>	
<p>Project Name: South Weber Gateway</p>	
<p>Request: Rezone 2.78 acres to Highway Commercial and 8.85 acres to R-7. All property is currently zoned agricultural.</p>	
<p>Property Address: 2301 East South Weber Drive Note: The Application and agenda have a typo- the property address on this memo is correct.</p>	
<p>Applicant: Brad Brown, Colliers International</p>	
<p>Governing Document(s): South Weber City General Plan, South Weber City Future Land Use Map, South Weber City Zoning Map</p>	
<p>Decision Type: Legislative Recommendation to the Council</p>	
<p>Required Commission Action(s): Once the Commission feels prepared to recommend (for or against) to the Council, the chair should call for a motion.</p>	
<p>Public Hearing Notice: May 30, 2021 Posted at: South Weber City Hall, South Weber Family Activity Center, South Weber Elementary Published in/on: South Weber City website, Ogden Standard Examiner, Utah Public Notice website Mailed to: property owners within 300' radius of property</p>	

Executive Summary/General Plan Analysis

This parcel is located just west of Highmark Charter School. There have been ongoing discussions on the development possibilities of the property. Both the City and the developer felt that the appropriate step would be for the developer to bring forward a rezone application, accompanied by a concept plan, so that a formal action can be taken on the request.

It should be noted that the concept is not a final development plan, and that approval of a rezone does not equal approval of a development plan. Discussions on phasing, access and other things related to zoning and engineering will happen as part of the review of the preliminary and final plats. That isn't to suggest that they can't be discussed at all, but the details of those are finalized at development stages that come after the rezone, if the rezone is granted.

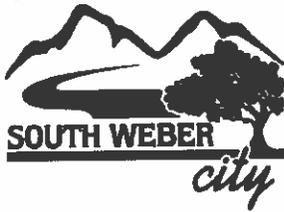
While the General Plan calls out that this property will be zoned commercial highway, it also calls out that the City should put a development plan/agreement in place. During the discussions before the General Plan was adopted, the Council determined that a residential component could be put into the development plan/agreement, subject to review and approval by the City.

The developer had discussions in City Council meetings regarding the residential densities that would be acceptable on the property. Council discussions indicated that the developer would only be granted density on the portion of the project that is being developed as residential- the developer would not be granted any residential density on the portion zoned commercial highway. The proposed 62 units fits within the density allowed on the R-7 portion of the property.

Staff Analysis

As this is a legislative issue, the Commission's role is to review the request and make a recommendation to the City Council. The Commission may recommend the Council approve or deny the request. The Commission may also attach conditions or recommendations to its motion to the Council. Council will then review the request and either approve or deny the rezone, or approve with conditions.

The rezone request is compliant with the General Plan's projected land use for the property, to the extent that it contains a commercial highway element and the developer has agreed to enter into a development agreement with the City. Additionally, as previously stated, the residential density proposed complies with the portion of the property proposed to be zoned residential. Because City code does not require a certain ratio of commercial to residential, staff cannot present an analysis of whether the ratio complies with any requirement.



1600 E. South Weber Drive
South Weber, UT 84405

www.southwebercity.com

801-479-3177
FAX 801-479-0066

FOR OFFICE USE ONLY

Fee paid \$ _____ Receipt _____ Date _____

Recommended by Planning Commission on: _____

Approved by City Council on: _____

ZONE CHANGE APPLICATION

Approx. Location: 2310 South Weber Drive

Parcel Number(s): 130340068 Total Acres: 11.64

Request: 2.78 Acres changed from A Zone to HC Zone

8.85 Acres changed from A Zone to R7 Zone

Legal Description: (attach if too large) attached

Proposed Use: Commercial pads and townhomes.

How does this use support the City's General Plan? As discussed with city council and staff, this will bring desired commercial into the city while providing an acceptable amount of residential density.

Applicant

Property Owner, if not Applicant

Name: Brad Brown

Name: Farrell Poll

Company: Colliers

Company: _____

Address: 1708 E 5550 S Ste 18

Address: _____

City/State/Zip: South Ogden, UT, 84403

City/State/Zip: _____

Phone: (801) 309-0399

Phone: (801) 726-6399

Email: Brad.Brown@colliers.com

Email: FPoll@americafirst.com

Public Notice Authorization: I do hereby give permission to South Weber City to place a public notice sign on the property contained herein for the purpose of citizen notification of this proposed change in zoning.

Affidavit: I also, being duly sworn, depose and state that I am the owner or agent of the owner of the property cited and that the statements and answers contained herein, along with any attachments are true and correct to the best of my knowledge and belief.

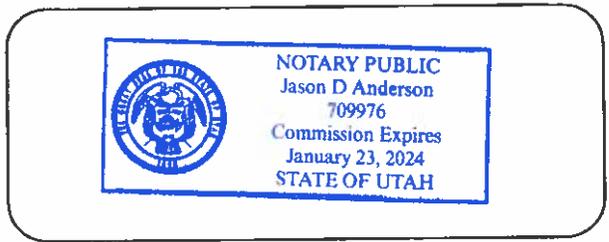
Applicant's Signature: [Signature] Date: 5/27/21 ^{5/28/21}

State of Utah, County of Davis ¹² Weber

Subscribed and sworn to before me on this 28th day of May, 2021

Printed Name Jason Anderson

Notary Signature [Signature]



Seal

Agent Authorization (To be filled out by owner, if allowing an agent to act on his/her behalf.)

As the owner of the real property referenced in this document, I do hereby appoint Brad Brown as my agent to represent me regarding this application and to appear on my behalf before any city boards considering this application.

Property Owner's Signature: [Signature] Date: 5-28-21

State of Utah, County of Davis

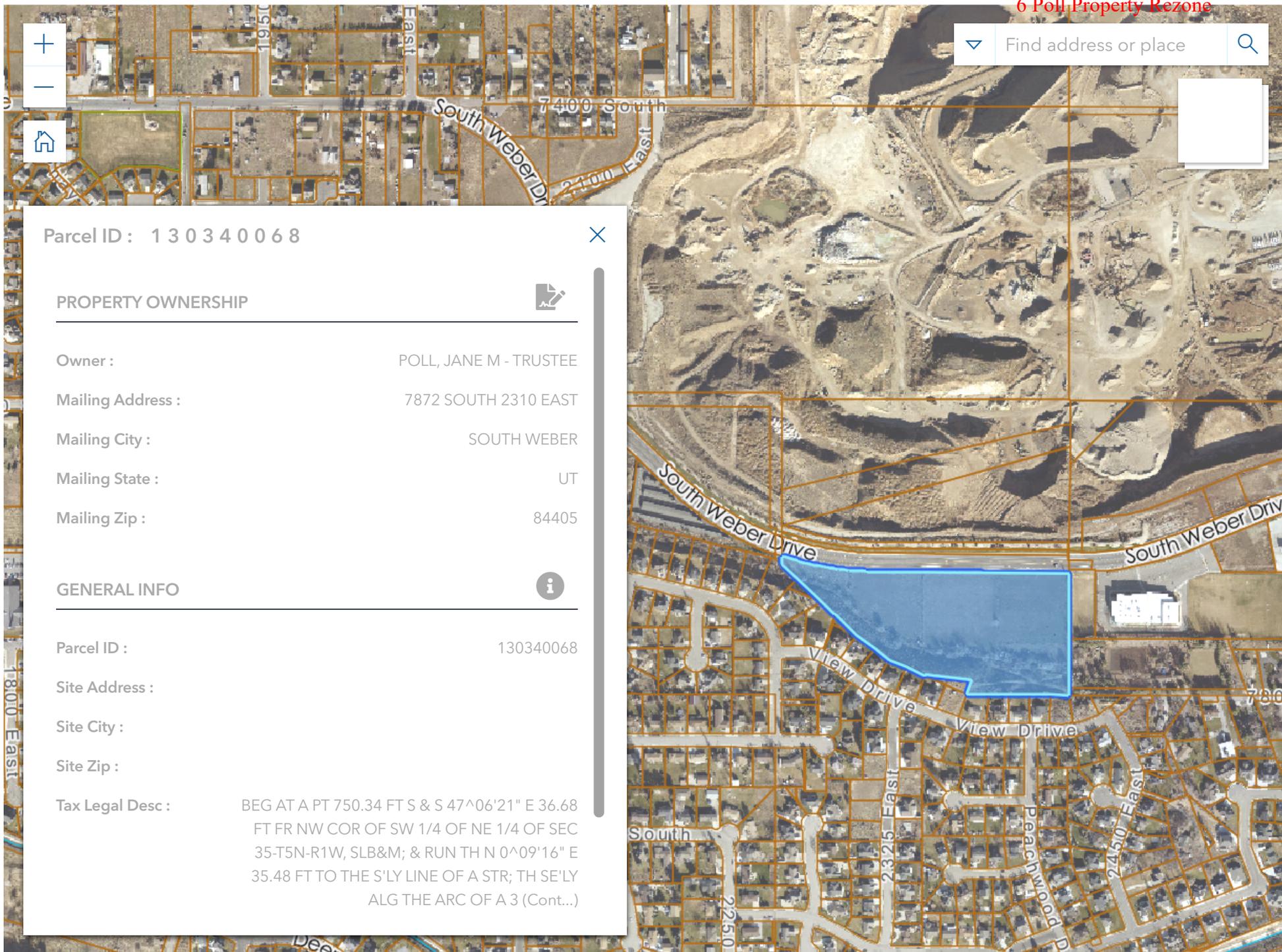
Subscribed and sworn to before me on this 28th day of May, 2021

Printed Name Jeanette S. Pead

Notary Signature [Signature]



Seal



Parcel ID : 130340068

PROPERTY OWNERSHIP



Owner : POLL, JANE M - TRUSTEE

Mailing Address : 7872 SOUTH 2310 EAST

Mailing City : SOUTH WEBER

Mailing State : UT

Mailing Zip : 84405

GENERAL INFO



Parcel ID : 130340068

Site Address :

Site City :

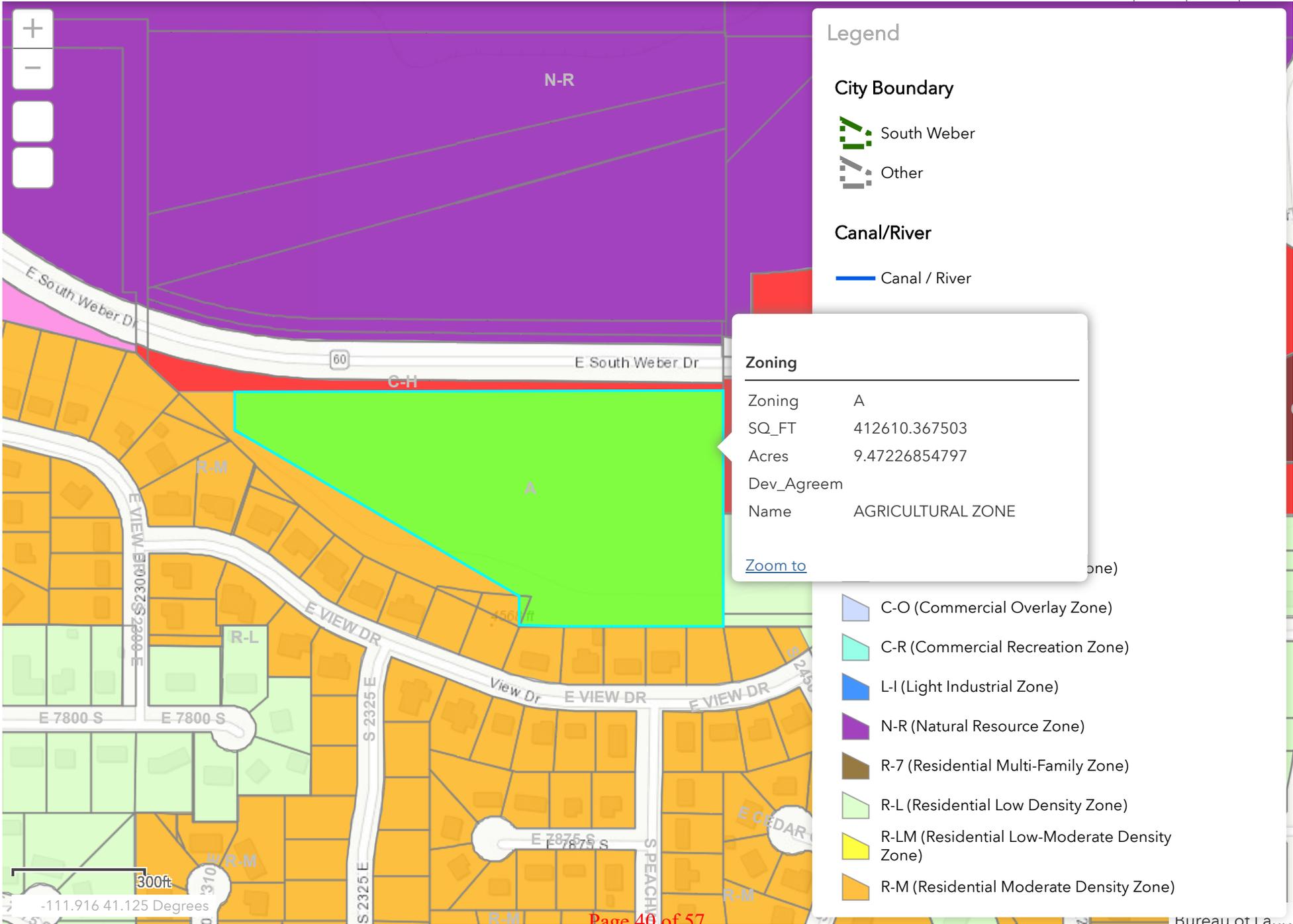
Site Zip :

Tax Legal Desc : BEG AT A PT 750.34 FT S & S 47^06'21" E 36.68 FT FR NW COR OF SW 1/4 OF NE 1/4 OF SEC 35-T5N-R1W, SLB&M; & RUN TH N 0^09'16" E 35.48 FT TO THE S'LY LINE OF A STR; TH SE'LY ALG THE ARC OF A 3 (Cont...)



Zoning Map

for South Weber City



Legend

City Boundary

- South Weber
- Other

Canal/River

- Canal / River

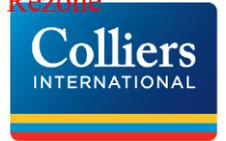
Zoning

Zoning	A
SQ_FT	412610.367503
Acres	9.47226854797
Dev_Agreem	
Name	AGRICULTURAL ZONE

[Zoom to](#) (one)

- C-O (Commercial Overlay Zone)
- C-R (Commercial Recreation Zone)
- L-I (Light Industrial Zone)
- N-R (Natural Resource Zone)
- R-7 (Residential Multi-Family Zone)
- R-L (Residential Low Density Zone)
- R-LM (Residential Low-Moderate Density Zone)
- R-M (Residential Moderate Density Zone)

300ft
-111.916 41.125 Degrees



May 24th, 2021

Dear South Weber City Staff, Commissioners and Council Members,

Exhibit “A” to the Concept Plan and Rezone Application

This letter is to express the intent of the phasing of commercial and residential, in relation to the rezone of the South Weber Gateway project.

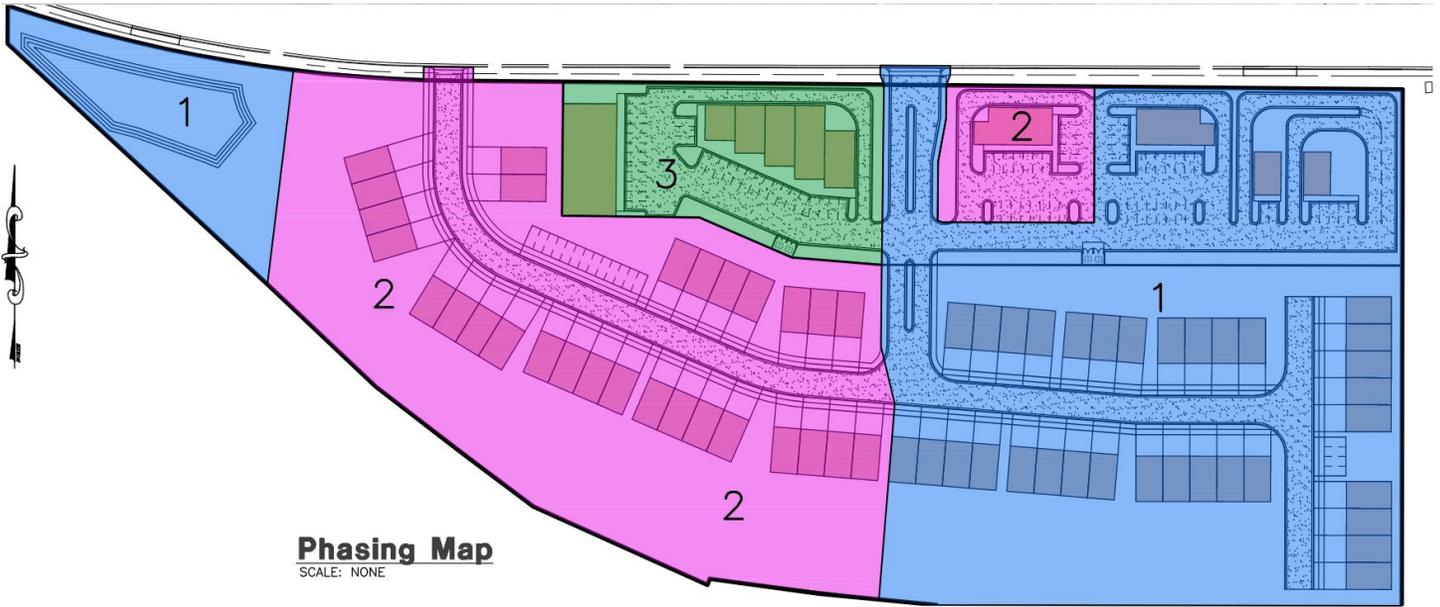
- Phase One of the project shall have a minimum of three retail pads constructed concurrently with no more than 33 townhome units. As depicted in Sketch Plan dated 5/24/21, Sketch number 7152-05.
- Phase Two of the project shall have a minimum of one additional retail pad with a building size of approximately 2,322 SF, constructed concurrently with no more than 29 townhome units. As depicted in Sketch Plan dated 5/24/21, Sketch number 7152-05.
- Phase Three will include a final commercial pad of approximately 42,600 SF in land size. This commercial pad will be built out as the market demands, this may be before Phase One and Two, or after. As depicted in Sketch Plan dated 5/24/21, Sketch number 7152-05.

Feel free to reach out to me with any further questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Sky Hazlehurst".

Sky Hazlehurst
Vice President – Retail & Land
Office Phone: 801- 947- 8300
Cell Phone: 801-837-2020
Sky.hazlehurst@colliers.com





SOUTH WEBER GATEWAY
SOUTH WEBER, UTAH
JOB NO. 7089-01
5-24-2021

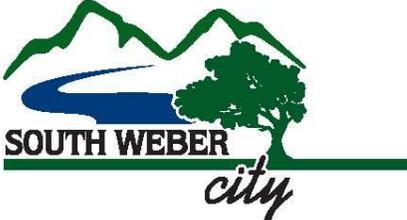
PART OF THE NORTHEAST QUARTER OF SECTION 35. TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT, SAID POINT BEING S89°53'29"E 861.74 FEET FROM THE CENTER OF SAID SECTION 35; THENCE N20°47'47"E 70.49 FEET; THENCE N84°30'00"W 109.15 FEET; THENCE N82°15'00"W 102.46 FEET; THENCE S20°47'47"W 6.00 FEET TO THE NORTHERLY LINE OF ROYAL FARMS ESTATES PHASE 3; THENCE ALONG SAID NORTHERLY LINE THE FOLLOWING THREE (3) COURSES: (1) N65°50'02"W 176.78 FEET; (2) N53°09'46"W 82.36 FEET; AND (3) N52°25'32"W 101.91 FEET; THENCE N46°43'51"W 137.58 FEET TO THE NORTHERLY LINE OF CEDAR BLUFFS SUBDIVISION PHASE 2; THENCE N47°12'09"W ALONG SAID NORTHERLY LINE, 328.07 FEET; THENCE N00°09'16"E 34.93 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SOUTH WEBER DRIVE; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE THE FOLLOWING TWO (2) COURSES: (1) A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 1355.32 FEET, AN ARC LENGTH OF 423.56 FEET, A DELTA ANGLE OF 17°54'21", A CHORD BEARING OF S80°31'31"E, A RADIAL BEARING OF N18°25'39"E, AND A CHORD LENGTH OF 421.84 FEET; AND (2) S89°28'42"E 877.37 FEET; THENCE S00°06'41"W 544.02 FEET TO THE NORTHERLY LINE OF PEACHWOOD ESTATES SUBDIVISION - UNIT 1; THENCE N89°53'29"W ALONG SAID NORTHERLY LINE, 456.31 FEET TO THE POINT OF BEGINNING.

CONTAINING 507,182 SQUARE FEET OR 11.643 ACRES MORE OR LESS

Solutions You Can Build On™

Civil Engineering • Land Planning • Structural Engineering • Landscape Architecture • Land Surveying • Construction Surveying
5160 S 1500 W • Riverdale, Utah 84405 • Tel: 801-621-3100 • Fax: 801-621-2666
ogden@reeve-assoc.com • reeve-assoc.com

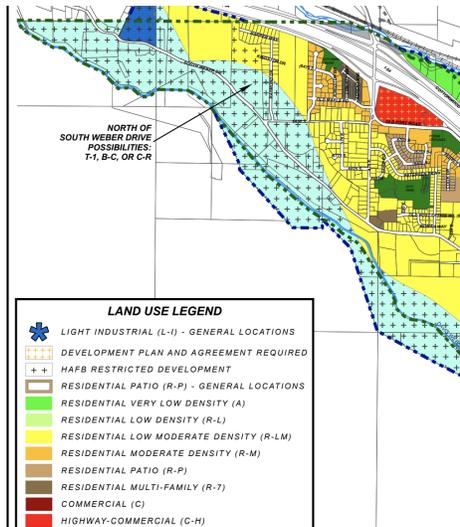
Planning Commission Meeting Date: 6-10-2021 Agenda Item: Stephens' Property Public Hearing & Rezone Request Staff Review: Shari Phippen, City Planner	
Project Name: Stephens Property Rezone	
Request: To rezone Parcel 130180090, located at approximately 6600 S 475 E, from Agricultural to Commercial Highway	
Property Address: Northeast corner of 6600 S and 475 East	
Applicant: Carter Randall/Bruce Stephens	
Governing Document(s): South Weber City General Plan, South Weber City Future Land Use Map, South Weber City Zoning Map	
Decision Type: Legislative Recommendation to the Council	
Required Commission Action(s): Once the Commission feels prepared to recommend (for or against) to the Council, the chair should call for a motion.	
Public Hearing Notice: May 1, 2021 Posted at: South Weber City Hall, South Weber Family Activity Center, South Weber Elementary Published in/on: South Weber City website, Ogden Standard Examiner, Utah Public Notice website Mailed to: property owners withing 300' radius of property	

Executive Summary

This project was tabled at the May 13, 2021 Commission meeting. That was done in anticipation of the City Council taking up the land use matrix for deliberation. At the May 25, 2021 meeting, the Council adopted the land use matrix. My comments have not changed since the May 13th meeting but are being included again.

This parcel is located on the corner of 475 East and 6600 South in South Weber City. The applicant, with consent of the developer, has applied to rezone the property from its present zone of Agricultural to Commercial Highway. They have not presented the City with a concept plan as to what they want to do with the project.

The City Council and Planning Commission have, in the past, requested that rezone applications come forward with a concept so that the City has some assurance of what types of projects are intended for properties.



General Plan Analysis

The image on the left is from the Projected Land Use Map of the 2020 South Weber City General Plan. The Stephens' property is in red in the top corner of the image. As you can see from the image and from the key, the property is projected to be rezoned to Highway Commercial.

The crosshatch that is on the property does indicate that the City has the option to consider a master planned project on the property via a development plan/agreement. That would require additional information from the developer and is not being requested at this time. A development plan/agreement is not required to process a rezone, it is simply another option available.

A full copy of the future land use map may be found at:

<http://southwebercity.com/government/departments/administration/city-recorder/land-use/maps/>

The application, to the extent that it is requesting a rezone to Highway Commercial, complies with the General Plan.

Staff Analysis

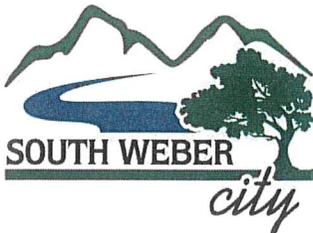
As this is a legislative issue, the Commission's role is to review the request and make a recommendation to the City Council. The Commission may recommend the Council approve or deny the request. Council will then review the request and either approve or deny the rezone. Legislative actions allow the City to make additional requests beyond what is in the application.

The rezone request is compliant with the General Plan's projected land use for the property.

The applicant has not provided a concept plan, which the Commission and Council have requested accompany rezone applications. While a concept is not specifically required in a rezone application, having one allows the City to have some understanding of the developer's intent in pursuing the rezone.

If the Commission chooses to recommend against the application, the developer has the following options:

- Prepare a concept, submit a new rezone application, and come before the Planning Commission at a future meeting.
- Proceed to the Council without a concept.



1600 E. South Weber Drive
South Weber, UT 84405 www.southwebercity.com

801-479-3177
FAX 801-479-0066

FOR OFFICE USE ONLY

Fee paid \$ _____ Receipt _____ Date _____

Recommended by Planning Commission on: _____

Approved by City Council on: _____

ZONE CHANGE APPLICATION

Approx. Location: NORTH/EAST CORNER OF 475 E 6650 S

Parcel Number(s): 130 180090 Total Acres: ~~17~~ ~~18~~ 18.079

Request: 18.079/193 Acres changed from AG Zone to C-4 Zone

_____ Acres changed from _____ Zone to _____ Zone

Legal Description: (attach if too large) ATTACHED

Proposed Use: TO BE DETERMINED BUT AS PER THE CURRENT PERMITTED AND/OR CONDITIONAL USES ALLOWED UNDER THE ZONE - 3-31-2021

How does this use support the City's General Plan? CURRENTLY THE PROPERTY IS MASTER PLANNED (FUTURE PLAN) AS COMMERCIAL HIGHWAY WITH PERMITTED USES ATTACHED

Applicant

Name: CARTER RANDALL

Company: C & N PROPERTY HOLDINGS LLC

Address: 917 COUNTRY HILLS

City/State/Zip: OGDEN UT 84403

Phone: 801-540-1408

Email: CARTER@PPC-UTAH.COM

Property Owner, if not Applicant

Name: BRUCE STEPHENS

Company: PLEASANT VALLEY RANCH LLC

Address: 5712 S. ADAMS AVE. PARKWAY

City/State/Zip: @ WASHINGTON TERRACE

Phone: 801-725-8832

Email: PVRANCH9@MSL.COM

Public Notice Authorization: I do hereby give permission to South Weber City to place a public notice sign on the property contained herein for the purpose of citizen notification of this proposed change in zoning.

Affidavit: I also, being duly sworn, depose and state that I am the owner or agent of the owner of the property cited and that the statements and answers contained herein, along with any attachments are true and correct to the best of my knowledge and belief.

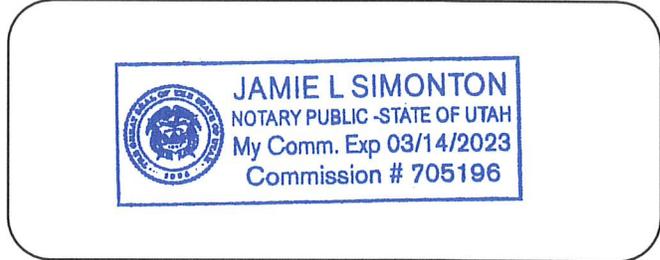
Applicant's Signature: C. Randall Date: 3-31-2021

State of Utah, County of Davis

Subscribed and sworn to before me on this 31 day of March, 2021

Printed Name Jamie L Simonton

Notary Signature Jamie L. Simonton



Seal

Agent Authorization (To be filled out by owner, if allowing an agent to act on his/her behalf.)

As the owner of the real property referenced in this document, I do hereby appoint Carter Randall as my agent to represent me regarding this application and to appear on my behalf before any city boards considering this application.

Property Owner's Signature: [Signature] Date: 3/21/2021

State of Utah, County of Davis

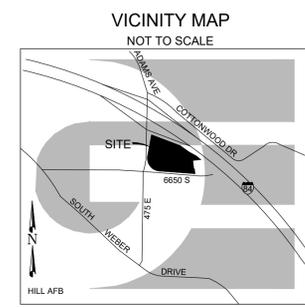
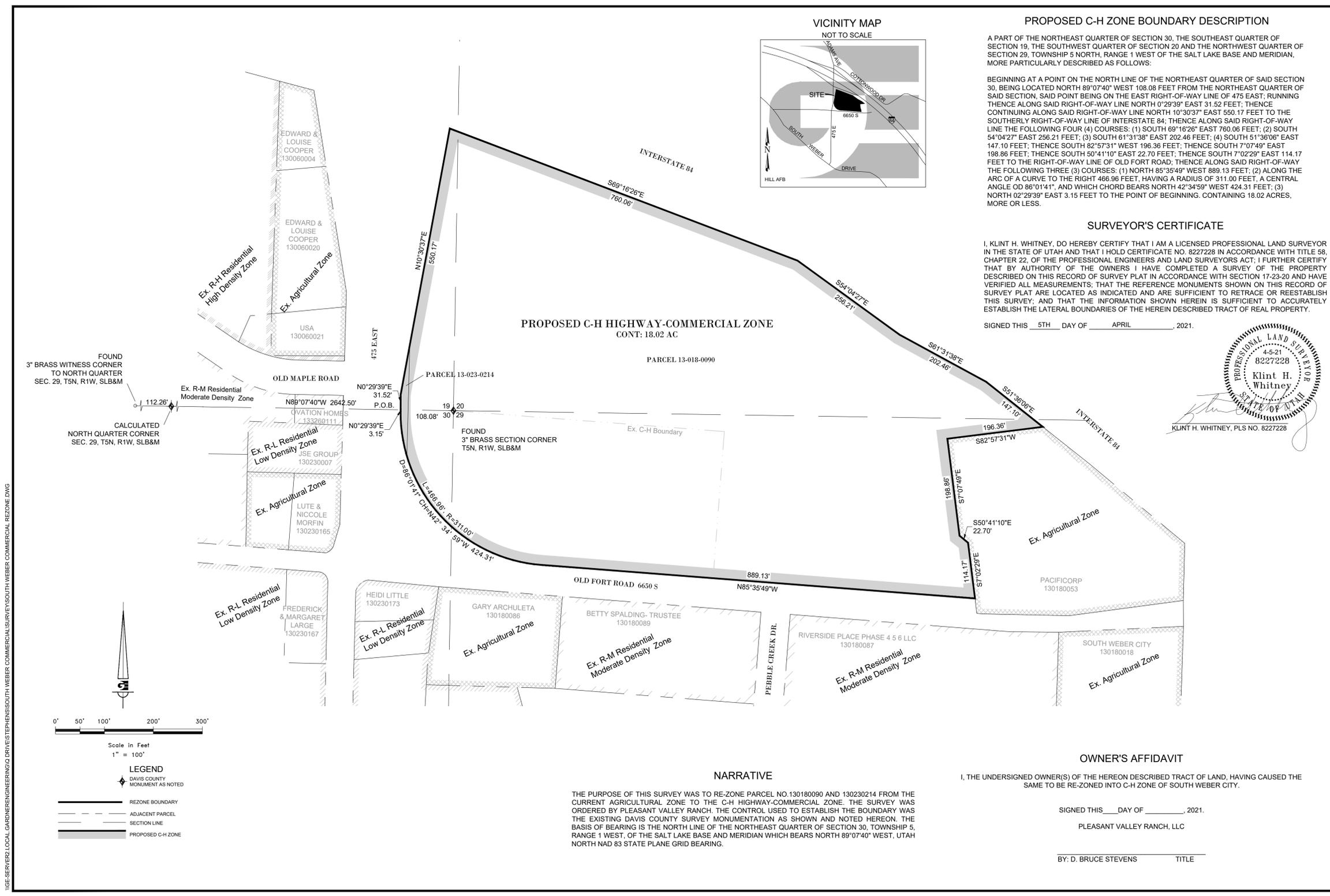
Subscribed and sworn to before me on this 31 day of March, 2021

Printed Name Jamie L. Simonton

Notary Signature Jamie L. Simonton



Seal



PROPOSED C-H ZONE BOUNDARY DESCRIPTION

A PART OF THE NORTHEAST QUARTER OF SECTION 30, THE SOUTHWEST QUARTER OF SECTION 19, THE SOUTHWEST QUARTER OF SECTION 20 AND THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 5 NORTH, RANGE 1 WEST OF THE SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 30, BEING LOCATED NORTH 89°07'40" WEST 108.08 FEET FROM THE NORTHEAST QUARTER OF SAID SECTION, SAID POINT BEING ON THE EAST RIGHT-OF-WAY LINE OF 475 EAST; RUNNING THENCE ALONG SAID RIGHT-OF-WAY LINE NORTH 0°29'39" EAST 31.52 FEET; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY LINE NORTH 10°30'37" EAST 550.17 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE 84; THENCE ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING FOUR (4) COURSES: (1) SOUTH 69°16'26" EAST 760.06 FEET; (2) SOUTH 54°04'27" EAST 256.21 FEET; (3) SOUTH 61°31'38" EAST 202.46 FEET; (4) SOUTH 51°36'06" EAST 147.10 FEET; THENCE SOUTH 82°57'31" WEST 196.36 FEET; THENCE SOUTH 7°07'49" EAST 198.86 FEET; THENCE SOUTH 50°41'10" EAST 22.70 FEET; THENCE SOUTH 7°02'29" EAST 114.17 FEET TO THE RIGHT-OF-WAY LINE OF OLD FORT ROAD; THENCE ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES: (1) NORTH 85°35'49" WEST 889.13 FEET; (2) ALONG THE ARC OF A CURVE TO THE RIGHT 466.96 FEET, HAVING A RADIUS OF 311.00 FEET, A CENTRAL ANGLE OD 86°01'41", AND WHICH CHORD BEARS NORTH 42°34'59" WEST 424.31 FEET; (3) NORTH 02°29'39" EAST 3.15 FEET TO THE POINT OF BEGINNING. CONTAINING 18.02 ACRES, MORE OR LESS.

SURVEYOR'S CERTIFICATE

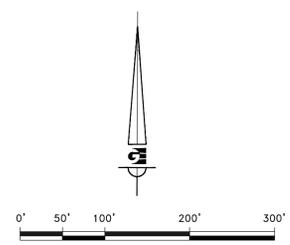
I, KLINT H. WHITNEY, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 8227228 IN ACCORDANCE WITH TITLE 58, CHAPTER 22. OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS RECORD OF SURVEY PLAT IN ACCORDANCE WITH SECTION 17-23-20 AND HAVE VERIFIED ALL MEASUREMENTS; THAT THE REFERENCE MONUMENTS SHOWN ON THIS RECORD OF SURVEY PLAT ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS SURVEY; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY.

SIGNED THIS 5TH DAY OF APRIL, 2021.



KLINT H. WHITNEY, PLS NO. 8227228

FOUND 3" BRASS WITNESS CORNER TO NORTH QUARTER SEC. 29, T5N, R1W, SLB&M
CALCULATED NORTH QUARTER CORNER SEC. 29, T5N, R1W, SLB&M



Scale in Feet
1" = 100'
LEGEND
DAVIS COUNTY MONUMENT AS NOTED
REZONE BOUNDARY
ADJACENT PARCEL
SECTION LINE
PROPOSED C-H ZONE

NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO RE-ZONE PARCEL NO.130180090 AND 130230214 FROM THE CURRENT AGRICULTURAL ZONE TO THE C-H HIGHWAY-COMMERCIAL ZONE. THE SURVEY WAS ORDERED BY PLEASANT VALLEY RANCH. THE CONTROL USED TO ESTABLISH THE BOUNDARY WAS THE EXISTING DAVIS COUNTY SURVEY MONUMENTATION AS SHOWN AND NOTED HEREON. THE BASIS OF BEARING IS THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 5, RANGE 1 WEST, OF THE SALT LAKE BASE AND MERIDIAN WHICH BEARS NORTH 89°07'40" WEST, UTAH NORTH NAD 83 STATE PLANE GRID BEARING.

OWNER'S AFFIDAVIT

I, THE UNDERSIGNED OWNER(S) OF THE HEREON DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE RE-ZONED INTO C-H ZONE OF SOUTH WEBER CITY.

SIGNED THIS ___ DAY OF ___, 2021.

PLEASANT VALLEY RANCH, LLC

BY: D. BRUCE STEVENS TITLE

SCALE: #####
DATE: 4-5-2021
DESIGN: _____
DRAWN: SGP
CHECKED: KHW

RE-ZONE PLAT FOR PLEASANT VALLEY RANCH
PARCEL NO. 130180090, 130230214, SOUTH WEBER, UTAH
LOCATED IN SECTIONS 19, 20, 29 & 30
TOWNSHIP 5 NORTH, RANGE 1 WEST, OF THE S.L.B.&M.

GARDNER ENGINEERING
CIVIL & LAND PLANNING
MUNICIPAL & LAND SURVEYING

5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066

S1
1

U:\GIS_SERVER\LOCAL_GARDNERENGINEERING\DRIVE\STEPHEN\SSOUTH WEBER COMMERCIAL SURVEY\SSOUTH WEBER COMMERCIAL REZONE.DWG

Legal Discription

BEG AT A PT ON THE MOST N'LY PT OF PPTY CONV IN SPECIAL WARRANTY DEED RECORDED 05/15/2019 AS E# 3160187 BK 7263 PG 1041; WH PT IS 318.20 FT S 00°36'39" W ALG THE E LINE OF THE NE 1/4 SEC 29-T5N-R1W, SLB&M, & 95.69 FT S 90°00'00" W & N 01°08'49" E 224.97 FT FR THE SW COR OF SEC 21-T5N-R1W, SLB&M; TH ALG THE E'LY LINE OF PPTY CONV TO STATE ROAD COMMISSION IN BK 566 PG 207 THE FOLLOWING TWO COURSES AS FOLLOWS: N 0°29'09" E 227.37 FT, M/L, ALG AN EXIST FENCE LINE TO AN ANGLE PT; TH N 10°12'06" E 443.39 FT, M/L, ALG A R/W FENCE TO A UDOT R/W BRASS CAP ON THE S LINE OF I-84; TH ALG SD S'LY LINE THE FOLLOWING 5 COURSES: S 69°26'42" E 760.06 FT, M/L, ALG SD S R/W; TH S 54°14'43" E 256.21 FT, M/L, ALG SD S R/W TO A UDOT BRASS R/W CAP; TH S 61°41'54" E 202.46 FT, M/L, ALG SD S R/W OF A UDOT BRASS R/W CAP; TH S 51°48'43" E 147.10 FT, M/L, ALG SD S R/W; TH S 82°46'08" W 196.36 FT; TH S 7°13'52" E 198.87 FT; TH S 50°52'33" E 22.70 FT TO THE E'LY R/W LINE OF AN EXIST POWER TRANSMISSION LINE; TH S 7°13'52" E 114.01 FT, M/L, ALG SD E'LY LINE TO THE N'LY LINE OF PPTY CONV IN SPECIAL WARRANTY DEED RECORDED 05/15/2019 AS E# 3160187 BK 7263 PG 1041; TH ALG SD N'LY LINE THE FOLLOWING TWO COURSES: N 85°56'36" W 889.03 FT & NW'LY A DIST OF 374.52 FT ALG THE ARC OF A 311.00 FT RADIUS CURVE TO THE RIGHT (LC BEARS N 51°26'38" W 352.30 FT) TO THE POB. CONT. 17.859 ACRES ALSO, BEG 1172.42 FT E FR THE NW COR OF SEC 28-T5N-R1W, SLB&M; & RUN TH E 148.58 FT, M/L, TO NW COR OF NE 1/4 OF NW 1/4 OF SD SEC 28; TH S 116 FT, M/L, ALG W LINE OF SD NE 1/4 NW 1/4; TH NW'LY 194.81 FT, M/L, ALG ARC OF A 11,339.16 FT RAD CURVE TO RIGHT; TH N 413.4 FT, M/L, TO POB. CONT. 0.22 ACRES TOTAL ACREAGE 18.079 ACRES (NOTE: THIS REMAINING LEGAL WAS WRITTEN IN THE DAVIS COUNTY RECORDER'S OFFICE FOR I.D. PURPOSES. IT DOES NOT REFLECT A SURVEY OF THE PROPERTY.)

<p>Planning Commission Meeting Date: 6-10-2021 Agenda Item: Discussion and consideration of bylaws for the South Weber City Planning Commission Staff Review: Shari Phippen, City Planner</p>	
Project Name: PC Bylaws	
Request: Review and adopt bylaws for the Planning Commission	
Property Address: N/A	
Applicant: N/A	
Governing Document(s): South Weber City General Plan, South Weber City Code 10-5-2, Article H	
Required Commission Action(s): Review the bylaws and make any amendments as agreed upon by a majority of Commissioners; once amendments have been made, the adopted bylaws will govern the Commission meetings and actions.	

Executive Summary

In early 2021, the South Weber City Council passed an ordinance amending Title 10, Chapter 3, which governs the makeup of the South Weber City Planning Commission (Ordinance 2021-01). The update states that the Commission can adopt bylaws that govern their conduct and meetings.

The Commission has previously reviewed the bylaws. As of today, all specific changes that were given to staff have been incorporated. A clean copy of the bylaws is attached, as well as a copy of the bylaws provided at the 4/8/2021, which show comments and questions previously posed by commissioners. No substantive changes have been made from the 4/8 draft, as no specific motions were passed that would require changes and additions to the bylaws.

Request Approval Standards

N/A

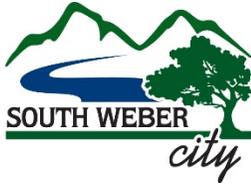
General Plan Analysis

N/A

Staff Analysis

Staff recommends one addition- under Section II-E, "Motions", I would recommend an addition at the beginning of that section that clarifies that the Chair calls for a motion. It is important to note that while there may be significant discussion and individual commissioners may wish to make a motion to amend or take another action, it is part of the Chair's role to grant a request to make a motion, or to call for a motion.

Other than that item, staff has no further suggestions for edits to the bylaws and believes they are ready for adoption.



Planning Commission Bylaws

I. ORGANIZATION

A. Appointment of the Chair and Vice Chair

1. According to City Code section 10-3-4, during February of each year, the Commission shall appoint a Chair and Vice Chair for the next year. Appointees shall assume their duties upon selection.
2. Appointment of the Chair and Vice Chair shall be done separately through open nomination for appointment from any Commissioner. If only one Commissioner is nominated for appointment for either position, an approval vote of the Commission shall determine the appointment. If more than one Commissioner is nominated for either appointment, a simple majority of the Commissioners present during a silent vote shall determine the appointee.
3. The term of the Chair and Vice Chair is determined in City Code.

B. Duties of the Chair

1. Review and approve agendas prior to Commission meetings;
2. Call meetings of the Commission to order on the day and time scheduled and proceed with the order of business;
3. Receive and submit, in the proper manner, all motions, recommendations, and propositions presented by the Commissioners;
4. Put to vote all issues and items which are properly moved upon, or necessarily arise in the course of the proceedings and to announce the result of any such actions taken;
5. Inform the Commission, when necessary, on any point of order to practice. In the course of discharge of this duty, the Chair shall have the right to call upon legal counsel or staff for advice;
6. Authenticate by signature all of the acts, findings, orders, and proceedings of the Commission;
7. Maintain order at all meetings of the Commission including the maintenance of a respectful, orderly, appropriate, and professional atmosphere;
8. Recognize speakers and Commissioners prior to receiving comments and presentations; and
9. Ensure the due process rights of all applicants and agenda items are protected..

C. Duties of the Vice Chair

1. The Vice Chair shall have and perform all the duties and functions of the Chair in the absence of the Chair.

2. Provide regular report to City Council on all acts, findings, orders, and proceedings of the Commission. Such report shall be prepared by staff and reviewed by the Chair and Vice-Chair prior to being presented to the Council;
3. Provide report and Commission recommendation to City Council on City Code-related concerns identified by the Commission during project reviews;

D. Temporary Chair

1. In the event of the absence or disability of the Chair and Vice Chair, and with a proper quorum present, a temporary Chair shall be appointed to conduct business prior to any agenda item to serve as the temporary Chair until the return of the either the Chair or Vice Chair.
2. The temporary Chair shall be nominated and appointed in the same manner as the regular nomination and appointment of the Chair.

E. Quorum

1. The number of Commissioners of necessary to constitute a quorum is three (3) or more. No action of the Commission shall be official or have any effect except when a quorum of the Commissioners is present.
2. Any Commissioner choosing to abstain from a vote on an agenda item shall be included when in consideration of a quorum. Any Commissioner disqualified under the terms of a conflict of interest shall not be included when considering the presence of a quorum.
3. When a conflict of interest results in a lack of Commissioners present to approve a motion, the issue, at the discretion of the Chair, may be heard by the Commission but may not have action taken upon it until an adequate amount of Commissioners can be present to properly vote on the issue.
4. No matters of business shall be heard, unless caused by a conflict of interest disqualification, unless a proper quorum is present. In the event a quorum is not present for a scheduled meeting of the Commission, the meeting shall be canceled, only after a reasonable allowance of time for a quorum to arrive, through a motion for adjournment. No second shall be required for such motion. In such an event, a proper quorum shall ratify the motion to adjourn due to lack of quorum before any matters of business are heard at the next scheduled Commission meeting. No meeting can be held nor agenda items considered without a quorum of members present. In the event a quorum is not present within fifteen (15) minutes after the scheduled start time for a meeting, it shall be cancelled. No vote is required to cancel a meeting for lack of a quorum, but a record shall be made stating that the meeting was cancelled for lack of a quorum.

F. Placing Items on the Agenda A request for an item to be on a Commission meeting agenda may be initiated by the Chair, three Commissioners, City staff with the support of the Chair, or an applicant that has submitted a complete application.

II. MEETINGS

A. Meeting Schedule

1. At one of the last regularly scheduled meetings of each year, the Commission shall have an agenda item to determine the general meeting schedule for the following year. Except for those meetings rescheduled or cancelled, meetings of the Commission are typically held on the 2nd Thursday of each month, are to begin promptly at 6:00 p.m., and are to be held in the City Council Chambers of South Weber City Hall. Alteration to the time of day or place a meeting is to be held may be made through notice and advertisement of the meeting which states the specific alteration(s).
2. The determination of the general meeting schedule shall take into consideration the dates for which meetings will be scheduled and the possibility of special meetings or the cancellation of meetings to avoid conflicts.
3. Every meeting of the Commission is to be open to the public and conducted in accordance with the Utah State Open and Public Meetings Act (U.C.A. 52-4-1 et. Seq.).

B. Procedure of Consideration of Agenda Items The following procedure will normally be observed for all agenda items, however, it may be rearranged at the discretion of the Chair for an individual item, for the expeditious conduct of business:

1. Introduction of the item by the Chair;
2. Staff presentation and analysis;
3. Presentation of the proposal by the applicant;
4. Public Hearing (as applicable)
5. Commission discussion. The discussion shall be confined to the Commission unless any Commissioner requests specific additional information from staff or the applicant(s); and
6. Motion and Vote. The Chair may outline the possible actions of approval, approval with conditions, tabling, or denial prior to entertaining a motion. Voting shall be in accordance with section F below.

C. Public Hearings

1. Procedure
 - a) Public hearings shall be opened by motion and vote of the Commission. Testimony by citizens present to discuss the item through comment or testimony of facts or arguments;
 - b) Rebuttal and concluding comments by the applicant, as the burden of proof rests with the applicant and is therefore given an opportunity to provide closing comments and testimony;
 - c) Upon conclusion of the closing comments, the public hearing shall be closed by motion and vote of the Commission.
2. Comments During Public Hearings
 - a) Comments, testimony, and presentations from the public shall be respectful, pertinent, relevant, concise, and confined within a three-minute timeframe. All public comment shall be directed toward the Commission.

b) A spokesman for a group of citizens wishing to make similar comments regarding the agenda item may be allowed a reasonable amount of additional time by the Chair.

c) The Chair shall have the ability to discontinue the receipt of public comment at his/her discretion if the commentary and testimony becomes repetitious, disrespectful, rude, or otherwise rowdy.

3. Commission Action. No Commission action shall be taken in a formal public hearing. Comments from the public shall be received and weighted but not responded to by the Commission during the public hearing.

D. Continuance of Agenda Items Review of any agenda item being held or noticed to be held by the Commission at any meeting of the Commission may, by order or notice of continuance, be continued or re-continued to any subsequent meeting.

E. Motions

1. Making a Motion. Any Commissioner, including the Chair, may make or second any motion.
2. Findings. Motions for approval, denial, or approval with conditions should state reasons, issues, and facts leading to the motion.
3. Motions repeated. Motions may be repeated for clarification, further understanding, or consideration at the request of any Commissioner, or by staff for the purpose of clarification for the official record.
4. Legal Counsel. Any Commissioner may request legal advice from the City legal counsel in the preparation, discussion, and/or deliberation of any motion.
5. Second Required. Each motion of the Commission must be seconded.
6. Withdrawing a Motion. After a motion has been stated, the motion resides in the possession of the Commission but may be withdrawn by the author of the motion at any time prior to the motion being put to vote. Withdrawal of a second shall become automatic with the withdrawal of the motion.
7. Motion to Table. A motion to table an agenda item shall be accompanied by the reasoning and rationale for the tabling, such as further study or pending further information review, and whenever possible, a specific date for which the issue would be reheard.
8. Amending Motions. When a motion is pending before the Commission, any Commissioner may suggest a motion amendment to the author of the motion at any time prior to the motion being put to vote. The amendment must be accepted by the author of the motion and the author of the second to amend a motion. Amendments to an amended motion shall be handled in the same manner as the original motion (motion to amend/second/vote of Commission).
9. Dead Motions. In the event that a seconded motion does not carry due to the lack of an adequate sustain vote, the motion is determined to be dead.

10. Motion to Adjourn. A motion to adjourn shall be required to conclude every Planning Commission meeting, following the addressing of each item on the agenda for that specific meeting.

F. Voting

1. Changing a Vote. No Commissioner shall be permitted to change his/her vote once the Chair has declared the result of the decision.
2. Abstention. Any commissioner may choose to abstain from voting on any agenda item if the Commissioner perceives a personal legal implication or other conflict. Commissioners wishing to abstain may remain at the Commission table but do not participate in the discussion. Reasoning for abstention is not required to be revealed prior to the vote being taken but must be disclosed as part of the Commissioner's declaration of abstention to ensure that no conflict of interest has occurred.
3. Roll Call Vote. A roll call vote shall be held to vote on motions made regarding:
 - a) The approval of an agenda item where the commission is the designated approving body; or
 - b) Recommendations to the City Council regarding ordinances, amendments to the City Code, or adoption or amendment of the General Plan.

III. RIGHTS AND DUTIES OF THE COMMISSIONERS

A. Meeting Attendance Every Commissioner shall attend each meeting of the Commission unless excused or unable to attend due to extenuating circumstances. Any Commissioner expecting to be absent from a meeting of the Commission shall notify the Chair and the City development staff a minimum of 24-hours before the meeting, except in the case of an emergency.

B. Not to Vote Unless Present No Commissioner shall be permitted to vote on any question, matter or business, or agenda item unless the Commissioner is present at the meeting in which the vote is taken in person or electronically and the result is announced regarding the issue. No Commissioner shall give his/her proxy to any other person to vote on any issue.

C. Conflict of Interest Conflicts of interest are determined to be any personal, familial, or financial tie between the Commissioner and the applicant or the item of any manner of business. If any Commissioner has a conflict of interest with an item on an agenda, the Commissioner shall declare the conflict before any testimony for that item is heard.

1. The Commissioner may then choose to step down from the Commission table and withdraw from discussion and voting on the agenda item. Following action by the Commission on the agenda item, the Commissioner may return to the Commission table and resume his/her duties as a Commissioner.
2. In the event the Commissioner declines his/her option to step down after declaring a conflict of interest, the Chair shall ask if any Commissioner wishes to request a vote on the conflict.

cheering, clapping, throwing objects, obscene gestures, harassing comments, or other similar or obnoxious behavior shall not be tolerated.

D. Due Process The Chair shall conduct each meeting in such a manner so as to afford due process throughout the proceedings.

E. Chair's Authority It shall be the authority and discretion of the Chair to order the removal of any individual member of the general public present at a Commission meeting, groups of the general public, or the removal of the general public present in its entirety, for the duration of the discussion and consideration regarding any single agenda item, or for the remainder of the meeting, if said person or groups of people become rude, disrespectful, disruptive, or otherwise rowdy towards the Commission, any single Commissioner, staff, the applicant, or other members of the general public.

F. Chair's Adjournment In the event of refusal to leave the meeting by any member of the general public under the authority granted under Section IV.E here in, it shall be the authority and discretion of the Chair to promptly adjourn any meeting of the Commission when said meeting becomes out of hand, unruly, overly disruptive, or otherwise inhibitive to the conduct of the City's business until such time as business can be conducted in an appropriate manner.

V. SUSPENSION OF RULES

A. Non-Exclusive Rules The rules set forth are not exclusive and do not limit the inherent power or general legal authority of the Commission, or its Chairperson, to govern the conduct of Commission meetings as may be considered appropriate from time to time or circumstances for the purposes of orderly and effective conduct of the affairs of the City.

B. Amendment and Adoption of Commission Bylaws Amendments and adoption of Commission bylaws to supersede those contained herein shall follow the same procedure as the adoption of these bylaws. A motion may be made by any Commissioner to review the bylaws for amendment at any time following their inception. A sustaining vote shall be required to open the review of the bylaws for amendment.

VI. RECORDING OF BYLAWS

A. These bylaws, and all subsequent amendments, shall be recorded by the City Recorder and copies of which shall be distributed to each Commissioner and the City development staff.