

## SOUTH WEBER PLANNING COMMISSION AGENDA

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PUBLIC NOTICE is hereby given that the Planning Commission of SOUTH WEBER CITY, Utah, will meet in a regular public meeting on Thursday January 13, 2022, in the Council Chambers, 1600 E. South Weber Dr., commencing at 6:00 p.m.

**OPEN** (Agenda items may be moved in order or sequence to meet the needs of the Commission)

1. Pledge of Allegiance: Commissioner Johnson
2. Public Comment: Please respectfully follow the guidelines below: Comments will also be accepted at [publiccomment@southwebercity.com](mailto:publiccomment@southwebercity.com) to be included with the meeting minutes.
  - a. Individuals may speak once for 3 minutes or less
  - b. State your name and address
  - c. Direct your comments to the entire Commission
  - d. Note: Planning Commission will not respond during the public comment period
3. Approval of Consent Agenda
  - a. PC2021-12-09 Minutes
4. **Public Hearing & Action on Preliminary Plat, Improvement Plans & Rezone for The Meadows Subdivision (34 Lot Plat) (Combined R-P & R-M Zoning) 13.75 acres located at approx. 750 E Old Fort Rd. by Applicant: Duane Johnson**
5. Site Plan Amendment South Weber Commercial: The Shops (previously approved as alpha coffee) located at approx 2532 E South Weber Dr. by Applicant: Dan Murray
6. Architectural Review for: Davis Aqueduct Reach 1 Pump Station located at approx. 7692 S Hwy 89 by Applicant: Weber Basin Water Conservancy District
7. Planning Commission Comments (Boatright, Davis, Losee, Johnson, Walton)
8. Special Recognition for Outgoing Planning Commissioner Wes Johnson (2014-2021)
9. Adjourn

In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the City Recorder, 1600 East South Weber Drive, South Weber, Utah 84405 (801-479-3177) at least two days prior to the meeting.

THE UNDERSIGNED DULY APPOINTED DEVELOPMENT COORDINATOR FOR THE MUNICIPALITY OF SOUTH WEBER CITY HEREBY CERTIFIES THAT A COPY OF THE FOREGOING NOTICE WAS MAILED, EMAILED, OR POSTED TO: 1. CITY OFFICE BUILDING 2. FAMILY ACTIVITY CENTER 3. CITY WEBSITE [www.southwebercity.com](http://www.southwebercity.com) 4. UTAH PUBLIC NOTICE WEBSITE [www.pmn.utah.gov](http://www.pmn.utah.gov) 5. THE GOVERNING BODY MEMBERS 6. OTHERS ON THE AGENDA

**DATE: December 31, 2021**

**DEVELOPMENT COORDINATOR: Kimberli Guill**

# SOUTH WEBER CITY PLANNING COMMISSION MEETING

**DATE OF MEETING:** 9 December 2021

**TIME COMMENCED:** 6:00 p.m.

**LOCATION:** 1600 E. South Weber Drive, South Weber, Utah

**PRESENT: COMMISSIONERS:**

Gary Boatright  
Jeremy Davis  
Wes Johnson  
Julie Losee  
Taylor Walton (excused)

**COMMUNITY SERVICE DIRECTOR:**

Trevor Cahoon

**CITY ENGINEER:**

Brandon Jones

**DEVELOPMENT COORDINATOR:**

Kimberli Guill

**Transcriber:** Minutes transcribed by Michelle Clark

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**ATTENDEES:** Paul Sturm, Rod Westbroek, Blair Halverson, Liz Rice, Brad Brown, Michael Grant, Charles Poll, Sky Hazlehurst, and Farrell Poll.

Commissioner Boatright welcomed those in attendance and excused Commissioner Walton.

**PLEDGE OF ALLEGIANCE:** Commissioner Boatright

**2. Public Comment:** Anyone requesting to comment live via Zoom must pre-register at the following <https://forms.gle/PMJFhYFJsD3KCi899> before 5 pm on the meeting date.

Comments will also be accepted at [publiccomment@southwebercity.com](mailto:publiccomment@southwebercity.com)

- a. Individuals may speak once for 3 minutes or less.
- b. State your name and address.
- c. Direct comments to the entire Commission
- d. Note Planning Commission will not respond during the public comment period.

**Paul Sturm, 2527 Deer Run Drive,** commented on agenda item #2. He opined the preliminary plan doesn't meet city code and needs another rezone. He is also concerned the developer is requesting a waiver from city code for the fencing requirement between R-7 and lower density zones. He questioned who is the property owner Jane Poll or Farrell Poll. He is concerned the private right-of-way may not meet city code. He queried about the fencing of nearby property owners. He is concerned about the safety factor with inside storage.

**ACTION ITEMS:**

**3. Approval of Consent Agenda**

- **Planning Commission Minutes of 10 November 2021**

Commissioner Johnson moved to approve the consent agenda. Commissioner Losee seconded the motion. A roll call vote was taken. Commissioners Boatright, Davis, Johnson, and Losee voted aye. The motion carried.

Commissioner Losee moved to open the public hearing for Preliminary Plat, Improvement Plans (for entire development) & Conditional Use (for CH zone over 1 acre) for South Weber Gateway Project (62 Lot R-7 Residential) & (18,824 sq ft. C-H Commercial) located at approx. 2350 E South Weber Drive by Applicant Brad Brown from Colliers International. Commissioner Davis seconded the motion. A roll call vote was taken. Commissioners Boatright, Davis, Johnson, and Losee voted aye. The motion carried.

\*\*\*\*\* PUBLIC HEARING \*\*\*\*\*

**4. Preliminary Plat, Improvement Plans (for entire development) & Conditional Use (for CH zone over 1 acre) for South Weber Gateway Project (62 Lot R-7 Residential) & (18,824 sq ft. C-H Commercial) located at approx. 2350 E South Weber Drive by Applicant Brad Brown from Colliers International:**

Community Service Director Trevor Cahoon explained the South Weber Gateway has been working on a potential development for the proposed site for several years. After development plan negotiations the City Council requested the developer to move forward with a rezone application. In July 2021 the property rezone request was approved by the City Council to have the front portion of the property rezoned to commercial highway (C-H) and the back portion of the property as Residential Multi-Family (R-7). The application has met all requirements of a preliminary application and has been passed forward to the Planning Commission for consideration.

The project totals 11.64 acres split into two different zones.

- 2.6 acres is commercial
- 9.04 acres is R-7 which meets the acreage allowed to be zoned R-7.

Trevor reported after a tertiary review of the preliminary application for South Weber Gateway Development, city staff recommended approval subject to the conditions listed below:

- Private Right-of-way: Developer has submitted a project that includes a private road to the residential portion of the property. This does not currently meet city code; however, the City Council is reviewing a Private Right-of-way ordinance at the December 7 City Council meeting. The road proposed does meet the requirements of the drafted ordinance under consideration. Approval would be based on the outcome of that decision. Developer was made aware of this condition and made the decision to proceed with the application without a decision.
- Buffer Yard: Recommendation to the City Council to waive the requirement for a 6-foot masonry wall in the buffer yard, in favor of a raised 3-foot berm with a 3-foot vinyl fence on the crest of the hill.

- **Screening Fence:** A screening fence is not included between the residential zones to the rear of the property. Fencing is currently provided for most of the homes in the area. Preliminary approval can be given with the condition that the intent of this requirement is met. City Council will need to determine if this requirement is satisfied due to natural buffering on the south end of the property and the existence of current fencing on properties.

#### **Additional Update:**

In the C-H Zone the setback for the rear of the project needs to be 20' from a residential zone, and the side setback needs to be 10' from residential zones. The area illustrated with the building that will be in phase 3 would be out of compliance with this portion of the code. The city staff recommends add as a condition of approval to correct the setbacks.

#### **Setbacks:**

Trevor explained there have been questions about the front, side and rear setbacks. In the R-7 zone zero lot lines are not allowed; therefore, this project would have to be individual condo units to be sold. This would make this development multiple dwellings on the same lot.

In the review with the city attorney, the townhomes setbacks comply, because in South Weber setbacks are determined by the lot and not by the orientation of the building.

#### **Private ROW:**

Trevor expressed the Private ROW ordinance was continued by the City Council. This project, as it was submitted, is dependent on a private access road to the buildings. This doesn't currently meet code.

#### **City Engineer Brandon Jones review of 1 December 2021 is as follows:**

##### **STAFF ASSESSMENT**

- **Zoning:** The property is zoned C-H and R-7.
- **City Code & Public Works Standards:** The preliminary plans meet the requirements of the City Code and City Standards, except for:
  - **Private street:** The proposed private street for the townhomes is not currently allowed in the R-7 zone unless it is a PUD. This development is not requesting a PUD overlay. However, the proposed street cross section does match Section B in the private streets ordinance previously recommended for approval by the Planning Commission and currently being considered by the City Council.
- **Geotechnical Report & Sensitive Lands:** In order to meet the requirements of CC 10-14 (Sensitive Lands Development Regulations), a Phase I Environmental Assessment (dated August 27, 2021) and Geotechnical Study (dated September 17, 2021) were performed. The preliminary plans are in compliance with these studies. The final plans will need to incorporate any applicable recommendations.
- **Traffic Impact Study:** A TIS (dated November 4, 2021) was provided to the city for review. Comments were provided and the study was updated (dated November 23, 2021). A final version was submitted to the city on December 1, 2021. Manual trip counts were taken on November 17, 18, and 19 (Wednesday – Friday) to establish existing conditions. The intersections of 2100 E. and 2700 E. were studied for both existing and future conditions. The two new proposed accesses for the development were studied for future conditions. Both AM and PM peak hours were evaluated. The study determined that “during the peak hours, all study intersections

remained at the same LOS with the addition of the South Weber Gateway development. The two site access intersections will both operate at a lowest approach LOS of C.” The design recommendations include “utilizing the existing two-way left-turn lane for left turning west bound traffic entering the development. Restriping for a right turn lane is recommended for east bound traffic entering the development at the East and West Access intersections.” The preliminary plans show these improvements.

- **Phasing:** The preliminary plan includes a phasing plan that shows three phases. Phase 1 includes 31 townhomes and 3 commercial buildings (4,244 sf). Phase 2 includes 31 townhomes and 1 commercial building (2,322 sf). Phase 3 includes 2 commercial buildings (10,523 sf). All utilities necessary for each phase will be installed with that phase.
- **Buffer Yard:** Rather than install a full 6’ tall masonry fence between the C-H and R-7 zones as required in CC 10-15, the developer is proposing a berm with a smaller fence on top, as they feel it provides a better look and feel for the overall development. CC 10-15- 7 allows any provisions contained in this chapter to be waived (with just cause). If the Planning Commission agrees with this proposed change to the buffer yard, then they need to make that recommendation to the City Council.
- **Architectural Site Plan Approval:** Both the C-H and R-7 zones require architectural site plan approval in accordance with the requirements of CC 10-12. The Planning Commission “shall determine if the proposed architectural and development plans submitted are consistent with this Chapter and with the purpose and objectives of this Title.” This will need to be reviewed as part of the final approval.

Commissioner Boatright asked if there was any public comment.

**Liz Rice, 7875 S. 2310 E.,** voiced it being difficult to have a conversation with the city’s public comment requirements. She expressed this process began before amending the general plan. She feels this is the best plan and the developer is meeting the requirement for R-7. Her family hopes the Planning Commission remembers they have done their best.

**Paul Sturm, 2527 Deer Run Drive,** expressed concerns with agenda item #4. He questioned if the Traffic Impact Study and dictate that UDOT restripe South Weber Drive to have an eastbound right turn lane into the development. He is concerned about the phasing aspect of the development and how the phasing agreement will be enforced. He questioned if a surety bond should be levied on this project to reduce risk to South Weber City. He opined the conditional use application is not complete.

**Farrell Poll, 2316 E. 7800 S.,** agreed with his sister, Liz Rice, concerning public comment. He feels public comment should be following the discussion. Their family has submitted several different plans. Colliers International is not purchasing the property. He is frustrated with individuals scrutinizing every little thing. He feels this development will benefit the community and residents in a common way.

**Charlie Poll, 2300 E. South Weber Drive,** discussed the parking problems with Highmark School. He opined the parking problem is Highmark’s problem and not this development.

**Michael Grant, 2622 Deer Run Drive,** acknowledged people have property rights but rules need to be followed.

**Farrell Poll, 2316 E. 7800 S.**, pointed out the city owned property on South Weber Drive will have traffic issues and the city should keep that in mind.

**Commissioner Johnson moved to close the public hearing for Preliminary Plat, Improvement Plans (for entire development) & Conditional Use (for CH zone over 1 acre) for South Weber Gateway Project (62 Lot R-7 Residential) & (18,824 sq ft. C-H Commercial) located at approx. 2350 E South Weber Drive by Applicant Brad Brown from Colliers International. Commissioner Losee seconded the motion. A roll call vote was taken. Commissioners Boatright, Davis, Johnson, and Losee voted aye. The motion carried.**

**\*\*\*\*\* PUBLIC HEARING CLOSED \*\*\*\*\***

**Brad Brown, of Colliers International**, acknowledged they are seeking a site plan approval and recognize the setback issues and with comply with the city's private right-of-way requirements. He addressed the request for a berm, which would allow for a more open space feel. He feels they have been good partners with the city in trying to get what the city wants.

Commissioner Davis asked about the buffer yard. Trevor replied that the city code allows for City Council to waive the buffer requirement. He stated the setback is 20'. Commissioner Losee discussed a masonry fence and 20' trees requirement for the buffer. She questioned how the 20' setback from commercial and residential applies. Trevor explained the city code allows for multiple buildings on the same lot. R-7 allows for multi-family. Commissioner Losee referenced state code. Trevor explained the difference between a condominium (own air space) verses a townhome (own ground underneath). Brandon added a Planned Unit Development (PUD) allows for a zero-lot line and this development isn't a PUD. Trevor explained the buildable area is 30' from South Weber Drive.

Commissioner Losee questioned the buffer yard. She is concerned with the commercial space in the northeast section and the approach towards the retention pond and safety. Trevor discussed there is no buffer zone requirement for the area Commissioner Losee is questioning because it is in the commercial highway zone. Brad Brown discussed this development having a community feel with the berm and rail fencing.

Commissioner Losee asked the maximum height of the buildings. Trevor replied the maximum height is 35'. Commissioner Losee asked if the landscape plan is complete and how is the hillside maintained. Brad reported the Fire Chief Tolman has reviewed the plan and given approval. It was stated there will be no watering of the hillside.

Commissioner Losee addressed the geotechnical report and what needs to be done with Army Corp of Engineers signing off of the identified wetland area. City Engineer Brandon Jones reported it is not a regulatory wetland and doesn't need to be signed off.

Commissioner Losee discussed parking. Brandon explained 4 of the 6 buildings have a drive-through and will require less parking. He reported the development meets the city code parking requirement.

Commissioner Losee asked about garbage collection for commercial. Trevor pointed out the garbage collection areas. Commissioner Losee discussed the traffic study. Trevor explained there is a right turn only into the development, which limits on street parking. He expressed with traffic studies the landowner can only control what happens on their land. Brandon explained when Highmark Charter School was approved, they stated their plan included the traffic they generate, which they are responsible for. He acknowledged the developer is accommodating what they need to do for their development.

Commissioner Johnson is concerned about the density and asked if the hillside was included in the calculation. It was reported this development followed city code with density calculation, fire code, parking, and ingress/egress.

Discussion took place regarding the trail. Farrell Poll expressed the city needs to approach Mark Fernelius. Brandon stated the developer has identified the trail on the plat; however, the city will need to work with surrounding property owners.

Commissioner Boatright feels this development is a nice balance of residential and commercial. He trusts the city staff review and recommendation for this development. He favored the berm and rail fencing.

Sky Hazelhurst, of Colliers International, stated if this follows code, he requested approval with conditions.

Commissioner Losee voiced her hesitation to approve this development tonight when the private right-of-way ordinance hasn't been approved by the City Council.

**Commissioner Davis moved to approve the Preliminary Plat, Improvement Plans (for entire development) & Conditional Use (for CH zone over 1 acre) for South Weber Gateway Project (62 Lot R-7 Residential) & (18,824 sq ft. C-H Commercial) located at approx. 2350 E South Weber Drive by Applicant Brad Brown from Colliers International subject to the following conditions:**

- 1. Recommend approval of the buffer yard alternative proposed by the Developer to the City Council.**
- 2. The required screening between R-7 and lower density zones has been satisfied in accordance to City Code and present conditions on the property.**
- 3. Final Subdivision Plat includes proper setbacks for all zones.**
- 4. A decision of the Private Right-of-Way ordinance that facilitates the current layout of the development.**
- 5. All other recommendations notated by the City Engineer and City Planner have been incorporated into the final application.**

**Commissioner Boatright seconded the motion. A roll call vote was taken. Commissioners Boatright, Davis, and Johnson voted aye. Commissioner Losee voted nay. The motion carried 3 to 1.**

### **5. Discussion: Landscape Ordinance**

The Planning Commission agreed to move this item to another meeting.

## **6. Planning Commission Training: Property/Vesting Rights**

Community Service Director Trevor Cahoon conducted training for the Planning Commission on property/vesting rights.

Trevor explained one of the most important rights associated with property ownership is the ability to adapt or develop it for some profitable or desirable use. Development and use of property supports economic growth and contributes to the public welfare.

### **May the Government Regulate the Uses and Improvements on my Property?**

All property is subject to reasonable control and regulation by government entities. Local governments regulate the uses and improvements of property to protect and promote the health, safety, and welfare of the public. Proper zoning ordinances promote economic growth and help maintain strong and vibrant communities.

### **What if I disagree with a Zoning Ordinance's Restrictions?**

Any citizen may petition their local government to consider a change to zoning ordinances. Local governments have wide latitude to adopt and amend zoning ordinances as a part of their authority to promote the public welfare. Unless it can be shown that the zoning ordinance does not advance the general welfare, or that the ordinance violates constitutional rights or some other controlling statute, the regulation will be upheld.

### **What If I Don't Want a Proposed Development to be approved?**

Any aggrieved party may participate in public hearings concerning proposed developments. Notices of public hearings are available at local government offices or websites, in certain other public places, and in local newspapers. There are some "routine" zoning decisions or interpretations of a zoning ordinance and certain other matters that are made without a public hearing. Any aggrieved party may appeal a final decision on a proposed development.

### **When do I have a right to Develop?**

The Vested Rights Rule provides that an applicant for subdivision approval or a building permit is entitled to approval if the application is complete, and complies with the zoning requirements in place on the date the application is submitted. Put simply, the vested rights rule means that the government cannot change the zoning rules after an application is filed.

### **What is meant by the "Vested Rights Rule"?**

The "Vested Rights Rule" means that an applicant for a land use or a development is entitled to consideration and approval if the application is complete, and if it complies with all zoning requirements in place at the time of the application. Put another way, the right to develop "vests" when a complete application that complies with zoning ordinances is submitted.

**What do vested rights mean to an applicant?** An applicant whose rights have vested is entitled to consideration of the application under the ordinances in place when the application is filed, and approval of the application under the zoning ordinances in place, even if the ordinances are subsequently changed.

### **Are There Exceptions to the Vested Rights Rule?**

- An applicant cannot claim vested rights if the process to change a zoning ordinance that would affect the application has been initiated before the application was submitted, and the ordinance changes is ultimately approved.
- An applicant may not gain vested rights if the local government can show that there is a “compelling, countervailing” public interest that would be jeopardized if the proposed development were carried out.
- The Utah Code provides that The “Vested Rights Rule” means that an applicant for a land use or a development is entitled to consideration and approval if the application is complete, and if it complies with all zoning requirements in place at the time of the application. Put another way, the right to develop “vests” when a complete application that complies with zoning ordinances is submitted.

### **When is an Application Considered Complete?**

An application is complete when it is submitted in a form that complies with the applicable requirements of a local zoning ordinance and all required fees have been paid.

### **What if an Ordinance Changes before an Application is Complete?**

- The Vested Rights Rule provides that an applicant is entitled to approval if the development application complies with the zoning ordinances in place when the application becomes complete.
- The “Vested Rights Rule” means that an applicant for a land use or a development is entitled to consideration and approval if the application is complete, and if it complies with all zoning requirements in place at the time of the application. Put another way, the right to develop “vests” when a complete application that complies with zoning ordinances is submitted.

### **Western Land Equities v. City of Logan**

- An owner of property holds it subject to zoning ordinances enacted pursuant to a locality’s police power.
- An applicant for subdivision approval or a building permit is entitled to favorable action if the application conforms to the zoning ordinance in place at the time of application, unless changes in the zoning ordinance are pending which would prohibit the use applied for, or unless there are compelling, countervailing reasons to deny the application.
- An applicant for approval of a planned and permitted use should not be subject to shifting policies that do not reflect serious public concerns. It is incumbent on a local government to act in good faith and not reject an application to simply substitute the judgment of current officials for that of their predecessors.

### **Scherbel v. Salt Lake City**

- A city council under the council-mayor form of government should not hear appeals from zoning decisions made by the planning commission.
- An applicant for subdivision approval or a building permit is entitled to favorable action if the application conforms to the zoning ordinance in place at the time of the application, unless changes in the zoning ordinance are pending, which would prohibit the use applied for, or unless there are compelling, countervailing reasons to deny the application.

- If an application does not conform to the requirements of a zoning ordinance, it cannot serve to vest any right in a particular zoning classification. Thus, if an application does not meet the requirements for a land use, no rights in that application vest.

**7. Planning Commission Comments**

**Commissioner Losee:** requested if a plan is a PUD and HOA, it should be included in the preliminary plat. She doesn't favor the buffer yard, doesn't agree with setbacks, and parking for the preliminary plat on tonight's agenda.

**Commissioner Davis:** directed Trevor to look at policy procedure for public hearing public comments and the location on the agenda. He noted public comment is not for discussion purposes.

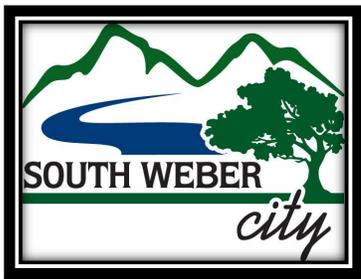
**Commissioner Boatright:** thanked Mayor Sjoblom and Councilman Winsor for their service to the city. He is looking forward to serving with Rod Westbroek and Joel Dills.

**ADJOURNED:** Commissioner Johnson moved to adjourn the Planning Commission meeting at 8:06 p.m. Commissioner Losee seconded the motion. Commissioners Boatright, Davis, Johnson, and Losee voted aye. The motion carried.

**APPROVED:** \_\_\_\_\_ Date  
Chairperson: Gary Boatright

\_\_\_\_\_  
Transcriber: Michelle Clark

\_\_\_\_\_  
Attest: Development Coordinator, Kimberli Guill



# 4 The Meadows Preliminary

## Subdivision Dashboard Planning Commission

**Development :** The Meadows



### Quick Stats

#### Units Per Acre

R-P 2.55 R-M 2.28

#### Zoning

Rezoned to R-P & R-M

#### Total Open Space

1.25 Acres 13.3%

#### Total Acreage

R-P 9.38 & R-M 4.37

### Meets City Code

Yes  No

### Meets General Plan

Yes  No

### Rezone Required

Yes  No

### Conditional Use

Yes  No

### Preliminary Tasks

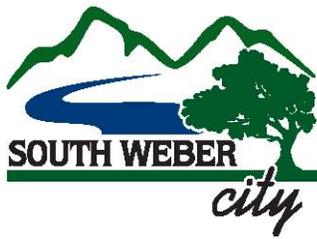
Complete all additions/alterations/requirements set at the Sketch Plan

- 1 Set of Mailing Labels listing the names/ mailing addresses for property owners within 300' of the outer boundaries of the property.
- A list of delineating parcel numbers for each of the surrounding property owners.
- Current Title Report and proof of Title Insurance
- Draft of easements/agreements with adjacent property owners (if applicable)
- Draft of Covenants, Conditions & Restrictions (if applicable)
- Completed Utility Notification Form
- A letter of approval from applicable secondary water provider stating dates of plans reviewed and date of approval.
- A written statement from the Army Corps of Engineers regarding wetland mitigation (if applicable)
- Preliminary Storm Drain Calculations
- Geotechnical Report
- Traffic Impact Study (if recommended at Sketch Plan)

### Comments

All aspects of this development have been found in compliance with City Code and meet the necessary requirements of the preliminary application.

The application of the the Residential Patio zoning designation is consistent with the general plan and meets the character of the surrounding neighborhoods.



# STAFF MEMORANDUM

4 The Meadows Preliminary

1600 E. South Weber Drive  
South Weber, UT 84405

www.southwebercity.com

801-479-3177  
FAX 801-479-0066

To: Planning Commission  
From: Trevor Cahoon, Community Services Director

Re: The Meadows – Preliminary Subdivision

Project Information	
<b>Project Name</b>	The Meadows
<b>Site Location</b>	750 E Old Fort Road
<b>Tax ID Number</b>	130180088
<b>Applicant</b>	Duane Johnson
<b>Owner</b>	Gordon Taylor, Brandon Taylor, Heidi & Watts Dixon
<b>Proposed Actions</b>	Preliminary Subdivision & Rezone to R-M and R-P
<b>Current Zoning</b>	Agricultural
<b>General Plan Land Use Classification</b>	Residential Moderate with Residential Patio Overlay
<b>Gross Site</b>	13.73
<b>Total Units</b>	34
<b>Units Per Acre – R-P (Max 4)</b>	2.55
<b>Units Per Acre – R-M (Max 2.8)</b>	2.28

## ACTION

Administrative Action: Preliminary approval by Planning Commission on Subdivision.

Advisory Action: Recommend Rezone to R-M and R-P.

## STAFF REVIEW SUMMARY

Trevor Cahoon, Community Services Director, and Brandon Jones, City Engineer, have reviewed the preliminary application and found its contents to be consistent with City Code and recommend approval of the preliminary application and subsequent rezone of the property.

### Items of Note:

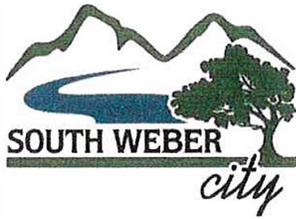
- This property will be split zoned to maintain compliance with the zoning acreage restriction of the Residential Patio zoning district.
- Landscape requirement request for a reduction to 10% required landscaped space for exceptional design. The minimum landscape that is required for a project utilizing the R-P zoning designation is 15% but with exceptional design the developer can request a 10% minimum. Developer has included a paved walking path, as well as many trees and a pavilion for the detention basin. Staff feels that these improvements will make this park more usable and will generate a better asset than a simple grassed detention basin. (see City Code 10-5P-10)

- Phasing for the project will have 3 components. Phase one will not have more than 30 units feeding through the single outlet and so would be permissible under the code requirements. Construction of Old Fort Road would be required prior to any other occupancy on the second two phases. This is set to happen in phase 2.
- 6' solid vinyl fence is proposed between R-P and R-M zones. 6' chain link is proposed along the east and south boundaries. 6' masonry fence is proposed along Old Fort Road.
- A turn around on Old Fort Road will be required for the construction of this road because the length exceeds the maximum required. This turn around will be temporary once the road continues through to the next property and will be removed.
- A Cost Share (Reimbursement) Agreement is needed before final approval. This will cover what the City owes the developer for the upsize of Old Fort Road, storm drain facilities, water facilities. This cost will be reimbursed to the developer through the collection of impact fees.

#### **PLANNING COMMISSION RECOMMENDATION OPTIONS**

After careful consideration of the information presented, the South Weber Planning Commission moves to:

1. Approve the Preliminary Application for The Meadows and recommend the rezone request from Agricultural to Residential Moderate and Residential Patio as outlined in the preliminary application.
2. Approve the Preliminary Application for The Meadows, and recommend the rezone request from Agricultural to Residential Moderate and Residential Patio as outlined in the preliminary application, with the following conditions or recommendations:
  - a. *(Any conditions that need to be met)*
3. Deny the Preliminary Application for The Meadows for the following reasons:
  - a. *(List reasons based upon City Code.)*
4. Continue the Preliminary Application for The Meadows for consideration at a future date.



1600 E. South Weber Drive  
 South Weber, UT 84405      www.southwebercity.com      801-479-3177  
 FAX 801-479-0066

Approved by PC \_\_\_\_\_  
 Approved by CC \_\_\_\_\_

OFFICE USE ONLY

	1-10 lots	11 + lots	Amt Pd	Date	Rcpt #	Mtg date
<b>Concept</b>	\$ 200.00	\$ 400.00	\$400	3/17/21	5001143	3/8/2021
<b>Sketch</b>	\$ 400.00	\$ 700.00	\$900	4/27/21	5001236	5/3/2021
<b>2nd Sketch</b>	\$ 300.00	\$ 350.00				
<b>Prelim</b>	\$ 600.00	\$ 900.00	\$900	7/12/21	5001417	1/13/2022
<b>Final</b>	\$ 700.00	\$ 1,100.00				

**SUBDIVISION/LAND USE PROCESS APPLICATION**

Project/Subdivision Name: Watts Property/The Meadows  
 Approx. Location: 750 East ~~South Weber Drive~~ Old Fort Rd.  
 Parcel Number(s): 13-018-0088 Total Acres: 13.75 Acres  
 Current Zone: A If Rezoning, to what zone: R-P Bordering Zones: R-M, R-P & A  
 Surrounding Land Uses: Residential and agricultural  
 Number of Lots: 34 # of Lots Per Acre: 2.8 PUD: Yes No

**Developer or Agent**

Name: Duane Johnson  
 Company: \_\_\_\_\_  
 Address: P.O. Box 643  
 City/State/Zip: Layton, UT 84041  
 Phone: 801-644-3436  
 Email: soderbyllc@outlook.com

**Developer's Engineer**

Name: J. Nate Reeve  
 Company: Reeve & Associates, Inc.  
 Address: 5160 S 1500 W  
 City/State/Zip: Riverdale, UT 84405  
 Phone: 801-621-3100  
 Email: nreeve@reeve-assoc.com  
 State License # 375328

**Property Owner, if not Developer**

Gordon Taylor & Brandon Taylor  
 Name: Dixon, Heidi & Watts  
 Company: \_\_\_\_\_  
 Address: 3137 East Warm Springs Rd,  
STE. 100  
 City/State/Zip: Las Vegas, NV 89120  
 Phone: \_\_\_\_\_  
 Email: \_\_\_\_\_

**Surveyor, if not Engineer**

Name: Same as Engineer  
 Company: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Email: \_\_\_\_\_

**Development Signs:**

Please note that a building permit is required for all temporary subdivision signs. Signs cannot obstruct clear and free vision and must comply with all City Codes. Failure to comply will result in sign removal.

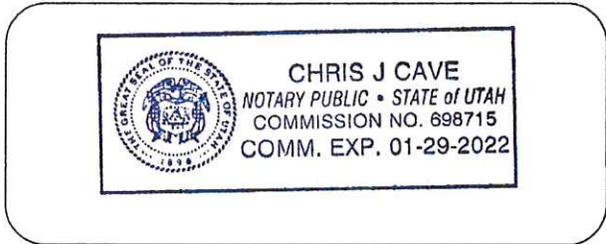
**Applicant Certification**

I swear the statements and answers contained herein, in the attached plans, and other exhibits, thoroughly, to the best of my/our ability, present the argument in behalf of the application requested herewith, and that the statements and information above referred to are in all respects true and correct to the best of my/our knowledge and belief. I also certify that I am the owner of the subject property and that the authorized agent noted in this application has my consent to represent me with respect to this application and to appear on my/our behalf before any city commission, board or council considering this application. Should any of the information or representations submitted be incorrect or untrue, I understand that The City of South Weber may rescind any approval or take any other legal or appropriate action. I also acknowledge that I have reviewed the applicable sections of the South Weber City Land Development Code (SWMC 11) and that items and checklists contained in this application are basic and minimum requirements only and that other requirements may be imposed that are unique to individual projects or uses. Additionally, I agree to pay all fees associated with this project, as set by the current adopted Consolidated Fee Schedule as well as **any fees associated with any City Consultant (i.e. engineer, attorney)**. The applicant shall also be responsible for all collection fees incurred including a collection fee of up to 40% (pursuant to the provisions of the Utah Code Ann. §12-1-11). I also agree to allow the Staff, Planning Commission, or City Council or appointed agent(s) of the City to enter the subject property to make any necessary inspections thereof.

Applicant's Signature: [Signature] Date: 2-24-21

State of Utah, County of Davis  
Subscribed and sworn to before me on this 24 day of February, 2021  
By Duane W. Johnson

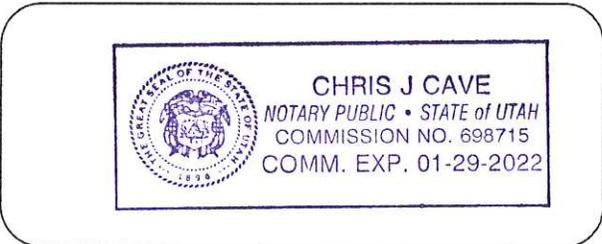
Notary [Signature]



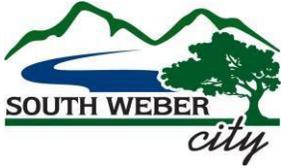
Property Owner's Signature: [Signature] Seal  
Date: 2/24/2021

State of Utah, County of Davis  
Subscribed and sworn to before me on this 24<sup>th</sup> day of February, 2021  
By Brandee Watts

Notary [Signature]



Seal



**APPLICATION PROCESS: (If applicable)** Please submit all requested items and answer all questions as completely as possible, omissions may delay processing. If there are any questions, contact the City Office at (801) 479-3177.

- Application
- Site plan, if applicable
- Copy of the recorded plat showing subject property (clearly marked) and all properties within 300 feet (front, back and sides). This information is available at the Davis County Recorder's Office.
- One set of labels with names and mailing addresses of all property owners within 300 feet of the outer boundary of subject property. Including "Or current resident" is recommended. Names are available at Davis County Assessor's Office. Allow 2 days for processing. The Assessor can also provide the labels for an additional fee.
- A list of the above names and addresses.

**ZONE CHANGE APPLICATION (If applicable)**

Approx. Location: 750 E. Old Fort Rd.

Parcel Number(s): 13-018-0092 Total Acres: 13.75

Request: 4.37 Acres changed from A Zone to R-M Zone

9.38 Acres changed from A Zone to R-P Zone

Legal Description: (attach if too large) \_\_\_\_\_

PART OF THE NORTH HALF OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 BEGINNING AT A POINT, SAID POINT BEING N00°36'39"E 559.50 FEET AND S89°23'21"E 2138.85 FEET FROM THE WEST QUARTER CORNER OF SAID SECTION 28; THENCE N01°06'20"E 1213.28 FEET; THENCE N00°00'29"E 34.50 FEET; THENCE S45°17'37"E 100.00 FEET; THENCE S45°05'19"E 81.00 FEET; THENCE S38°52'37"E 99.24 FEET; THENCE S45°28'37"E 494.26 FEET; THENCE ALONG A NON-TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 11329.16 FEET, AN ARC LENGTH OF 167.09 FEET, A DELTA ANGLE OF 00°50'42", A CHORD BEARING OF S40°41'16"E, AND A CHORD LENGTH OF 167.09 FEET; THENCE S04°11'09"W 64.99 FEET; THENCE S01°01'06"W 176.96 FEET; THENCE S00°15'50"W 327.74 FEET; THENCE WEST 666.06 FEET TO THE POINT OF BEGINNING.  
 CONTAINING 604,881 SQUARE FEET OR 13.886 ACRES MORE OR LESS.

Proposed Use: Residential

How does this use support the City's General Plan? \_\_\_\_\_  
Project matches General Plan

**Public Notice Authorization:** I do hereby give permission to South Weber City to place a public notice sign on the property contained herein for the purpose of citizen notification of this proposed change in zoning.

**Development Signs:**

Please note that a building permit is required for all temporary subdivision signs. Signs cannot obstruct clear and free vision and must comply with all City Codes. Failure to comply will result in sign removal.

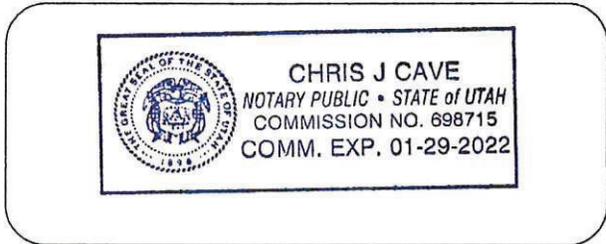
**Applicant Certification**

I swear the statements and answers contained herein, in the attached plans, and other exhibits, thoroughly, to the best of my/our ability, present the argument in behalf of the application requested herewith, and that the statements and information above referred to are in all respects true and correct to the best of my/our knowledge and belief. I also certify that I am the owner of the subject property and that the authorized agent noted in this application has my consent to represent me with respect to this application and to appear on my/our behalf before any city commission, board or council considering this application. Should any of the information or representations submitted be incorrect or untrue, I understand that The City of South Weber may rescind any approval or take any other legal or appropriate action. I also acknowledge that I have reviewed the applicable sections of the South Weber City Land Development Code (SWMC 11) and that items and checklists contained in this application are basic and minimum requirements only and that other requirements may be imposed that are unique to individual projects or uses. Additionally, I agree to pay all fees associated with this project, as set by the current adopted Consolidated Fee Schedule as well as **any fees associated with any City Consultant (i.e. engineer, attorney)**. The applicant shall also be responsible for all collection fees incurred including a collection fee of up to 40% (pursuant to the provisions of the Utah Code Ann. §12-1-11). I also agree to allow the Staff, Planning Commission, or City Council or appointed agent(s) of the City to enter the subject property to make any necessary inspections thereof.

Applicant's Signature: [Signature] Date: 2/24/21

State of Utah, County of Davis  
Subscribed and sworn to before me on this 24 day of February, 2021  
By Duane W. Johnson

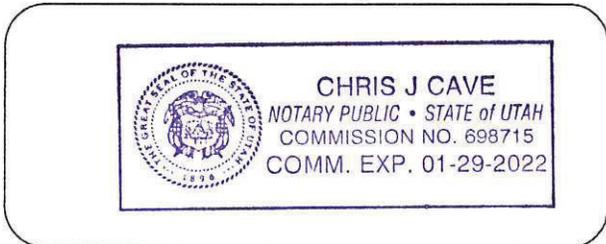
Notary [Signature]



Property Owner's Signature: [Signature] Seal  
Date: 2/24/2021

State of Utah, County of Davis  
Subscribed and sworn to before me on this 24<sup>th</sup> day of February, 2021  
By Brandee Watts

Notary [Signature]



Seal



REVISIONS	DATE	DESCRIPTION
	8-9-21	CITY COMMENTS
	9-8-21	CITY COMMENTS
	10-26-21	CITY COMMENTS
	11-24-21	CITY COMMENTS
	12-14-21	CITY COMMENTS

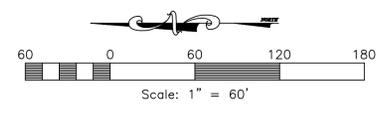
DATE	DESCRIPTION
8-9-21	CITY COMMENTS
9-8-21	CITY COMMENTS
10-26-21	CITY COMMENTS
11-24-21	CITY COMMENTS
12-14-21	CITY COMMENTS

**The Meadows Subdivision**  
 PART OF THE NORTH HALF OF SECTION 28, T.5N., R.1W., S.1B & M., U.S. SURVEY  
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH

**Preliminary Plan**

**Project Info.**  
 Engineer: N. Reeve  
 Designer: C. Cove  
 Begin Date: 4-14-21  
 Name: THE MEADOWS  
 Number: 4359-04

Sheet **3**  
 1 Sheets



**LANDSCAPE/OPEN SPACE DATA**  
 R-P PORTION OF SUBD.....9.38 ACRES  
 DETENTION BASIN OPENSACE.....1.14 ACRES (12.2%)  
 "EXCEPTIONAL" OPENSACE REQUIREMENT.....10%  
 (SEE LANDSCAPE PLAN)

**DESIGN DATA**  
 TOTAL AREA OF SUBD.....13.75 ACRES  
 R-M PORTION OF SUBD.....4.37 ACRES  
 R-P PORTION OF SUBD.....9.38 ACRES

**R-M CRITERIA**  
 LOT AREA: MIN 9000 S.F.  
 AVERAGE LOT SIZE: 12735 S.F.  
 BASE DENSITY 4.37 X 2.8 = 12.24 LOTS

**R-P CRITERIA**  
 LOT AREA: MIN 6000 S.F.  
 AVERAGE LOT SIZE: 8903 S.F.  
 BASE DENSITY 9.38 X 4.0 = 37.5 LOTS  
 OPEN SPACE: 1.25 ACRES (13.3%)

**TOTAL DENSITY**  
 R-P LOTS 24 LOTS  
 R-M LOTS 10 LOTS

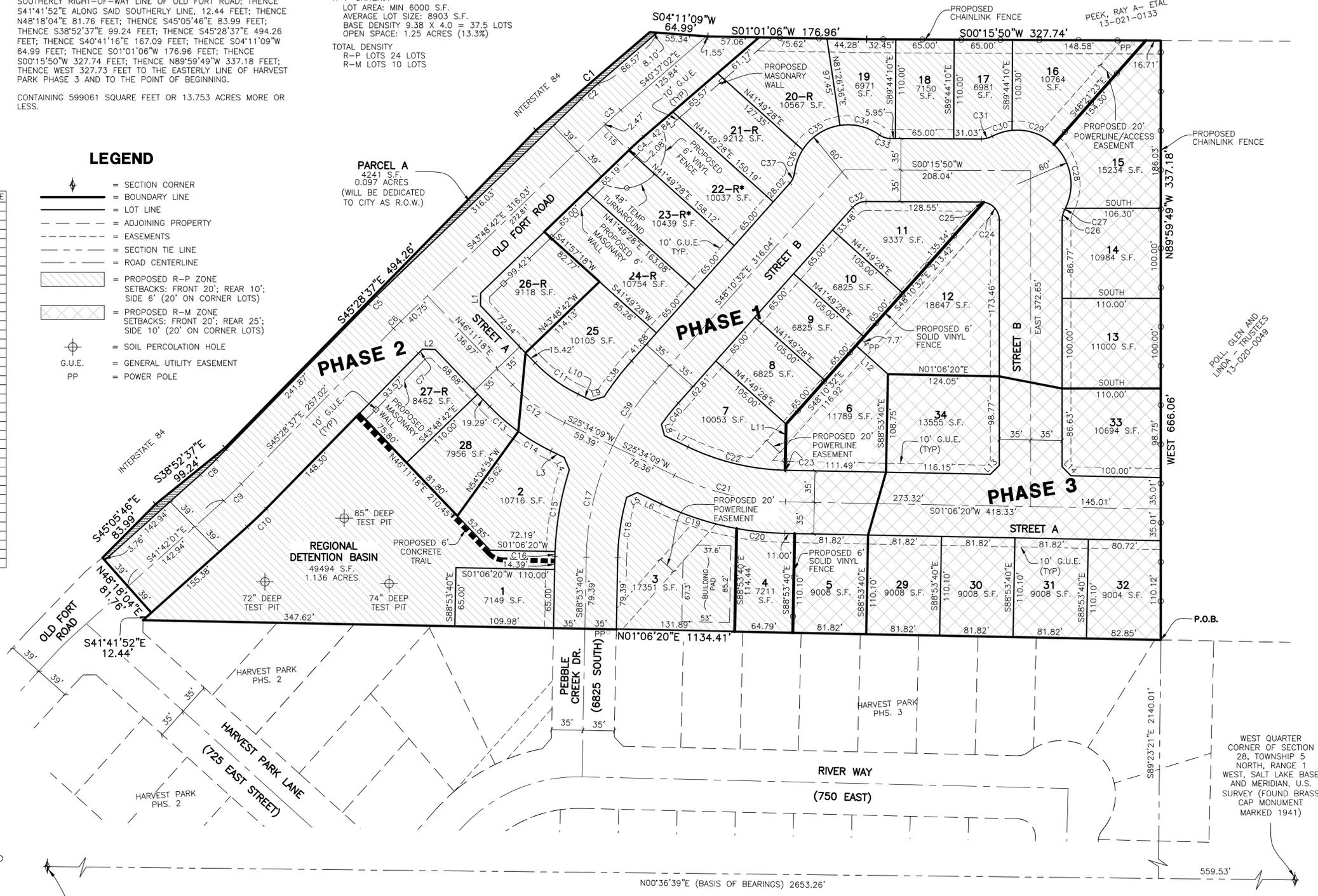
**BOUNDARY DESCRIPTION**  
 PART OF THE NORTH HALF OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 BEGINNING AT A POINT ON THE EASTERLY LINE OF HARVEST PARK PHASE 3, SAID POINT BEING N00°36'39"E 559.53 FEET AND S89°23'21"E 2140.01 FEET FROM THE WEST QUARTER CORNER OF SAID SECTION 28; THENCE N01°06'20"E 1134.41 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF OLD FORT ROAD; THENCE S41°41'52"E ALONG SAID SOUTHERLY LINE, 12.44 FEET; THENCE N48°18'04"E 81.76 FEET; THENCE S45°05'46"E 83.99 FEET; THENCE S38°52'37"E 99.24 FEET; THENCE S45°28'37"E 494.26 FEET; THENCE S40°41'16"E 167.09 FEET; THENCE S04°11'09"W 64.99 FEET; THENCE S01°01'06"W 176.96 FEET; THENCE S00°15'50"W 327.74 FEET; THENCE N89°59'49"W 337.18 FEET; THENCE WEST 327.73 FEET TO THE EASTERLY LINE OF HARVEST PARK PHASE 3 AND TO THE POINT OF BEGINNING.

CONTAINING 599061 SQUARE FEET OR 13.753 ACRES MORE OR LESS.

**LEGEND**

- = SECTION CORNER
- = BOUNDARY LINE
- = LOT LINE
- = ADJOINING PROPERTY
- = EASEMENTS
- = SECTION LINE
- = ROAD CENTERLINE
- = PROPOSED R-P ZONE  
SETBACKS: FRONT 20'; REAR 10'; SIDE 6' (20' ON CORNER LOTS)
- = PROPOSED R-M ZONE  
SETBACKS: FRONT 20'; REAR 25'; SIDE 10' (20' ON CORNER LOTS)
- = SOIL PERCOLATION HOLE
- = GENERAL UTILITY EASEMENT
- = POWER POLE

**PARCEL A**  
 4241 S.F.  
 0.097 ACRES  
 (WILL BE DEDICATED TO CITY AS R.O.W.)



**VICINITY MAP**  
 SCALE: NONE

**CURVE TABLE**

#	RADIUS	ARC LENGTH	CHORD LENGTH	TANGENT	CHORD BEARING	DELTA ANGLE
C1	11329.16	167.09	167.09	83.55'	S40°41'16"E	0°50'42"
C2	447.00	24.92	24.92	12.46'	N42°12'52"W	3°11'40"
C3	408.00	22.75	22.74	11.38'	N42°12'52"W	3°11'40"
C4	369.00	20.57	20.57	10.29'	N42°12'52"W	3°11'40"
C5	447.00	12.99	12.99	6.50'	N44°38'40"W	1°39'55"
C6	408.00	11.86	11.86	5.93'	N44°58'28"W	1°00'18"
C7	369.00	6.47	6.47	3.24'	N44°58'28"W	1°00'18"
C8	369.00	24.34	24.34	12.17'	S43°35'15"E	3°46'45"
C9	408.00	26.91	26.91	13.46'	S43°35'15"E	3°46'45"
C10	447.00	29.48	29.48	14.75'	S43°35'15"E	3°46'45"
C11	165.00	59.38	59.06	30.01'	S35°52'43"W	20°37'09"
C12	200.00	71.97	71.59	36.38'	S35°52'43"W	20°37'09"
C13	235.00	42.12	42.07	21.12'	S41°03'12"W	10°16'12"
C14	235.00	42.45	42.39	21.28'	S30°44'37"W	10°20'57"
C15	335.00	92.39	92.10	46.49'	S80°02'05"E	15°48'05"
C16	335.00	5.61	5.61	2.80'	S88°24'53"E	0°57'33"
C17	300.00	128.12	127.15	65.05'	S76°39'37"E	24°28'06"
C18	265.00	68.07	67.88	34.22'	S81°32'09"E	14°43'02"
C19	335.00	89.01	88.75	44.77'	S17°57'27"W	15°13'23"
C20	335.00	54.03	53.97	27.07'	S05°43'33"W	9°14'26"
C21	300.00	128.09	127.12	65.04'	S13°20'14"W	24°27'49"
C22	265.00	112.17	111.34	56.94'	S13°26'33"W	24°15'11"
C23	265.00	0.97	0.97	0.49'	S01°12'39"W	0°12'37"
C24	20.00	28.69	26.29	17.45'	N48°54'02"E	82°11'57"
C25	20.00	2.63	2.63	1.32'	N04°01'57"E	7°32'13"
C26	25.00	12.25	12.13	6.25'	S75°57'50"E	28°04'21"
C27	60.00	1.65	1.65	0.83'	S62°43'02"E	1°34'48"
C28	60.00	77.19	71.97	44.87'	N79°38'21"E	73°42'29"
C29	60.00	50.56	49.08	26.89'	N18°38'33"E	48°17'08"
C30	60.00	23.38	23.21	11.83'	N16°39'16"W	22°18'30"
C31	25.00	12.25	12.13	6.25'	N13°46'21"W	28°04'21"
C32	20.00	16.91	16.41	9.00'	N23°57'21"W	48°26'22"
C33	20.00	12.45	12.25	6.43'	N18°05'36"E	35°39'33"
C34	60.00	46.58	45.42	24.53'	N13°40'59"E	44°28'47"
C35	60.00	51.19	49.65	27.27'	N32°59'53"W	48°52'58"
C36	60.00	27.64	27.40	14.07'	N70°38'14"W	26°23'42"
C37	20.00	12.45	12.25	6.43'	N66°00'18"W	35°39'33"
C38	335.00	49.95	49.11	25.02'	N52°26'50"W	8°32'36"
C39	300.00	85.09	84.80	42.83'	N56°18'03"W	16°15'02"
C40	265.00	30.05	30.04	15.04'	N51°25'28"W	6°29'53"

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N88°48'42"W	14.14'
L2	S01°07'05"W	14.12'
L3	S25°34'09"W	16.22'
L4	S67°08'42"W	14.96'
L5	S23°45'48"E	13.03'
L6	S25°34'09"W	29.04'
L7	N25°34'09"E	29.03'
L8	N74°54'26"E	13.03'
L9	N16°00'09"W	14.96'
L10	N25°34'09"E	16.22'
L11	S88°53'40"E	51.27'
L12	S41°49'28"W	47.74'
L13	N44°26'30"W	14.00'
L14	N45°33'10"E	14.28'
L15	S46°11'18"W	30.00'

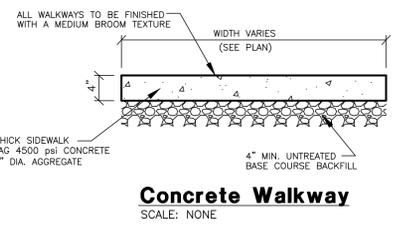
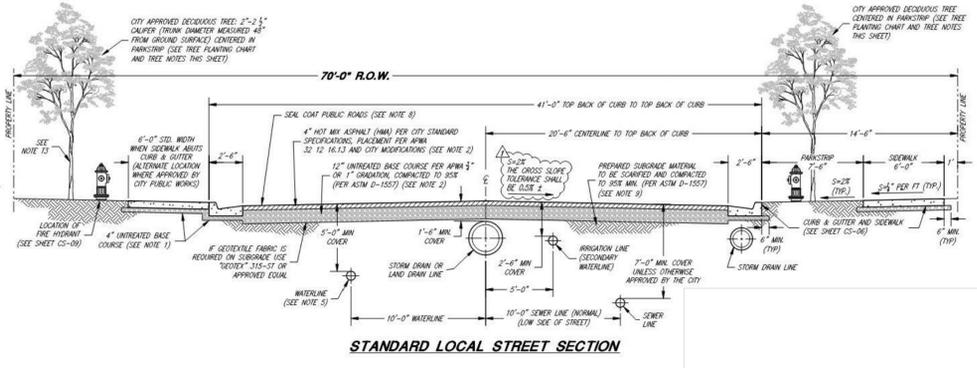
**NOTES**

- PROPERTY IS IN ZONE X PER FEMA FLOOD MAP PANEL 49011C0089E, EFFECTIVE 6-18-2007
- PROPERTY HAS NO WETLANDS
- PROPERTY WILL BE ZONED R-P (RESIDENTIAL PATIO) AND R-M (RESIDENTIAL MODERATE DENSITY ZONE)
- ALL LOTS AND IMPROVEMENTS AS SUBJECT TO THE REQUIREMENTS OF THE GEOTECHNICAL REPORT PREPARED BY CMT ENGINEERING LABORATORIES, DATED JUNE 15, 2021.
- ALL PROPERTY OWNERS ARE RESPONSIBLE TO KEEP STORM WATER RUNOFF GENERATED FROM THEIR PROPERTY, ON THEIR PROPERTY. THEY MAY NOT DIRECT RUNOFF ONTO ADJACENT PROPERTY OWNERS. ANY GRADING OR LANDSCAPING SHOULD BE DONE IN SUCH A WAY AS TO KEEP ALL STORM WATER RUNOFF ON THEIR LOT.
- R LOTS WILL HAVE NO ACCESS TO OLD FORT ROAD.
- R\* LOTS WILL HAVE A TEMP TURNAROUND WITH ASPHALT AND CANNOT BE REMOVED UNTIL THE DEVELOPMENT TO THE EAST REMOVES THE TURNAROUND AND EXTENDS THE ROAD
- A PROPOSED 6' SOLID VINYL FENCE TO SEPARATE R-P ZONE.
- PROPOSED CONCRETE TRAIL ALONG DETENTION WILL BE 6' CONCRETE.
- THE OLD FORT ROAD 10' TRAIL WILL BE PAID BY THE DEVELOPER BUT INSTALLED BY SOUTH WEBER CITY AT A LATER DATE.
- A 10' GENERAL UTILITY EASEMENT, LOCATED ON THE NORTH LINE OF LOTS 20-R, 21-R, 22-R\*, 23-R\*, 24-R, 26-R AND 27-R (ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF OLD FORT ROAD), IS TO BE OWNED BY THE INDIVIDUAL LOT OWNERS AND MAINTAINED BY THE HOME OWNERS ASSOCIATION. IF, AFTER WRITTEN NOTICE FROM THE CITY OF FAILURE TO MAINTAIN HAS BEEN PROVIDED, AND THE AREA REMAINS UN-MAINTAINED, THE CITY SHALL HAVE AUTHORITY TO HIRE THE MAINTENANCE WORK TO BE DONE AND ASSESS THE HOME OWNERS ACCORDINGLY.

**The Meadows Subdivision**  
 Preliminary Plat 'Not to be Recorded'

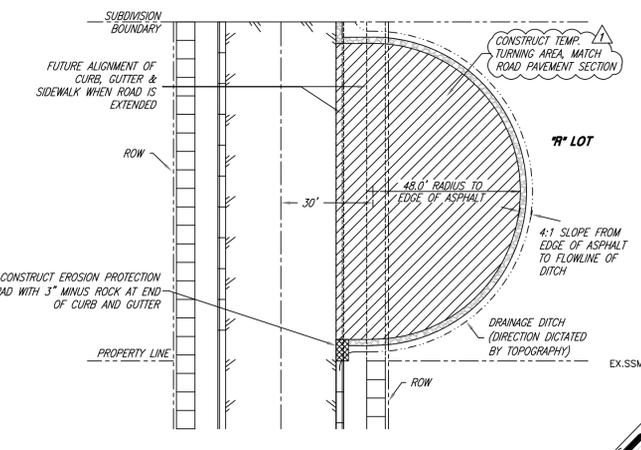
South Weber City, Davis County, Utah

- GENERAL NOTES:**
1. PROVIDE 1" THICKNESS OF 3/4" OR 1" UNTREATED BASE COURSE UNDER SIDEWALK, DRIVEWAY APPROACHES AND CURB & GUTTER, COMPACTED TO 95% PER ASTM D-1557.
  2. THESE PAVEMENT THICKNESSES SHALL BE CONSIDERED AS CITY MINIMUMS AND MAY BE INCREASED BY THE CITY ENGINEER WHEN A GREATER DEPTH IS NECESSARY TO PROVIDE SUFFICIENT STABILITY. DESIGNER AND/OR DEVELOPER MAY SUBMIT AN ALTERNATIVE PAVEMENT DESIGN BASED ON A DETAILED SOILS ANALYSIS FOR APPROVAL BY THE CITY ENGINEER. WHEN ANY ALTERNATIVE PAVEMENT THICKNESS, BUT IN NO CASE SHALL THE FINISH SURFACE COURSE BE LESS THAN 1" AND UNTREATED BASE COURSE LESS THAN 1/2" THICK.
  3. ALL ROAD CUTS SHALL BE PATCHED PER CS-15 AND CS-13.
  4. CURB & GUTTER AND SIDEWALKS SHALL BE CONSTRUCTED USING FIBER-REINFORCED CONCRETE AND FINISH TO CONFORMANCE WITH SOUTH WEBER CITY TECHNICAL SPECIFICATIONS AND THESE DRAWINGS.
  5. ALL CULINARY WATER MAINS AND SERVICES MUST MAINTAIN A MINIMUM SEPARATION FROM ALL SEWER MAINS AND LATERALS OF 10'-0" HORIZONTAL AND 10" VERTICAL IN ACCORDANCE WITH THE STATE OF UTAH DIVISION OF LANDWATER RULES SECTION 8309-500-7.
  6. THE 6'-0" SIDEWALK SHOWN ABOVE IS TO BE CONSIDERED THE CITY STANDARD. OTHER LOADINGS AND TYPES OF SIDEWALK AS REQUESTED BY THE DEVELOPER MUST BE APPROVED BY THE CITY. IF SIDEWALK IS LOCATED AGAINST THE TIE, IT MUST BE A MINIMUM OF 6 FEET IN WIDTH.
  7. NATURAL GAS TYPICALLY LOCATED IN THE PARADEWAY. POWER AND COMMUNICATION LINES TYPICALLY LOCATED BEHIND PROPERTY LINES OR IN LOT EASEMENTS.
  8. SEAL COAT CONSISTS OF THE FOLLOWING:
    - a. ONE SEAL PER AREA 12.01 TO 12.04 AND CITY MODIFICATIONS AND
    - b. TWO SEAL PER AREA 12.01 TO 12.04 AND CITY MODIFICATIONS.
  9. IMPORTED FILL UNDER ROADWAY SHALL BE GRANULAR BORROW 2" MAX. PRIOR TO THE INSTALLATION OF PAVEMENT, THE CITY ENGINEER MUST HAVE A WRITTEN PERMISSION TO PROCEED.



**BASIN NOTES**

REQUIRED VOLUME	= 22,670 c.f.
REQUIRED LID	= 8,583 c.f.
REQUIRED TOTAL	= 31,253 c.f.
PROVIDED LID	= 9,796 c.f.
PROVIDED TOTAL	= 72,239 c.f.
<b>FUTURE DEVELOPMENT ALLOTMENT</b>	<b>= 41,007 c.f.</b>
TOP/BERM	= 4441.00 Elev.
HIGH WATER	= 4440.00 Elev.
BOTTOM/INVERT	= 4437.60 Elev.
3:1 SLOPE FROM TOP TO BOTTOM	



**Storm Runoff Calculations**  
The Meadows  
4359-04 11/17/2021 NRP

The following runoff calculations are based on the Rainfall - Intensity - Duration Frequency Curve for the South Weber area taken from the NOAA Atlas 14 database. Calculations have been completed for the 100-yr 1-hr storm event. Storm water runoff has been calculated for a fully developed site.

The calculations are as follows:

**Proposed Development**

Drainage Area:	Total Area = 13.89 acre or 604,881 ft <sup>2</sup>
Runoff Coefficients:	Paved Area 198,350 C = 0.9
	Roof 102,000 C = 0.9
	Landscaped Area 304,531 C = 0.2
Weighted Runoff Coefficient	C = 0.47

**LID Retention:**

80 <sup>th</sup> Percentile Rainfall Event	0.45 in
Yes the site is feasible for LID?	Yes
Site Imperviousness	0.50
NRCS Soil Group	C/D (USDA)
Rv Equation	0.83*1.122
R <sub>v</sub>	0.38
V <sub>rain</sub>	8583 c.f.

**Volume of Run-off for 100-year Storm Event:**

C = 0.47	I = See Below in/hr	A = 604881.32 ft <sup>2</sup>	Q (out) = 7.48 ft <sup>3</sup> /s	(City's Request + Percolation Out)	Vol. in	Vol. out	Difference
time (min)	(in./hr.)	(cfs)	(cf)	(cf)	(cf)	(cf)	(cf)
0	0.00	0	0	0	0	0	0
5	3.00	7.21	47.45	14234	2243	11991	11991
10	6.00	5.48	36.06	21638	4486	17152	17152
15	9.00	4.53	29.81	26830	6730	20101	20101
30	18.00	3.05	20.07	35129	13459	22670	22670
60	36.00	1.89	12.44	44776	26919	17858	17858

**Orifice Sizing:**

Q = 3.70 cfs (City's Request)
2g = 64.4 ft/s <sup>2</sup>
H = 3.00 ft
Cd = 0.62 for circular openings
R = SQRT(Q/pi*(0.7*(64.4*H)^0.5))
R = 0.37 feet
D = 4.44 inches
D = 8.87 inches
A = 61.86 inches * 2
0.4296 ft * 2

**Aboveground Basin**

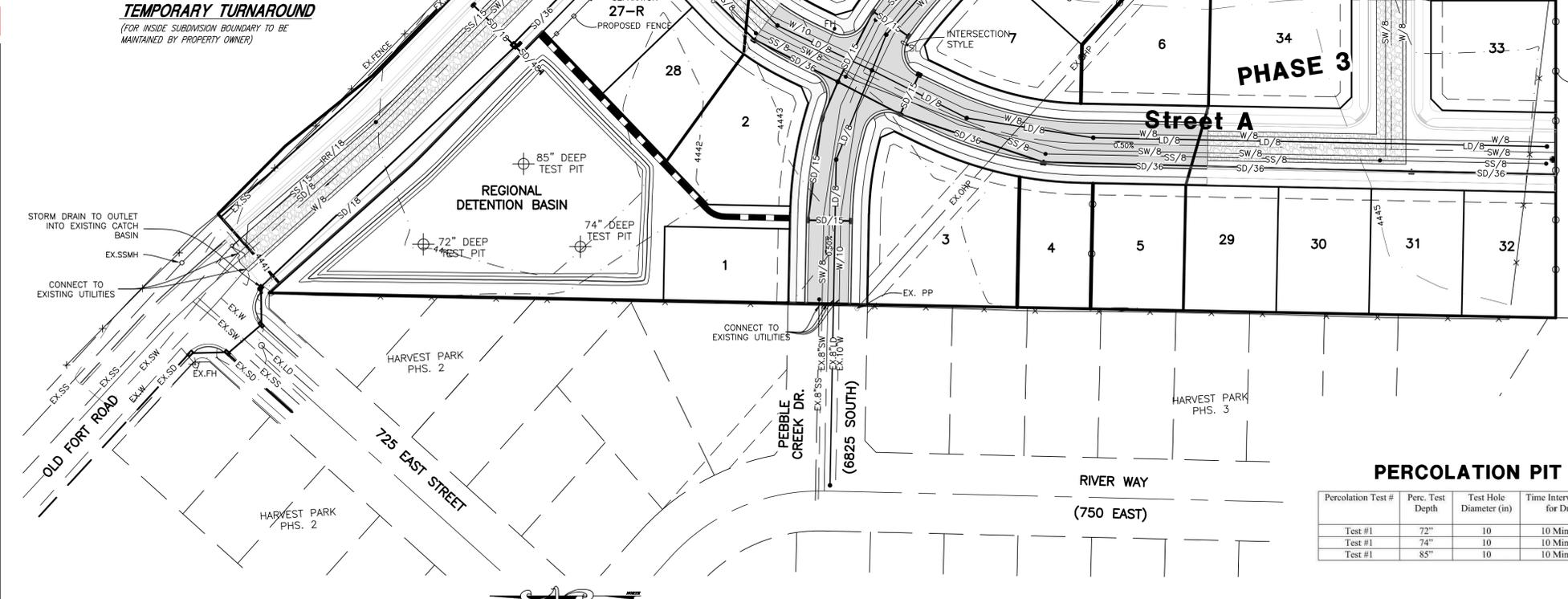
Basin Design Capacity	72,260 ft <sup>3</sup>
Orifice Diameter	9 in

**Drainage Time:**

Drainage Area	27,197 s.f.
Factor of Safety	2
Perc Rate	5.00 mpi (Field Measured)
Percolation out	(1/1000 rate) * (10/12 in) * (1 min/60 sec) * Bot Area of Drain
3.76 cfs	
Basin Drainage Time	1.67 Hours

**Proposed Development Summary**

The required 100-yr storage volume is	22,670 cubic feet
The required LID Retention volume is	8,583 cubic feet
The total proposed development storage is	31,253 cubic feet
The total future development storage allotment is	41,007 cubic feet



**BASIN STORAGE TABLE**

ELEV.	AREA (sq. ft.)	DEPT (ft.)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
4,437.60	27,988.75	N/A	N/A	0.00	N/A	0.00
4,439.95	27,389.91	0.35	9796.27	9796.27	9796.27	9796.27
4,438.00	28,105.05	0.25	1402.37	11198.64	1402.37	11198.64
4,439.00	32,490.08	1.00	29297.57	40496.21	29297.57	40496.21
4,440.00	33,829.60	1.00	31759.84	72256.05	31759.84	72256.05
4,441.00	35,658.88	1.00	34244.20	106400.25	34244.20	106400.25
4,442.00	1,497.95	1.00	18578.37	125178.62	14821.77	121397.06

**PERCOLATION PIT INFO**

Percolation Test #	Perc. Test Depth	Test Hole Diameter (in)	Time Interval Used for Drop	Final Stabilized Percolation Rate Minutes/Inch
Test #1	72"	10	10 Minutes	4.00
Test #1	74"	10	10 Minutes	3.33
Test #1	85"	10	10 Minutes	4.00

- NOTES**
1. REGIONAL DETENTION BASIN IS TO BE GRASSED AND SPRINKLED.
  2. REGIONAL DETENTION BASIN IS TO BE FENCED ALONG ANY PRIVATE PROPERTY LINE.
  3. ALL STORM DRAIN PIPE SIZES SHOWN ARE PRELIMINARY DESIGN AND SUBJECT TO CHANGE WITH FINAL GRADES AND DESIGN.
  4. EXISTING IRRIGATION ALONG OLD FORT ROAD TO BE REPLACED WITH TRAFFIC RATED 18" C-900

# The Meadows

## Preliminary Plat 'Not to be Recorded'

South Weber City, Davis County, Utah

**Reeve & Associates, Inc.**  
5160 SOUTH 1500 WEST RIVERDALE, UTAH 84405  
TEL: (801) 621-2100 FAX: (801) 621-2666 www.reeve-assoc.com  
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS

DATE	DESCRIPTION

**The Meadows Subdivision**  
PART OF THE NORTH HALF OF SECTION 28, T.5N., R.1W., S.1B & M., U.S. SURVEY  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

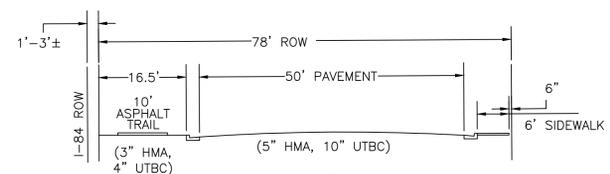
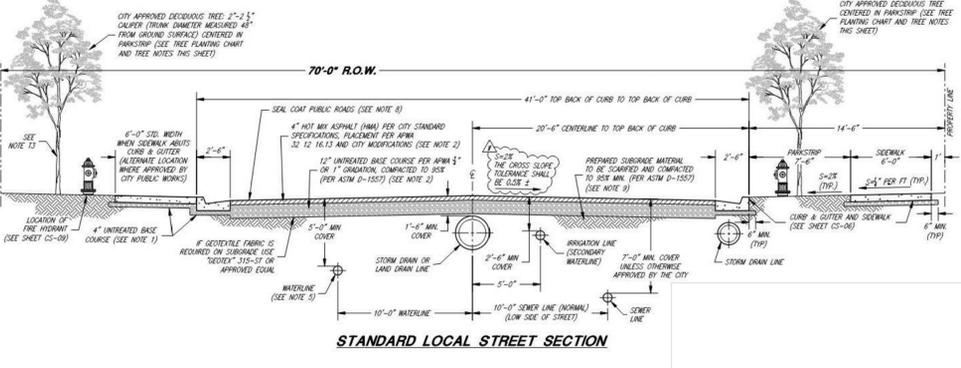
**Preliminary Utility Plan Phase 1**

**Project Info.**

Engineer: N. Reeve  
Designer: N. Ficklin  
Begin Date: 4-14-21  
Name: THE MEADOWS  
Number: 4359-04

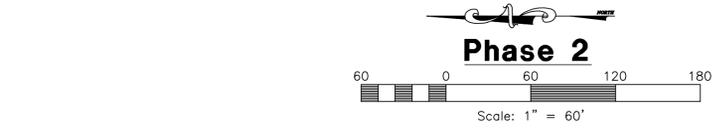
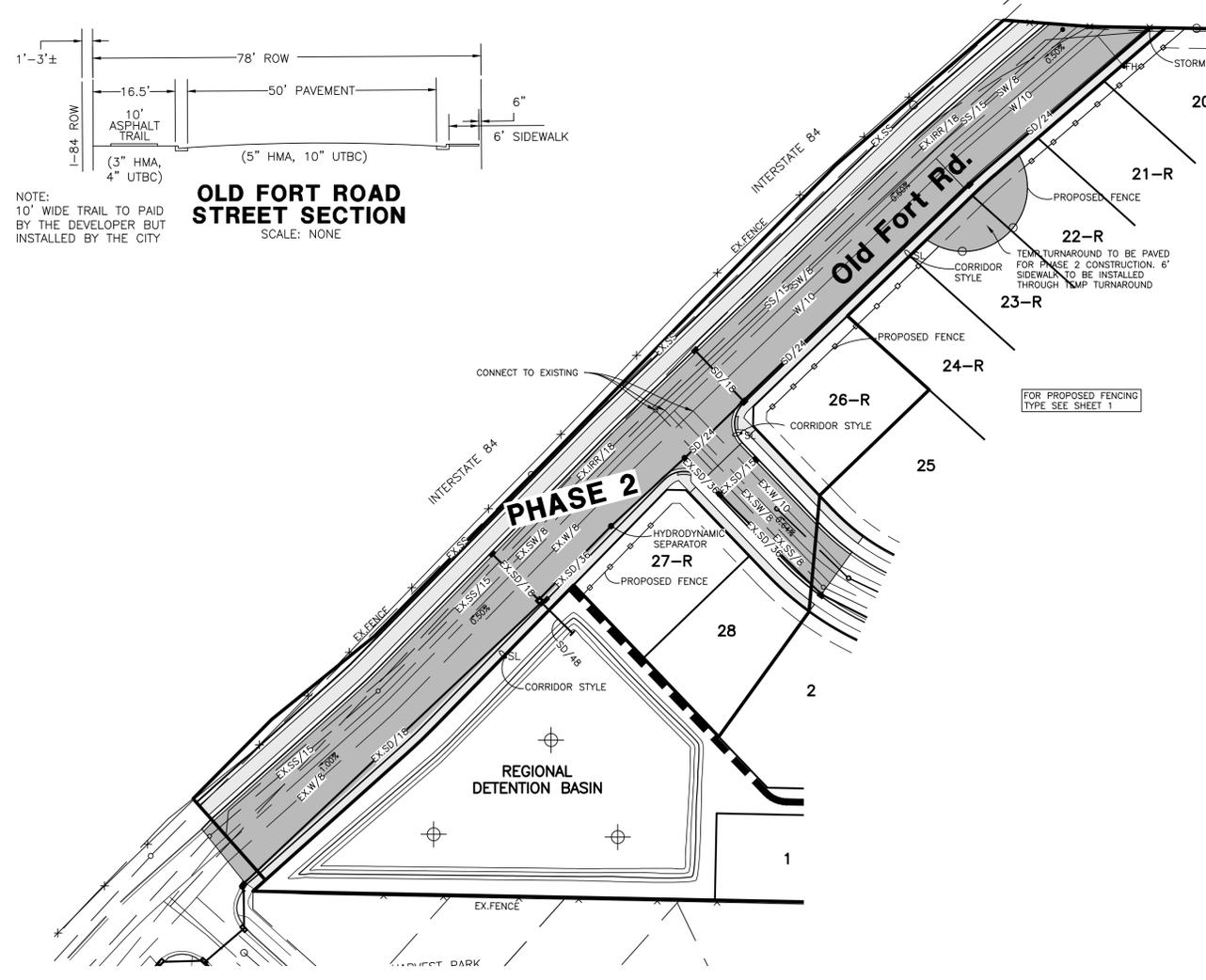
Sheet	<b>3</b>
<b>2</b>	Sheets

- GENERAL NOTES:**
1. PROVIDE 4" THICKNESS OF 1/4" OR 1" UNTREATED BASE COURSE UNDER SIDEWALK, DRIVEWAY APPROACHES AND CURB & GUTTER, COMPACTED TO USE PER ASTM D-1557.
  2. THESE PAVEMENT THICKNESS SHALL BE CONSIDERED AS CITY MINIMUMS AND MAY BE INCREASED BY THE CITY ENGINEER WHEN A GREATER DEPTH IS NECESSARY TO PROVIDE SUFFICIENT STABILITY. DESIGNER AND/OR DEVELOPER MAY SUBMIT AN ALTERNATE PAVEMENT DESIGN BASED ON A DETAILED SOIL ANALYSIS FOR APPROVAL BY THE CITY ENGINEER WHICH MAY MODIFY PAVEMENT THICKNESS. BUT IN NO CASE SHALL THE DRYWEIGHT SURFACE COURSE BE LESS THAN 4" AND UNTREATED BASE COURSE LESS THAN 12" THICK.
  3. ALL ROAD CUTS SHALL BE PARALLED PER CS-05 AND CS-13.
  4. CURB & GUTTER AND SIDEWALKS SHALL BE CONSTRUCTED USING FIBER REINFORCED CONCRETE AND IN COMPLIANCE WITH SOUTH WEBER CITY TECHNICAL SPECIFICATIONS AND THESE DRAWINGS.
  5. ALL UTILITY WATER MAINS AND SERVICES MUST MAINTAIN A MINIMUM SEPARATION FROM ALL SIDEWALKS AND LATERALS OF 10'-0" HORIZONTAL AND 18" VERTICAL IN ACCORDANCE WITH THE STATE OF UTAH DIVISION OF DRINKING WATER RULES SECTION R309-550-7.
  6. THE 6'-0" SIDEWALK SHOWN ABOVE IS TO BE CONSIDERED THE "CITY STANDARD." OTHER LOCATIONS AND TYPES OF SIDEWALKS AS REQUESTED BY THE DEVELOPER MUST BE APPROVED BY THE CITY. IF SIDEWALK IS LOCATED AGAINST THE TRAIL, IT MUST BE A MINIMUM OF 6 FEET IN WIDTH.
  7. NATURAL GAS TYPICALLY LOCATED IN THE PARKSTRIP, FORMER AND COMMUNICATION LINES TYPICALLY LOCATED BEHIND PROPERTY LINES OR IN LOT EASEMENTS.
  8. "SEAL COAT" CONSISTS OF THE FOLLOWING:
    - a. CURB SEAL PER APWA 32.01.13.04 AND CITY MODIFICATIONS; AND
    - b. FSD SEAL PER APWA 32.01.13.50 AND CITY MODIFICATIONS.
  9. IMPORTED FILL UNDER ROADWAY SHALL BE GRANULAR BORROW 2" MAX. PRIOR TO THE INSTALLATION OF PAVEMENT, THE CITY INSPECTOR MUST GIVE WRITTEN CONSENT TO PROCEED.
  - 10.



NOTE:  
10' WIDE TRAIL TO PAID BY THE DEVELOPER BUT INSTALLED BY THE CITY

**OLD FORT ROAD STREET SECTION**  
SCALE: NONE



- LEGEND**
- = BOUNDARY LINE
  - = LOT LINE
  - - - = ADJOINING PROPERTY
  - - - = EASEMENTS
  - - - = SECTION TIE LINE
  - - - EX.OHP = OVERHEAD POWER LINE
  - - - = ROAD CENTERLINE
  - - - SS = PROPOSED SANITARY SEWER LINE
  - - - EX.SS = EXISTING SANITARY SEWER LINE
  - - - W = PROPOSED CULINARY WATER LINE
  - - - EX.W = EXISTING CULINARY WATER LINE
  - - - SD = PROPOSED STORM DRAIN (SIZE VARIES)
  - - - EX.SD = EXISTING STORM DRAIN
  - - - EX.IRR = EXISTING IRRIGATION WATER LINE (SIZE VARIES)

**Construction Notes:**

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY.
  - 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.
- CULINARY WATER**  
NOTE: 5" MIN. COVER REQUIRED OVER CW LINES  
W/8 - 8" DIP W/POLY WRAP WATER LINE  
W/10 - 10" DIP W/POLY WRAP WATER LINE  
LAT - 1" TYPE K POLY PIPE SERVICE LATERAL  
W/ 1" METER
- SANITARY SEWER**  
SS/8 - 8" PVC SDR-35 SEWER LINE  
SS LAT - 4" PVC SDR 35 SERVICE LATERAL  
W/ 1" METER
- STORM DRAIN**  
SD/15 - 15" RCP CLASS III STORM DRAIN  
SD/18 - 18" RCP CLASS III STORM DRAIN  
SD/36 - 36" RCP CLASS III STORM DRAIN
- SECONDARY WATER**  
SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE  
SW - SECONDARY SERVICE LATERAL W/METER PER SWIC STANDARDS
- LAND DRAIN**  
LD/8 - 8" PVC LAND DRAIN PIPE SECONDARY WATER LINE  
LD - 4" PVC SERVICE LATERAL
- LAND DRAIN**  
IRR/18 - 18" C-900 PIPE

**Basement Table Calculations**  
The Meadows  
4359-04 12/8/2021 .JRL

The following basement FFE calculations are based off the geotechnical engineering study completed by CMT Engineering Laboratories.

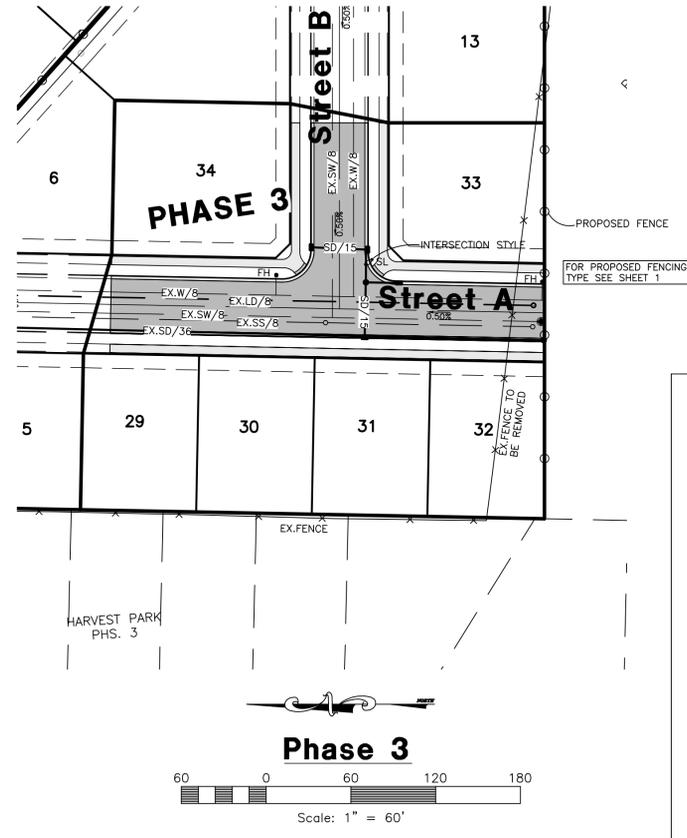
The calculations are as follows:

**Pipe Sizing:**  
Distance Above Groundwater 3 ft  
Seasonal Fluctuation 0 ft (Unspecified)  
Max Basement Depth 8 ft

Test Pit	Existing EL	Depth	GW / End Bore EL	Type
1	4442.82	11.00	4431.82	End of Bore
2	4443.03	9.30	4433.73	GW Encountered
3	4445.30	11.00	4434.30	End of Bore
4	4445.99	11.00	4435.99	End of Bore
5	4446.56	11.00	4435.56	End of Bore
6	4444.28	11.00	4433.28	End of Bore

Lot Number	Basement FFE	TBC EL	Difference	GW / End Bore EL	Test Pit
1	4436.73	4443.88	7.15	4433.73	1
2	4436.73	4443.98	7.25	4433.73	2
3	4437.57	4445.57	8.00	4433.73	2
4	4437.57	4445.57	8.00	4433.73	2
5	4437.85	4445.85	8.00	4433.28	6
6	4437.81	4445.81	8.00	4433.28	6
7	4437.30	4444.89	7.59	4434.30	3
8	4437.30	4444.89	7.59	4434.30	3
9	4437.30	4445.29	7.99	4434.30	3
10	4437.70	4445.70	8.00	4434.30	3
11	4438.99	4446.11	7.12	4435.99	4
12	4438.56	4446.02	7.46	4435.56	5
13	4438.55	4445.95	7.39	4435.56	5
14	4438.56	4446.45	7.89	4435.56	5
15	4439.00	4447.00	8.00	4435.99	4
16	4439.27	4447.27	8.00	4435.99	4
17	4439.40	4447.40	8.00	4435.99	4
18	4438.99	4446.90	7.91	4435.99	4
19	4438.99	4446.55	7.56	4435.99	4
20	4438.99	4446.37	7.38	4435.99	4
21	4438.99	4445.98	6.99	4435.99	4
22	4437.57	4445.57	8.00	4434.30	3
23	4437.30	4445.16	7.86	4434.30	3
24	4437.30	4444.76	7.46	4434.30	3
25	4436.76	4444.76	8.00	4431.82	1
26	4435.55	4443.55	8.00	4431.82	1
27	4435.01	4443.01	8.00	4431.82	1
28	4435.77	4443.77	8.00	4431.82	1
29	4438.21	4446.21	8.00	4433.28	6
30	4437.80	4445.80	8.00	4433.28	6
31	4437.80	4445.80	8.00	4433.28	6
32	4437.80	4445.80	8.00	4433.28	6
33	4438.56	4445.95	7.39	4435.56	5
34	4438.02	4446.02	8.00	4433.28	6

GROUND WATER ELEVATIONS TO BE FINALIZED WITH FINAL DESIGN



**Pipe Sizing Calculations**  
The Meadows  
4359-04 11/17/2021 .JRL

The following runoff calculations are based on the Rainfall - Intensity - Duration Frequency Curve for the South Weber area taken from the NOAA Atlas 14 database. Calculations have been completed for the 10-yr storm event. Please note that catch basin numbers in these calculations correspond to the diagram below, and NOT the plan set.

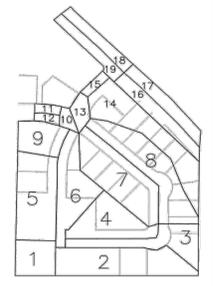
The calculations are as follows:

**Proposed Development**  
10-yr intensity for a 10 minute TOC - Pipe Capacity 2.75 in/hr  
10-yr intensity for a 30 minute TOC - Pipe Capacity 1.53 in/hr

**Estimated Future Development**  
Runoff Coefficient C = 0.47  
Rainfall Intensity I = 1.53 IN./HR.  
Acreage A = 17.32 ACRES  
Q = 12.45 cfs

Pipe Sizing	CB	C	I (in/hr)	A (ft <sup>2</sup> )	Flow (cfs)
1	0.47	2.75	20117	0.60	
2	0.47	2.75	51919	1.54	
3	0.47	2.75	30889	0.92	
4	0.47	2.75	35880	1.06	
5	0.47	2.75	49185	1.46	
6	0.47	2.75	39321	1.17	
7	0.47	2.75	54410	1.61	
8	0.47	2.75	54094	1.61	
9	0.47	2.75	20886	0.62	
10	0.47	2.75	4113	0.12	
11	0.47	2.75	3367	0.10	
12	0.47	2.75	3284	0.10	
13	0.47	2.75	7340	0.22	
14	0.47	2.75	52847	1.57	
15	0.47	2.75	3909	0.12	
16	0.47	2.75	20925	0.62	
17	0.47	2.75	17650	0.52	
18	0.47	2.75	13593	0.40	
19	0.47	2.75	13248	0.39	

Description	Pipe Size (in)	Slope	Cap. (cfs)	Req. Cap. (cfs)
Future Dev. to CB1	30	0.20%	18.52	12.45
CB4 to CB3	15	0.50%	4.61	1.06
CB3 to MH3	15	0.50%	4.61	1.98
CB2 to MH3	15	0.50%	4.61	1.54
MH3 to CB1	15	0.51%	4.66	3.52
CB1 to CB5	30	0.20%	18.52	15.98
CB5 to CB9	30	0.40%	26.19	17.43
CB6 to CB9	15	0.50%	4.61	1.17
CB9 to MH2	30	1.03%	42.02	16.60
CB7 to CB8	15	0.50%	4.61	1.61
CB8 to MH2	15	0.50%	4.61	3.22
CB12 to CB11	15	0.40%	4.12	0.10
CB10 to MH2	15	0.40%	4.12	0.32
MH2 to CB13	36	0.20%	30.11	22.14
CB13 to CB15	36	0.20%	30.11	22.36
CB14 to CB15	15	0.50%	4.61	1.57
CB15 to MH1	36	0.20%	30.11	23.93
CB17 to CB16	15	0.50%	4.61	0.52
CB16 to MH1	15	0.40%	4.12	1.14
MH1 to CB19	36	0.20%	30.11	25.07
CB18 to CB19	18	0.40%	6.71	0.40
CB19 to basin	36	0.73%	57.52	25.47



**The Meadows**  
Preliminary Plat 'Not to be Recorded'  
South Weber City, Davis County, Utah

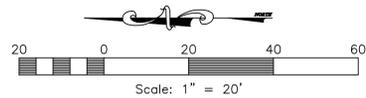
**Reeve & Associates, Inc.**  
5160 SOUTH 1500 WEST RIVERDALE, UTAH 84405  
TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-assoc.com  
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

**The Meadows Subdivision**  
PART OF THE NORTH HALF OF SECTION 28, T.5N., R.17W., S.11B & M., U.S. SURVEY  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

**Preliminary Utility Plan Phase 2**

**Project Info.**  
Engineer: N. Reeve  
Designer: N. Ficklin  
Begin Date: 4-14-21  
Name: THE MEADOWS  
Number: 4359-04

Sheet **3** of 3 Sheets



**Legend**

OTHER	
Symbol	Description
	Turf Grass - Sod
	Kentucky Bluegrass Mix - 3 Species Minimum
	Shade Tree
	Flowering Tree
	Evergreen Tree



DATE	DESCRIPTION
8-9-21	CITY COMMENTS
11-24-21	CITY COMMENTS

**The Meadows Subdivision**  
 PART OF THE NORTH HALF OF SECTION 28, T.5N., R.1W., S.14B & M., U.S. SURVEY  
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH

**Preliminary Landscape Plan**

**Project Info.**  
 Engineer: N. Reeve  
 Designer: N. Peterson  
 Begin Date: 4-14-21  
 Name: The Meadows  
 Number: 4359-04

Sheet **1** of 1  
 Sheets

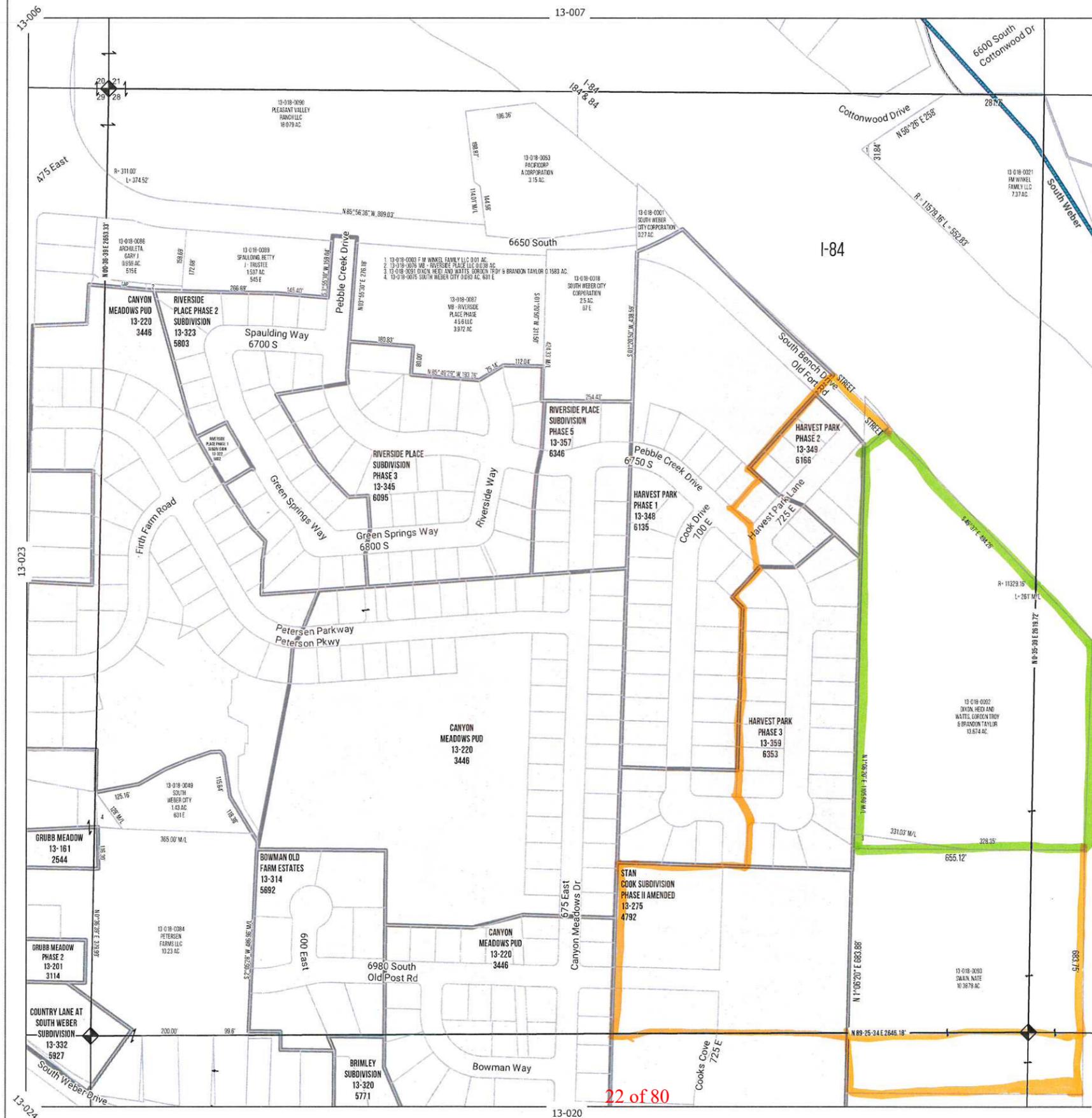
NW Quarter  
Section 28  
5N 1W  
S L B & M

Tax ID Prefix

4 The Meadows Preliminary

13 - 018

Sheet 1 of 1



N  
1 inch = 200 feet



NOTE: Distance, bearings and radius values are approximate. User needs to refer to the recorded legal descriptions for exact bearing and distances. For cadastral or technical information see the dedicated plat and/or legal descriptions in recorded documents.



Last update: 4/30/2021



RP ZONE DESCRIPTION

PART OF THE NORTH HALF OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

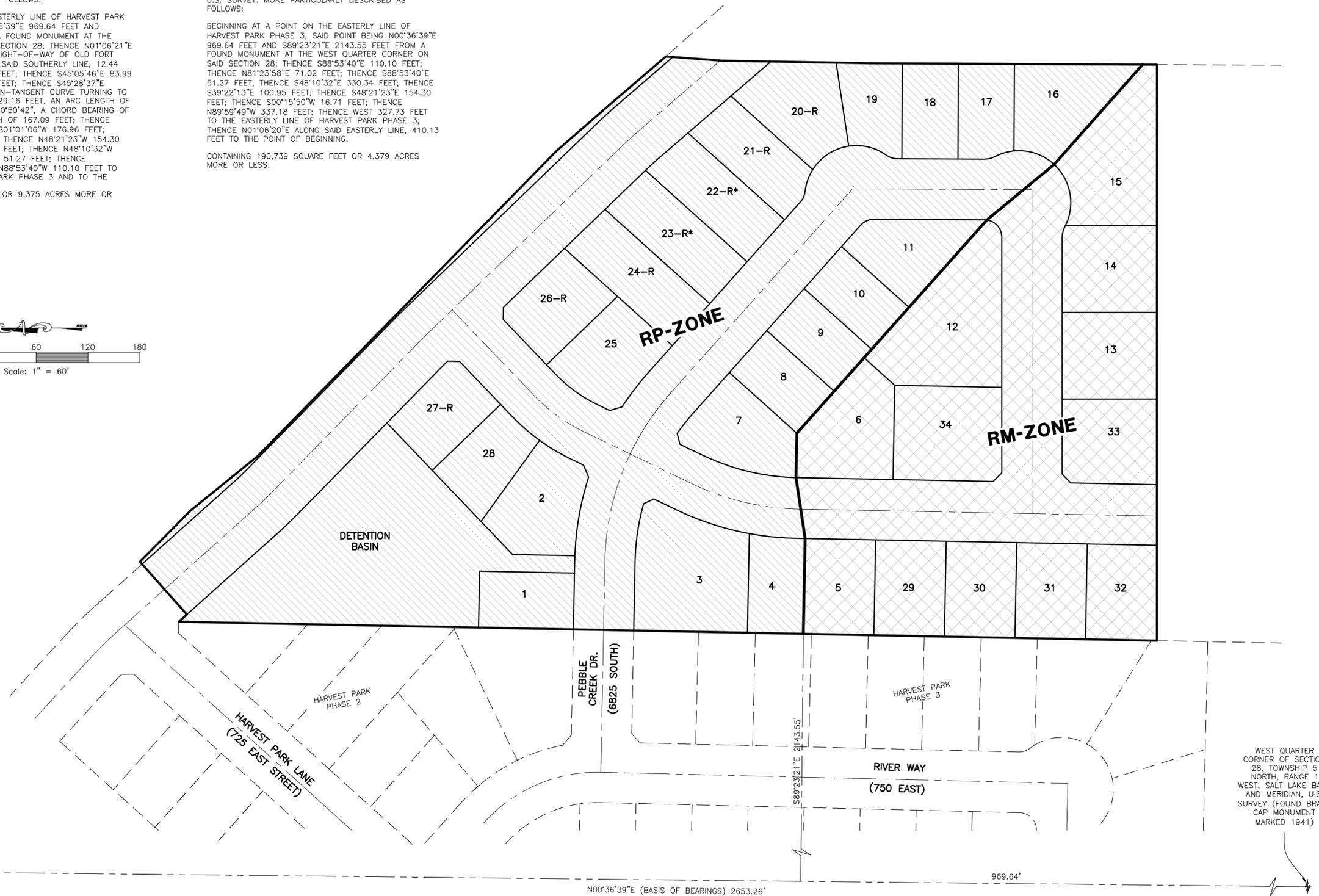
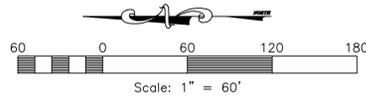
BEGINNING AT A POINT ON THE EASTERLY LINE OF HARVEST PARK PHASE 3, SAID POINT BEING N00°36'39"E 969.64 FEET AND S89°23'21"E 2143.55 FEET FROM A FOUND MONUMENT AT THE WEST QUARTER CORNER ON SAID SECTION 28; THENCE N01°06'21"E 724.28 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF OLD FORT ROAD; THENCE S41°41'52"E ALONG SAID SOUTHERLY LINE, 12.44 FEET; THENCE N48°18'04"E 81.76 FEET; THENCE S45°05'46"E 83.99 FEET; THENCE S38°52'37"E 99.24 FEET; THENCE S45°28'37"E 494.26 FEET; THENCE ALONG A NON-TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 11329.16 FEET, AN ARC LENGTH OF 167.09 FEET, A DELTA ANGLE OF 00°50'42", A CHORD BEARING OF S40°41'16"E, AND A CHORD LENGTH OF 167.09 FEET; THENCE S04°11'09"W 64.99 FEET; THENCE S01°01'06"W 176.96 FEET; THENCE S00°15'50"W 311.03 FEET; THENCE N48°21'23"W 154.30 FEET; THENCE N39°22'13"W 100.95 FEET; THENCE N48°10'32"W 330.34 FEET; THENCE N88°53'40"W 51.27 FEET; THENCE S81°23'58"W 71.02 FEET; THENCE N88°53'40"W 110.10 FEET TO THE EASTERLY LINE OF HARVEST PARK PHASE 3 AND TO THE POINT OF BEGINNING. CONTAINING 408,356 SQUARE FEET OR 9.375 ACRES MORE OR LESS.

RM ZONE DESCRIPTION

PART OF THE NORTH HALF OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY LINE OF HARVEST PARK PHASE 3, SAID POINT BEING N00°36'39"E 969.64 FEET AND S89°23'21"E 2143.55 FEET FROM A FOUND MONUMENT AT THE WEST QUARTER CORNER ON SAID SECTION 28; THENCE S88°53'40"E 110.10 FEET; THENCE N81°23'58"E 71.02 FEET; THENCE S88°53'40"E 51.27 FEET; THENCE S48°10'32"E 330.34 FEET; THENCE S39°22'13"E 100.95 FEET; THENCE S48°21'23"E 154.30 FEET; THENCE S00°15'50"W 16.71 FEET; THENCE N89°59'49"W 337.18 FEET; THENCE WEST 327.73 FEET TO THE EASTERLY LINE OF HARVEST PARK PHASE 3; THENCE N01°06'20"E ALONG SAID EASTERLY LINE, 410.13 FEET TO THE POINT OF BEGINNING.

CONTAINING 190,739 SQUARE FEET OR 4.379 ACRES MORE OR LESS.



NORTHWEST CORNER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY (FOUND BRASS CAP MONUMENT MARKED 1941)

WEST QUARTER CORNER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY (FOUND BRASS CAP MONUMENT MARKED 1941)

The Meadows Subdivision

South Weber City, Davis County, Utah

Developer:

Duane Johnson  
P.O. Box 643  
Layton, UT. 84041  
(801) 644-3436



Table with 2 columns: DATE, DESCRIPTION. Rows include 8-2-21, 10-26-21, 12-14-21.

The Meadows Subdivision  
PART OF THE NORTH HALF OF SECTION 28, T.5N., R.1W., S.11B. & M., U.S. SURVEY  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
Zoning Legal Description Exhibit

Project Info. table with fields: Engineer, Designer, Begin Date, Name, Number.

Sheet 1 of 1 Sheets

# Storm Water Quality Report

Date: November 17, 2021

Project Name: The Meadows

Project ID: 4359-04

Design Engineer: Jeremy Draper

Is the project within a watershed that is 303(d) listed? No

If yes:

Name of receiving water(s): Weber River

Listed Impairment(s): N/A

Does the watershed that has an approved TMDL? No

If yes:

Approved TMDL(s): N/A

I have reviewed the storm water quality design and find this report to be complete, accurate, and current.



Jeremy Draper  
Jeremy Draper, Project Manager

Nathan C Peterson  
Nathan Peterson, Landscape Architect or Equivalent

[stamp required at final design phase]

**Project Information**

80<sup>th</sup> Percentile Storm Depth (in): 0.45

New Development

Area of Land Disturbance (ac): 13.89

Project Impervious Area (ac): 6.90

Project Imperviousness (%): 50%

Project Volumetric Runoff Coefficient,  $R_v$ : 0.38

80<sup>th</sup> Percentile Volume (cf): 8,583

Predevelopment Hydrologic Condition (cf): \_\_\_\_\_

Project Volume Retention Goal,  $V_{goal}$  (cf): 8,583

Redevelopment

Existing Project Impervious Area (ac): \_\_\_\_\_

Proposed Project Impervious Area (ac): \_\_\_\_\_

Change in Impervious Area (%): \_\_\_\_\_

If change in impervious area > 10%:

Existing Project Conditions

Imperviousness (%): \_\_\_\_\_

Volumetric Runoff Coefficient,  $R_v$ : \_\_\_\_\_

80<sup>th</sup> Percentile Volume,  $V_1$  (cf): \_\_\_\_\_

Proposed Project Conditions

Imperviousness (%): \_\_\_\_\_

Volumetric Runoff Coefficient,  $R_v$ : \_\_\_\_\_

80<sup>th</sup> Percentile Volume,  $V_2$  (cf): \_\_\_\_\_

$V_{goal} = V_2 - V_1 =$  \_\_\_\_\_

**Subsurface Information**

**Groundwater**

Depth to Groundwater (ft): 9.3

Historical High Depth to Groundwater if known (ft): \_\_\_\_\_

Source: CMT Engineering Laboratories

Groundwater Contamination at Site: No

**Soil Information**

Infiltration Rate (in/hr): 15 in/hr (Field Measurement)

Hydrologic Soil Group: C

Source: USDA Soil Survey Map

Soil Contamination at Site: No

**Drinking Water**

Within Drinking Water Source Area Protection: No

**Additional Relevant Site Information**

The site will be developed into residential lots with associated driving and walking areas. The improvements will be designed to properly convey and store the required 100-yr storm event, as well as the Project Volume Retention Goal.

**LID Drainage Areas**

Add additional rows as needed.

Contributing Drainage Area	Area (ac)	Impervious Area (ac)	Imperviousness (%)	Volumetric Runoff Coefficient, $R_v$	Water Quality Volume, WQV (cf)
CDA 1	13.89	6.90	50%	0.38	8,583
CDA 2					
CDA 3					
CDA 4					
Total WQV (cf)					8,583

**LID BMP Design**

Add additional rows as needed.

Contributing Drainage Area	LID BMP Type	Water Quality Volume, WQV (cf)	Runoff Retained (cf)	Percent of Runoff Captured (%)
CDA1	Infiltration Basin	8,583	8,583	100
CDA 2				
CDA 3				
CDA 4				
Total Volume Retained (cf)			8,583	

Percent of  $V_{goal}$  captured by LID BMPs: 100%

If 100% of  $V_{goal}$  is not captured, document and provide narrative of technical infeasibilities and/or alternate compliance measures below:

N/A

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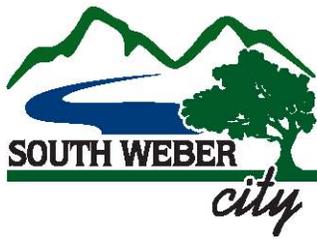
Describe additional storm water quality measures incorporated into the site:

A SWPP created by a registered Storm Water Inspector will implemented on site during construction.

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1600 E. South Weber Drive  
South Weber, UT 84405

www.southwebercity.com

801-479-3177  
FAX 801-479-0066

To: Planning Commission  
From: Trevor Cahoon, Community Services Director

Re: South Weber Drive Commercial - The Shops (Sodalicious & Ski N See)

Project Information	
<b>Project Name</b>	South Weber Drive Commercial - The Shops (Sodalicious & Ski N See)
<b>Site Location</b>	2532 E South Weber Drive
<b>Tax ID Number</b>	133530002
<b>Applicant</b>	Dan Murray
<b>Owner</b>	Dan Murray
<b>Proposed Actions</b>	Site Plan Amendment
<b>Current Zoning</b>	Commercial Highway
<b>General Plan Land Use Classification</b>	Commercial Highway
<b>Gross Site</b>	.68 acres

**ACTION**

Administrative Action: Consider approval of South Weber Drive Commercial - The Shops (Sodalicious & Ski N See) Site Plan Amendment.

**STAFF REVIEW SUMMARY**

Trevor Cahoon, Community Services Director, and Brandon Jones, City Engineer, have reviewed the application and found its contents to be consistent with City Code and recommend approval of the site plan amendment.

- This area has been previously approved for site plan. The applicant had a tenant remove their interest in the property and was approached by a new tenant. The developer now wishes to maintain ownership of the property and adjust the site to accommodate for the new tenant.
- An Encroachment Permit from UDOT will be required prior to construction for connection to UDOT’s storm drain infrastructure in South Weber Drive.
  - The plans show the water service as existing. If not, it will need to be part of the UDOT encroachment permit.
- Culinary water will be used for outdoor use. The required backflow preventer on the culinary service line to the sprinkler system is being provided.
- Developer has proposed to xeriscape the property which equates to 13.7% of total landscaped area which is under the 15% required. The code does allow the planning commission to approve landscaping down to 10% for exceptional design.

- Access to the site will function off of the main entrance that is already in place, however, the developer is proposing the creation of a secondary outlet for the property further down on the property. The developer will obtain a cross access agreement with the neighboring property owner to place the access. This secondary access will allow for better queuing in and out of the property.

**PLANNING COMMISSION RECOMMENDATION OPTIONS**

After careful consideration of the information presented, the South Weber Planning Commission moves to:

1. Approve the South Weber Drive Commercial - The Shops (Sodalicious & Ski N See) Site Plan Amendment.
2. Approve the South Weber Drive Commercial - The Shops (Sodalicious & Ski N See) Site Plan Amendment with the following conditions or recommendations:
  - a. *(Any other conditions that need to be met)*
3. Deny the South Weber Drive Commercial - The Shops (Sodalicious & Ski N See) Site Plan Amendment for the following reasons:
  - a. *(List reasons based upon City Code.)*
4. Continue the South Weber Drive Commercial - The Shops (Sodalicious & Ski N See) Site Plan Amendment for consideration at a future date.



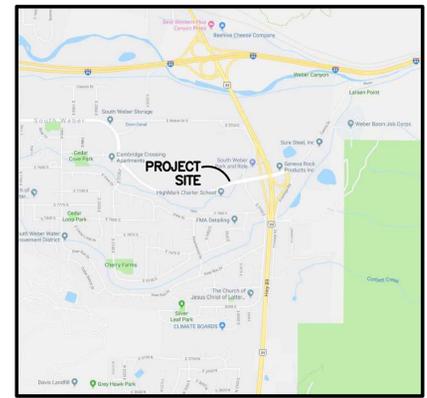


**Project Narrative/Notes/Revisions**

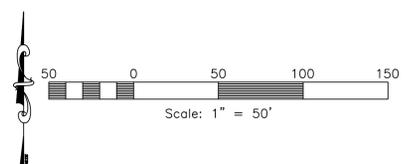
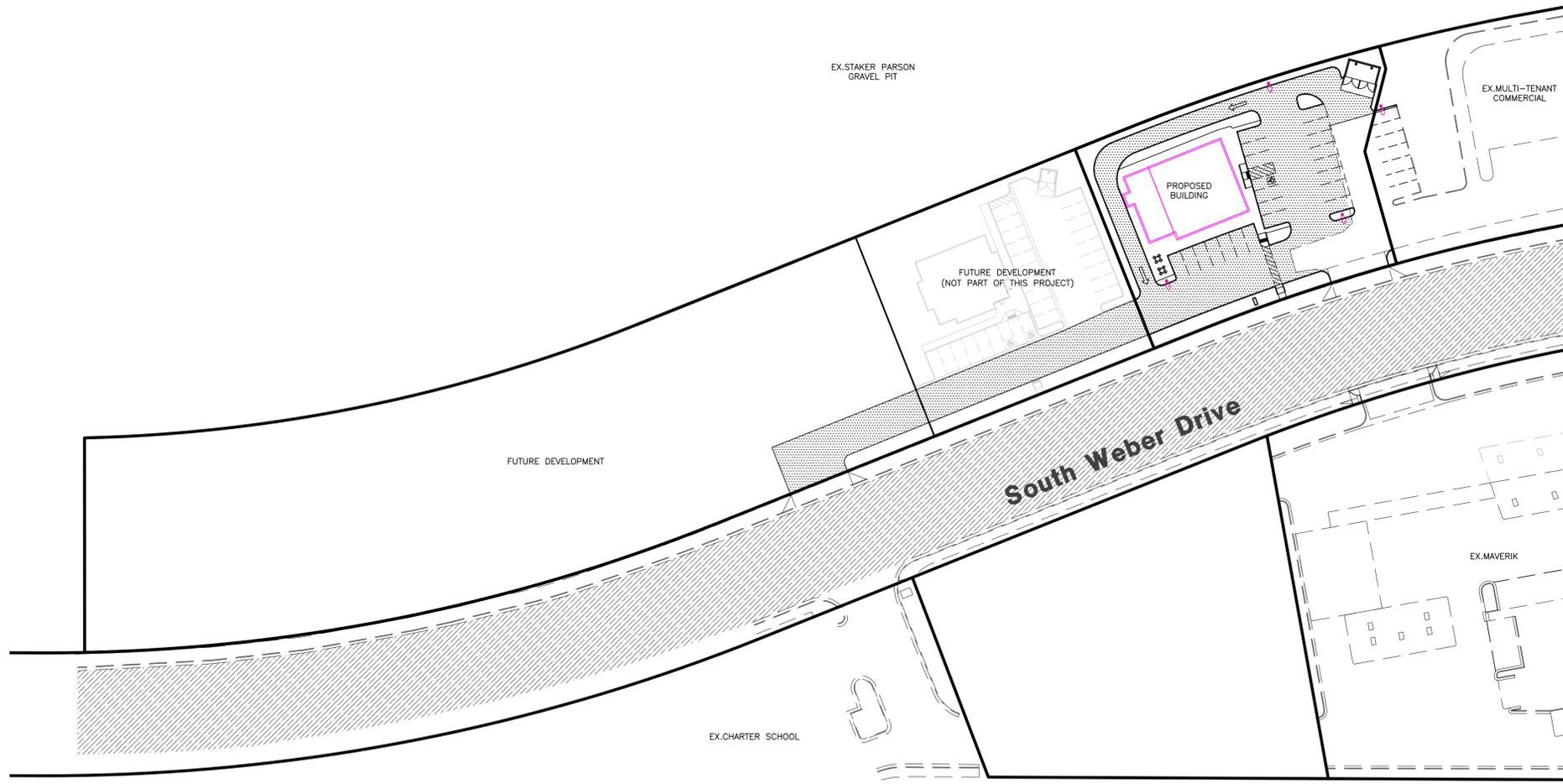
1. 12/22/2021 JM - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.

# Ski N See & Sodalicious Improvement Plans

SOUTH WEBER CITY, WEBER COUNTY, UTAH  
DECEMBER 2021



**Vicinity Map**



**Sheet Index**

- Sheet 1 - Cover/Index Sheet
- Sheet 2 - Notes/Legend
- Sheet 3 - Existing/Demolition Plan
- Sheet 4 - Proposed Site Plan
- Sheet 5 - Grading/Utility Plan
- Sheet 6 - Detention Basin Plan
- Sheet 7 - Civil Details
- Sheet 8 - Storm Water Pollution Prevention Plan Exhibit
- Sheet 9 - Storm Water Pollution Prevention Plan Details
- Sheet 10 - Landscape Plan
- Sheet 11 - Irrigation Plan
- Sheet 12 - Irrigation Details

**Engineer's Notice To Contractors**

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

**Elevation Datum:**  
THE BASIS OF BEARING WAS ESTABLISHED BETWEEN THE SECTION MONUMENTS: NORTH 1/4, SECTION 35 T.5N., R.1W., S.L.B.&M. EAST 1/4, SECTION 35 (WEST 1/4, SECTION 36), AND MATCHES THE BASIS OF BEARING OF THE HIGHMARK SUBDIVISION AND DAVIS COUNTY SURVEY



**Architect:**  
Brent Murray  
E4H Architecture  
833 S 200 E  
Salt Lake City, UT 84111  
PH: 888-781-8441

**Geotechnical Report:**  
Dated: 08/31/2015  
Gordan Geotechnical Engineering, inc  
4426 S. Century Drive suite 100  
Salt Lake City, utah 84123  
801-327-9600

**Surveyor:**  
Trevor Hatch  
Reeve & Associates, Inc.  
5160 South 1500 West  
Riverdale, Utah, 84405  
PH: (801) 621-3100

**Landscape Architect:**  
Nathan Peterson  
Reeve & Associates, Inc.  
5160 South 1500 West  
Riverdale, Utah, 84405  
PH: (801) 621-3100

**Developer Contact:**  
Dan Murray  
Murray Family Investments  
1907 N 400 W  
Centerville, UT 84014  
801-295-5393

**Project Contact:**  
Nate Reeve  
Reeve & Associates, Inc.  
5160 South 1500 West  
Riverdale, Utah, 84405  
PH: (801) 621-3100

**Notice:**  
THESE PLANS WERE CREATED UTILIZING COLORS FOR UTILITIES & OTHER INFRASTRUCTURE. IF PRINTED IN, OR COPIED TO BLACK & WHITE, SOME LINE WORK MAY NOT SHOW UP PROPERLY.

**Reeve & Associates, Inc.**  
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405  
TEL: (801) 621-3100 www.reeve.co

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TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION
DATE	

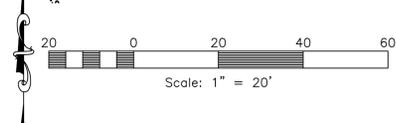
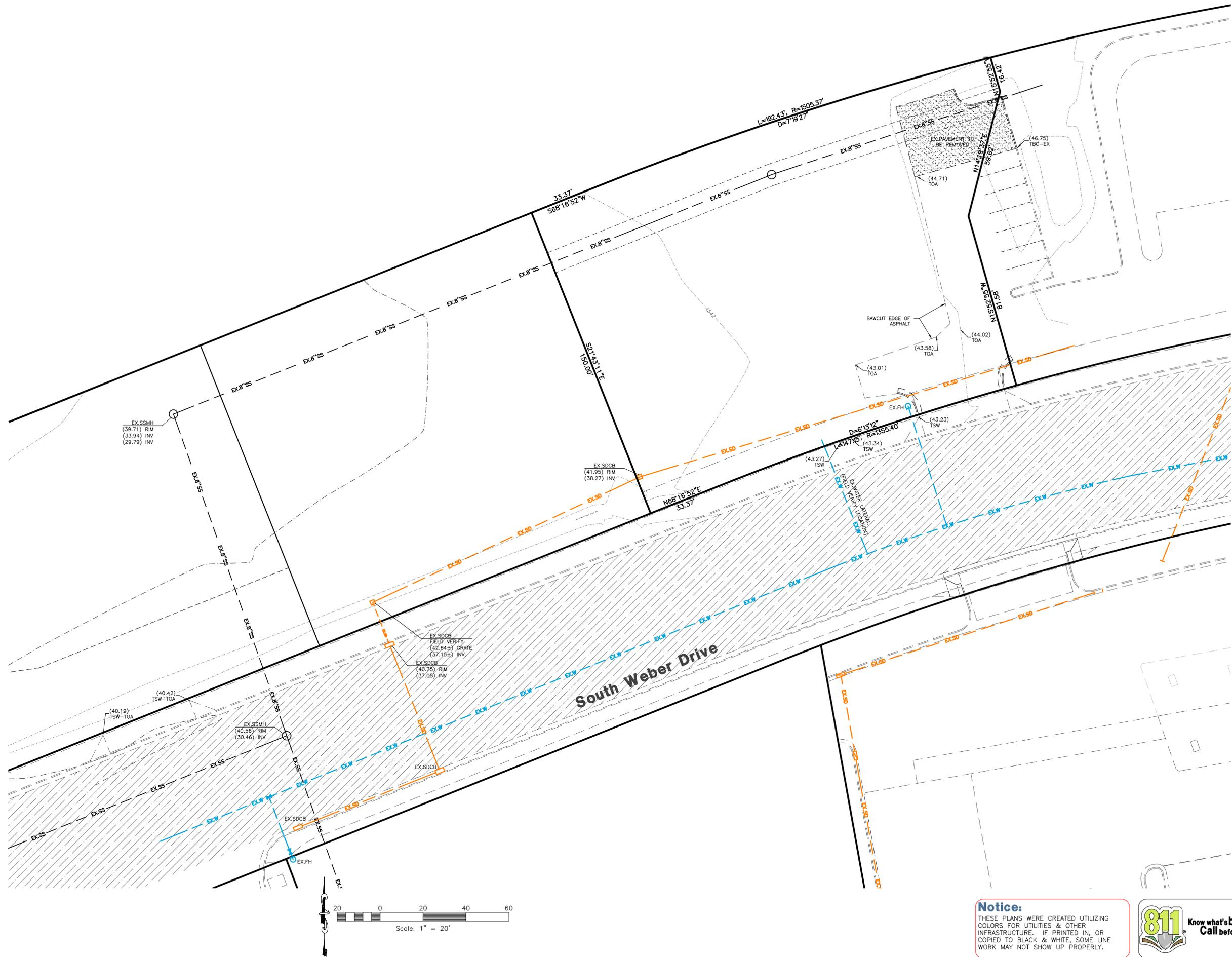
**Ski N See & Sodalicious**  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

**Cover/Index Sheet**



**Project Info.**  
Engineer: J. NATE REEVE, P.E.  
Drafted: J. MEYERS  
Begin Date: NOVEMBER 2021  
Name: SKI N SEE SODALICIOUS  
Number: 6195-09





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**RA**

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REVISIONS	DESCRIPTION

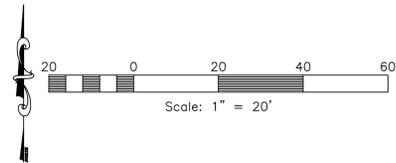
**Ski N See & Sodalicious**  
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH

**Existing Demolition Plan**



**Project Info.**

Engineer:	J. NATE REEVE, P.E.
Drafter:	J. MEYERS
Begin Date:	NOVEMBER 2021
Name:	SKI N SEE SODALICIOUS
Number:	6195-09



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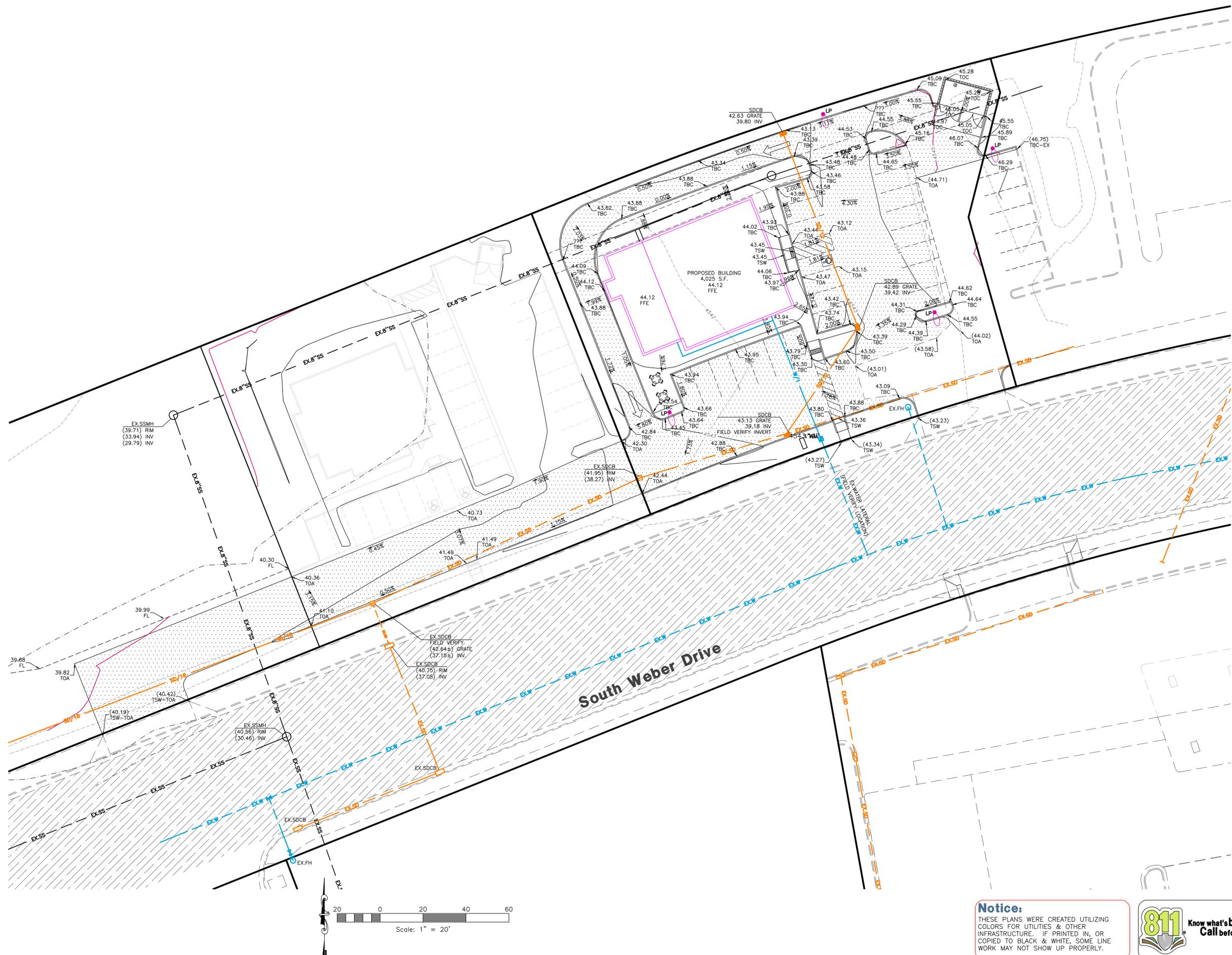
REVISIONS	DESCRIPTION
DATE	

**Ski N See & Sodalicious**  
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH

**Proposed Site Plan**



**Project Info.**  
 Engineer: J. NATE REEVE, P.E.  
 Drafter: J. MEYERS  
 Begin Date: NOVEMBER 2021  
 Name: SKI N SEE SODALICIOUS  
 Number: 6195-09



**Reeve & Associates, Inc.**  
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405  
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 TEL: (801) 621-3100 www.reeve.co

**RA**

REVISIONS	DESCRIPTION

**Ski N See & Sodalicious**  
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH

**Grading/Utility Plan**



**Project Info.**

Engineer:	J. NATE REEVE, P.E.
Drafter:	J. MEYERS
Begin Date:	NOVEMBER 2021
Name:	SKI N SEE SODALICIOUS
Number:	6195-09

**Notice:**  
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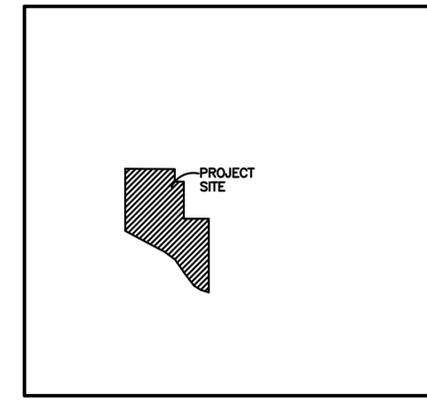




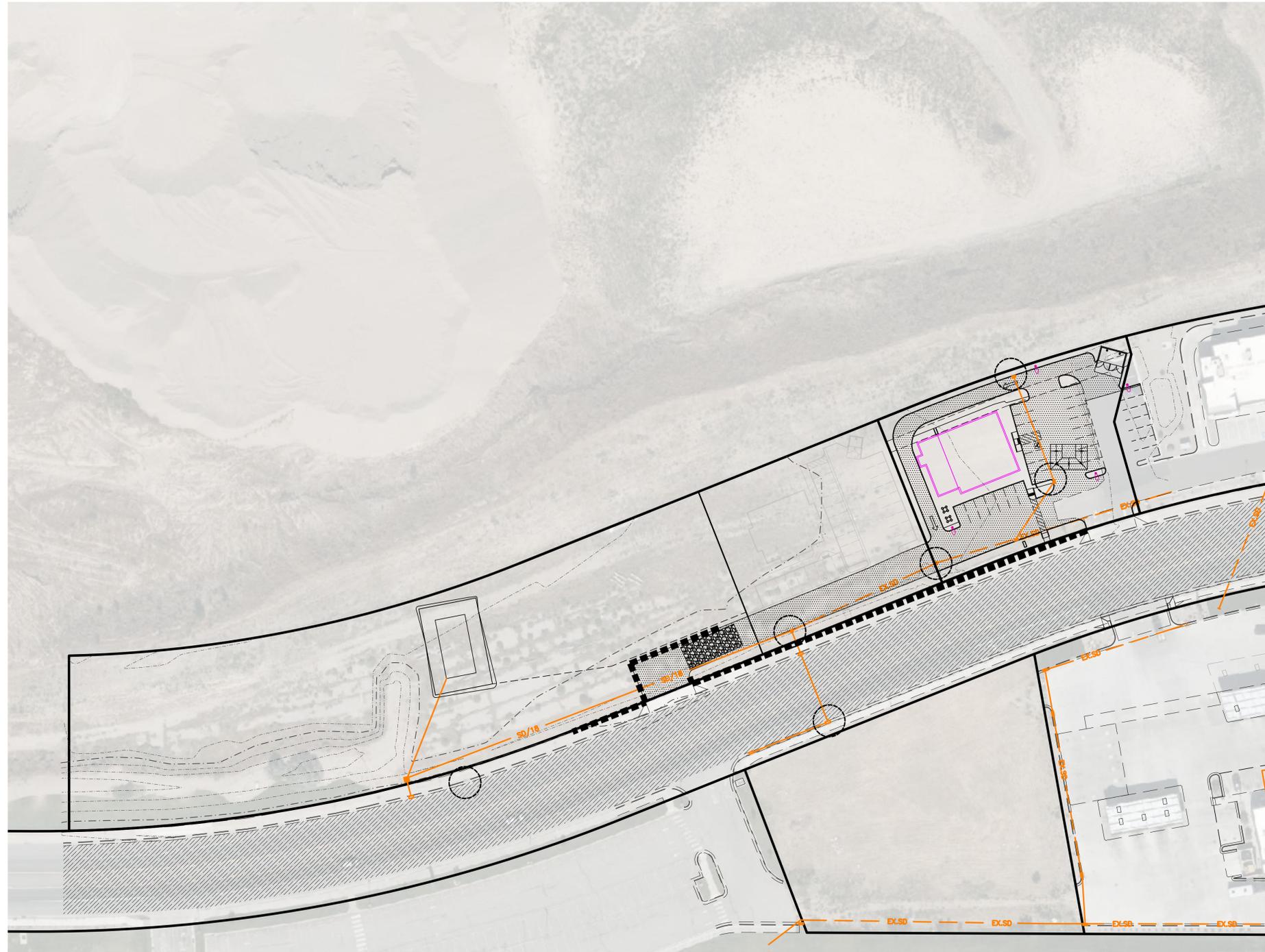
# Ski N See & Sodalicious

## Storm Water Pollution Prevention Plan Exhibit

SOUTH WEBER CITY, WEBER COUNTY, UTAH  
DECEMBER 2021

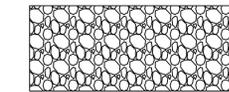


**Vicinity Map**  
NOT TO SCALE



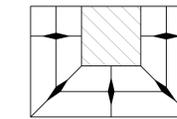
- PORTABLE TOILET
- INLET PROTECTION TYP. (SEE DETAIL)
- SILT FENCE (SEE DETAIL)

STREETS TO BE SWEEPED WITHIN 1000 FEET OF CONSTRUCTION ENTRANCE DAILY IF NECESSARY

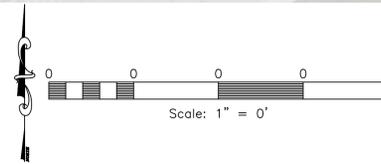


ALL VEHICLES EXITING SITE TO PROCEED THROUGH CONSTRUCTION ENTRANCE TO REDUCE AMOUNTS OF SEDIMENT TRACKED ONTO ROADWAYS.

50'x20' CONSTRUCTION ENTRANCE W/8" CLEAN GRAVEL



CONCRETE WASH AREA (SEE DETAIL) OR AS SELECTED BY CONTRACTOR



Construction Activity Schedule	
- PROJECT LOCATION.....	SOUTH WEBER CITY, DAVIS COUNTY, UTAH
- PROJECT BEGINNING DATE.....	JANUARY 2022
- BMP'S DEPLOYMENT DATE.....	JANUARY 2022
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....	TBD
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER	

Reeve & Associates, Inc.  
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405  
TEL: (801) 621-3100 www.reeve.co

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TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION

**Ski N See & Sodalicious**  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

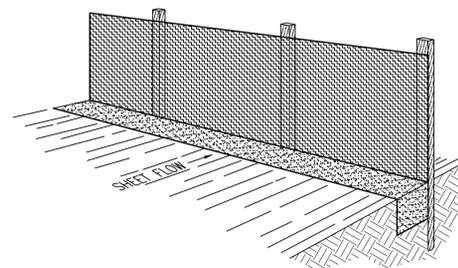
### Storm Water Pollution Prevention Plan Exhibit



<b>Project Info.</b>	
Engineer:	J. NATE REEVE, P.E.
Drafter:	J. MEYERS
Begin Date:	NOVEMBER 2021
Name:	SKI N SEE SODALICIOUS
Number:	6195-09

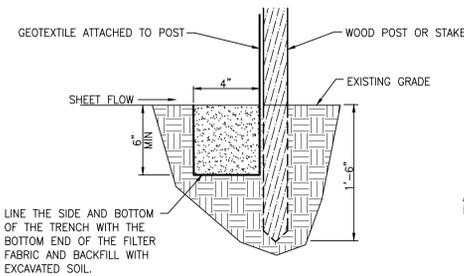
**Notes:**

- Describe all BMP's to protect storm water inlets:  
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
  - Equipment / building / concrete wash areas:  
To be performed in designated areas only and surrounded with silt fence barriers.
  - Soil contaminated by soil amendments:  
If any contaminants are found or generated, contact environmental engineer and contacts listed.
  - Areas of contaminated soil:  
If any contaminants are found or generated, contact environmental engineer and contacts listed.
  - Fueling area:  
To be performed in designated areas only and surrounded with silt fence.
  - Vehicle maintenance areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Vehicle parking areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Equipment storage areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Materials storage areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Waste containment areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Service areas:  
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:  
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
  - Maintenance
    - Maintain all construction equipment to prevent oil or other fluid leaks.
    - Keep vehicles and equipment clean; prevent excessive build-up of oil and grease.
    - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
    - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
    - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
  - Fueling
    - If fueling must occur on-site, use designated areas away from drainage.
    - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
    - Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
    - Use drip pans for any oil or fluid changes.
  - Washing
    - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
    - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
    - Use phosphate-free, biodegradable soaps.
    - Do not permit steam cleaning on-site.
- Spill Prevention and Control
  - Minor Spills:  
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
    - Contain the spread of the spill.
    - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
    - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up and properly dispose of contaminated soil.
    - If the spill occurs during rain, cover the impacted area to avoid runoff.
    - Record all steps taken to report and contain spill.
  - Major Spills:  
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
  - Maintain good housekeeping practices.
  - Enclose or cover building material storage areas.
  - Properly store materials such as paints and solvents.
  - Store dry and wet materials under cover, away from drainage areas.
  - Avoid mixing excess amounts of fresh concrete or cement on-site.
  - Perform washout of concrete trucks offsite or in designated areas only.
  - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
  - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
  - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
  - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
  - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week. A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
  - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
  - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
  - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
  - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
  - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the engineer of record of the governing agency.
  - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the engineer of record.
  - Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
  - Erosion control devices will be modified as need as the project progresses and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
  - Part III.D.4 of general permit UTRC00000 identifies the minimum inspection requirements.
  - Part III.D.4.C identifies the minimum inspection report requirements.
  - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.



**Perspective View**

Figure 2



**Section**

**INSTALLATION**

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

Slope Steepness (%)	Max. Slope Length m (ft)
<2%	30.5m (100ft)
2-5%	22.9m (75ft)
5-10%	15.2m (50ft)
10-20%	7.6m (25ft)
>20%	4.5m (15ft)

**PREFABRICATED SILT FENCE ROLLS**

- Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- Unroll the silt fence, positioning the post against the downstream wall of the trench.
- Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
- Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
- Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

should generally be less than three (3) times the height of the fence.

- If a steel or plastic mesh is required to reinforce the geotextile, it shall have a minimum mesh opening of 15.2cm (6").
- Fasten the mesh to the upslope side of the posts using heavy duty wire staples, tie wires or hog strings. Extend the mesh into the bottom of the trench.
- The geotextile shall then be stapled or wired to the posts. An extra 20-50cm (8-20") of geotextile shall extend into the trench.

**INSPECTION**

- Inspect the silt fence daily during periods of rainfall, immediately after significant rainfall event and weekly during periods of no rainfall. Make any repairs immediately.
- When sediment deposits behind the silt fence are one-third of the fence height, remove and properly dispose of the silt accumulations. Avoid damage to the fabric during cleanout.

**REMOVAL**

- Silt fence should not be removed until construction ceases and the upslope area has been properly stabilized and/or revegetated.

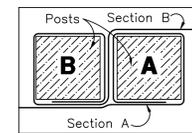


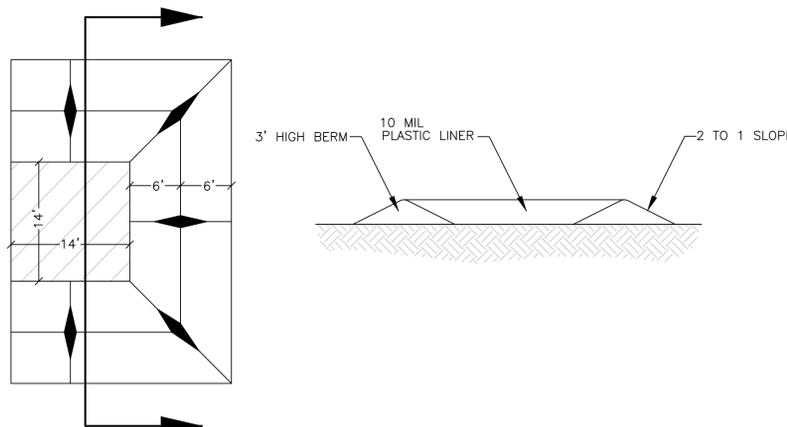
Figure 1: Top View of Roll-to-Roll Connection

**FIELD ASSEMBLY:**

- Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing

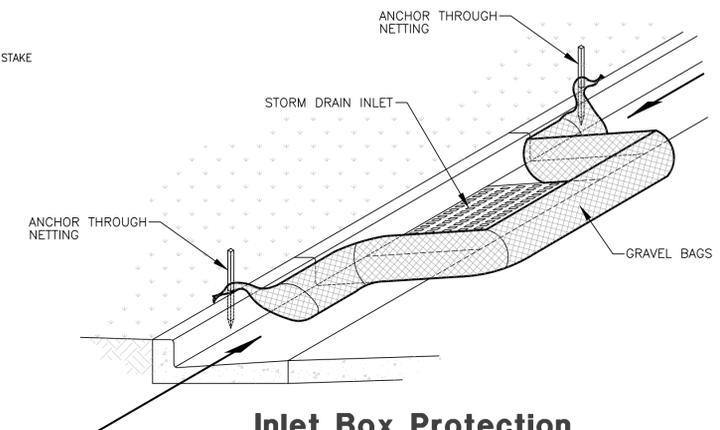
**Silt Fence Detail**

SCALE: NONE

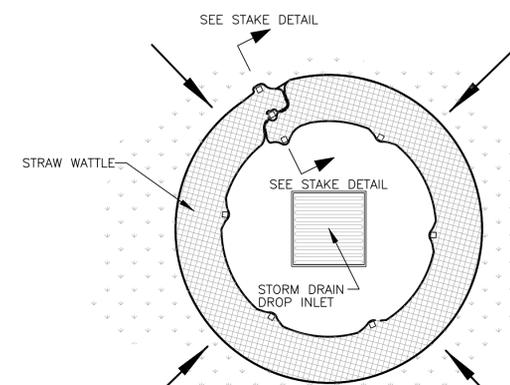


**Concrete Washout Area w/ 10 mil Plastic Liner**

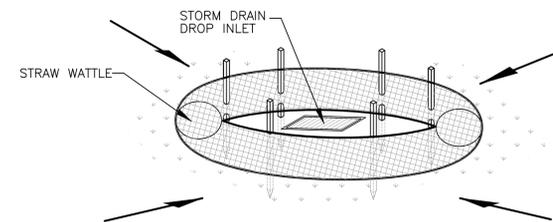
SCALE: NONE



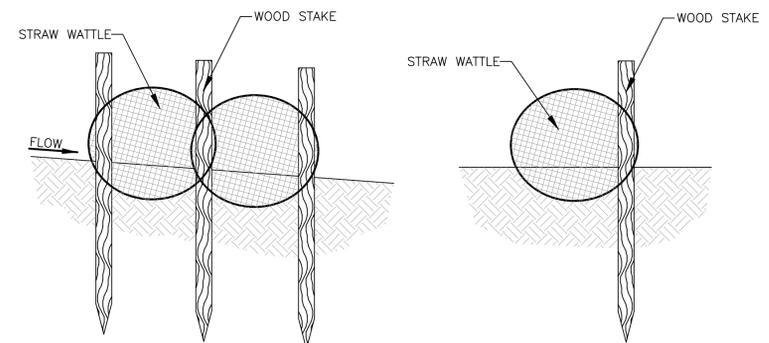
**Inlet Box Protection**



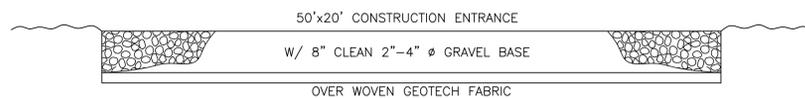
**Plan View**



**Drop Inlet Protection**



**Stake Detail**



**Cross Section 50' x 20' Construction Entrance**

**Reeve & Associates, Inc.**  
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405  
 TEL: (801) 621-3100 www.reeve.co  
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • GEOTECHNICAL ENGINEERS

REVISIONS	DESCRIPTION
DATE	

**Ski N See & Sodalicioius**  
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
**Storm Water Pollution Prevention Plan Details**



**Project Info.**

Engineer:	J. NATE REEVE, P.E.
Drafter:	J. MEYERS
Begin Date:	NOVEMBER 2021
Name:	SKI N SEE SODALICIOIUS
Number:	6195-09







E 3370843 B 7736 P 3250-3259  
DAVIS COUNTY, UTAH RECORDER  
04/12/2021 03:15 PM  
FEE \$40.00 Pgs: 10  
REC'D FOR MURRAY FAMILY HO  
LDINGS LLC

13-353-0001  
0002.0003

**EASEMENT AND MAINTENANCE AGREEMENT**

This Easement and Maintenance Agreement (the “**Agreement**”) is established by Murray Family Holdings, LLC, a Utah Limited Liability Company, whose mailing address is Post Office Box 1303, Centerville, Utah, 84014 (“**Murray**”).

**W I T N E S S E T H:**

**WHEREAS**, Murray owns certain real property known as the South Weber Drive Commercial Subdivision, and all Amendments thereto, in South Weber City, County of Davis, State of Utah (the “**Property**” ), more particularly described in attached Exhibit A;

**WHEREAS**, Murray desires to grant to current and subsequent owners of the Property, but only those current or subsequent owners whose property is contiguous to the circulation easements described below, certain non-exclusive easements of access for ingress, egress and circulation.

**WHEREAS**, Murray desires to establish an easement for a private sewer line for those current or subsequent owners whose property is contiguous to the sewer easement, and an agreement and mechanism for the maintenance of a private sewer line.

**NOW, THEREFORE**, for the benefit of current and subsequent fee owners, Murray hereby adopts and establishes the following covenants and easements which shall be applicable to the Property (“**Property**”):

1. **Murray Grant of Access Easement.** Murray hereby grants, and establishes a non-exclusive, perpetual, free and unobstructed easement in and on the property described on Schedule 1 (the “**Circulation Easement Area**”) for ingress, egress and circulation of vehicular and pedestrian traffic to and from South Weber Drive for parcels contiguous to the Circulation Easement Area.

2. **Murray Grant of Sewer Line Easement.** Murray hereby grants, and establishes an easement in and on the property described on Schedule 2 (the “**Sewer Easement Area**”) for a private sewer line which shall serve contiguous parcels.

3. **Agreements With Respect to Circulation Easement.** Murray and all subsequent fee owners of all or any portion of the Property (hereinafter collectively referred to as “**Owners**” and individually referred to as “**Owner**”) agree that the following terms and provisions shall govern the Owners' use of the easement (the “**Circulation Easement**”) granted in Paragraph 1.

3.1 **No Barriers or Interference.** No Owner shall construct or place any fences, barriers or other obstacles which would prevent or obstruct the passage of pedestrian or vehicular travel within or across the Circulation Easement Area, excepting therefrom the installation of highback curbing in certain areas intended to direct the flow of vehicles within the easement areas. The foregoing provisions shall not prohibit the temporary erection of a barricade by an Owner which

is reasonably necessary for the construction, repair or maintenance of the Easement Area; provided however, that any such work shall be conducted in a manner calculated to cause the least interference to the use of the Easement Area as is reasonably possible.

**3.2 Use of Easements.** Subject to the limitations contained herein, Owners may authorize their respective tenants and invitees (including, without limitation, employees, customers, agents and invitees of such tenants) to use the Easement Area for the purposes and subject to the limitations stated herein. The Easements and rights herein conveyed are private easements and are not for the use or benefit of the general public. Nothing herein contained shall be construed or deemed to be a dedication of any easements to, or for the use of, the general public.

**3.3 Improvement and Maintenance of Circulation Easement.** Each property owner shall install pavement and required curbing on their respective tracts and each shall maintain the pavement and curbing within their respective Tract in a good condition and repair.

**3.4 Parking Rights.** Murray does not intend by this instrument to create any parking easements or parking rights for subsequent fee owners beyond the boundaries of that fee owner's parcel.

**4. Agreements With Respect to Sewer Easement.** Murray and all Owners agree that the following terms and provisions shall govern the Owners' use of the easement (the "**Sewer Easement**") granted in Paragraph 2.

**4.1 Use of Easements.** Subject to the limitations contained herein, Owners whose property is contiguous to the Sewer Easement may connect their buildings to the private sewer line and authorize their respective tenants to use the sewer line for the purposes and subject to the limitations stated herein. Owners or their tenants may use the sewer line as directed and allowed by the Central Weber Sewer Improvement District (the "**Sewer District**") and subject to any filtration requirements imposed by the Sewer District. No Owner or its tenant may discharge materials inconsistent with Sewer District guidelines or materials that are hazardous or toxic as determined by State of Utah or Federal guidelines or statutes. The Easements and rights herein conveyed are private easements and are not for the use or benefit of the general public. Nothing herein contained shall be construed or deemed to be a dedication of any easements to, or for the use of, the general public.

**4.2 Connections and Maintenance of Sewer Line.** Each Owner, current or subsequent, with property contiguous to the Sewer Easement may connect to the sewer line, the cost of said connection to be paid by the respective Owner making the connection. The party that elects to maintain and repair the sewer line improvements shall be referred to herein as the "**Maintaining Party**," with the other Party or Parties referred to herein as the "**Reimbursing Party**" or the "**Reimbursing Parties**." Murray shall be the initial Maintaining Party. Accordingly, the Maintaining Party shall maintain and repair the sewer line improvements (collectively, the "**Sewer Line Improvements**"), in accordance with the following terms and conditions:

**4.2.1 Sewer Line Improvements.** The Maintaining Party shall cause the Sewer Line Improvements to be properly maintained and repaired in a good, clean, safe, orderly, and working condition, and in accordance with this Agreement. The Sewer Line Improvements shall be maintained, repaired or replaced with materials at least equal to the quality of the materials being repaired or replaced so as to maintain the structural and functional integrity of the Sewer Line. However, if any damage is caused to the Sewer Line Improvements by any one Owner, or such Owner's agents, contractors, employees or invitees, during delivery, construction, repair, maintenance, or other use of such area, then such Owner shall pay the cost of repairing such damage, without reimbursement from the other Owners.

**4.2.2 Maintenance Costs.** The Maintaining Party shall expend only such funds as are reasonably necessary for the Sewer Line Improvements and for the performance of other obligations imposed on the Maintaining Party pursuant to this Agreement (collectively, "**Maintenance Costs**"), and shall promptly pay all such costs when incurred. Except in emergency circumstances, at least thirty (30) days prior to any major work in Sewer Line Improvements the Maintaining Party shall advise the Parties of the scope thereof, and the proposed commencement and completion dates. Further, each party to this Agreement, on behalf of their successors and assigns, hereby grants to the Maintaining Party and its contractors, materialmen and laborers, a temporary license for access and passage over and across any portion of the Property to the extent reasonably necessary to maintain the Sewer Line Improvements as provided in this Section 4.2.

**4.2.3 Maintenance Costs Reimbursement.** The Reimbursing Parties shall be responsible for an equal share of the Maintenance Costs incurred by the Maintaining Party in fulfilling its duties under this Agreement, depending on the number of Owners connected to the Sewer Line Improvements. As an example only, if there are three Owners connected to the Sewer Line Improvements, the Maintenance Costs will be split equally between all three Owners. Upon completion of any work to the Sewer Line Improvements, the Maintaining Party will present to the Reimbursing Parties the cost of completing such work with detailed invoices and documentation. The Reimbursing Party shall promptly pay the Maintaining Party's requested amount within thirty (30) days of request therefor.

**4.2.4 Right to Lien.** If any Reimbursing Party fails to pay its share of the Maintenance Costs to the Maintaining Party within the time frames set forth in Section 4.2.3 above, the Maintaining Party shall have an express right to record a lien against the Reimbursing Parties' property to secure payment therefor from such Reimbursing Party.

**5. Covenants Run With the Land.** The Property shall be held, transferred, improved, sold, conveyed, used and occupied subject to the Easements and restrictions described herein, which Easements and restrictions shall be covenants running with the Property and enforceable against all subsequent Owners of all or any portion thereof.

**6. Easements Superior to Financing.** The Easements created by this Agreement shall be superior to any deed of trust or other lien against the Property.

7. **Modification.** The provisions of this Agreement may be modified from time to time or terminated at any time by the written agreement of all of the Owners of the Property. No consent to the modification, from time to time, or termination of any or all of the provisions of this Agreement shall ever be required from any persons other than the fee simple Owners of said Property. No consent shall be required of any tenant of the Property, nor shall any such tenant have any right to enforce any provision of this Agreement or any modification hereof.

8. **Term.** The Easements, restrictions, rights, terms and provisions of this Agreement are perpetual. Nonetheless the Easement can be terminated with the written consent of all Owners.

9. **Owner's Liability.** Each Owner shall be liable for the performance of all covenants, obligations and undertakings herein set forth with respect to the portion of the Property owned by it which accrue during the period of its ownership. With respect to the portion of the Property transferred, the transferee Owner shall automatically become liable for all obligations, performance requirements and amounts which arise subsequent to the transfer of ownership.

10. **General Provisions.**

10.1 **Entire Understanding.** This Agreement embodies the entire understanding and agreement between the parties concerning the subject matter hereof, and supersedes any and all prior negotiations, understandings, or agreements in regard thereto.

10.2 **Applicable Law.** This Agreement has been executed and delivered in the State of Utah and will be construed and interpreted according to the laws of Utah.

10.3 **Severability.** The provisions of this Agreement are intended to be severable. If any provision hereof shall be invalid, illegal, or unenforceable, the other provisions hereof shall in no way be impaired thereby.

10.4 **Waiver.** Any waiver as to any of the terms or conditions of this Agreement shall not operate as a future waiver of the same terms and conditions or prevent the future enforcement of any of the terms and conditions hereof.

10.5 **Attorney's Fees.** Should any litigation or arbitration be commenced between the Owners arising out of this Agreement or the transactions contemplated hereby, the party prevailing in such litigation or arbitration shall be entitled, in addition to such other relief as may be granted, to a reasonable sum for its attorney's fees in such litigation or arbitration.





Exhibit A

2-9-2021

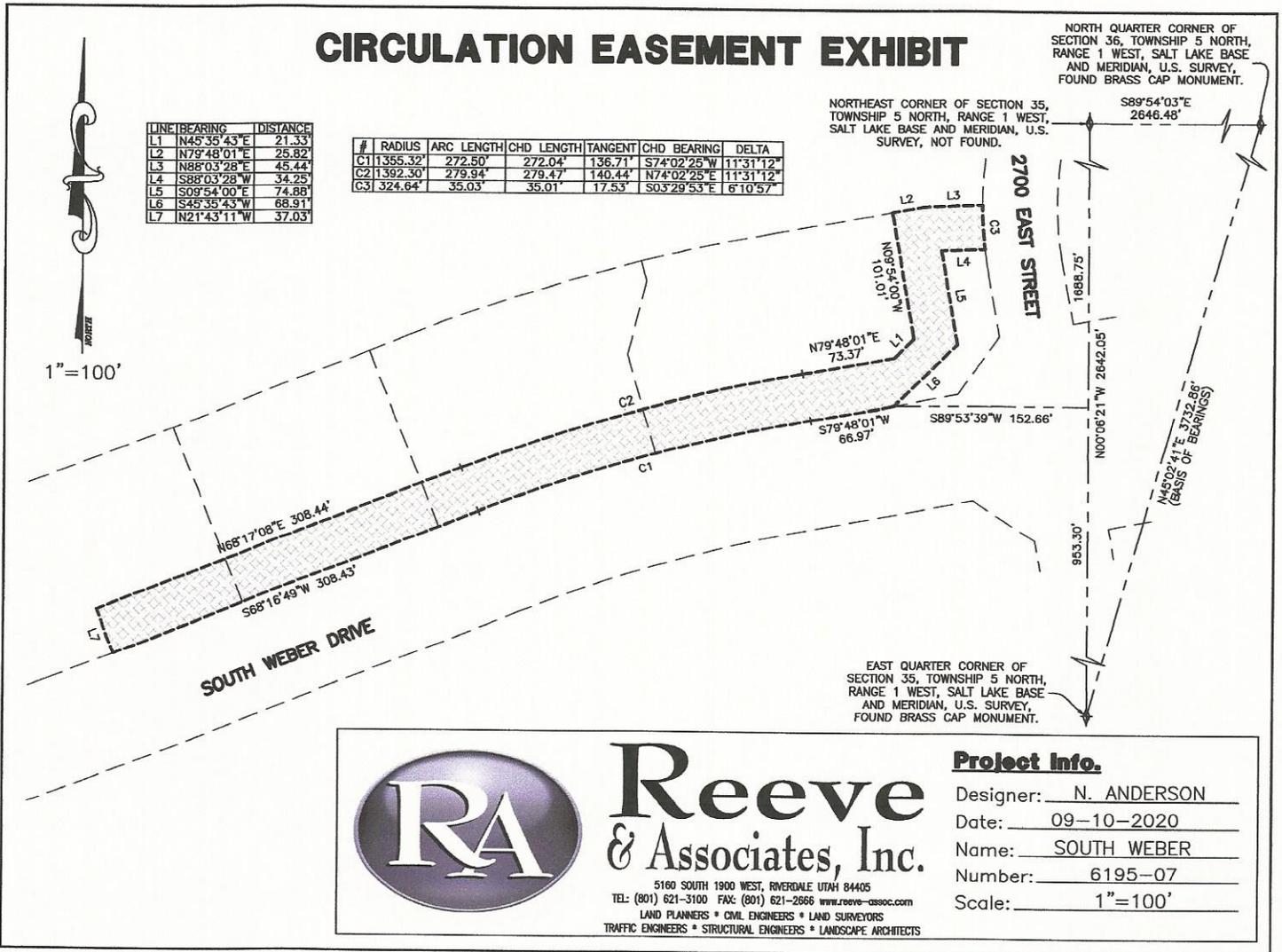
**LEGAL DESCRIPTION  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH**

PART OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY RIGHT OF WAY LINE OF 2700 EAST STREET, SAID POINT BEING S00°06'21"E 1530.79 FEET AND S89°53'39"W 83.92 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 35; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE THE FOLLOWING TWO (2) COURSES: (1) ALONG A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 324.64 FEET, AN ARC LENGTH OF 55.49 FEET, A DELTA ANGLE OF 09°47'34", A CHORD BEARING OF S05°18'12"E, AND A CHORD LENGTH OF 55.42 FEET; AND (2) S10°11'59"E 49.05 FEET; THENCE S35°23'37"W 56.03 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF SOUTH WEBER DRIVE; THENCE ALONG SAID NORTHERLY RIGHT OF WAY LINE THE FOLLOWING FOUR (4) COURSES: (1) S79°48'01"W 117.57 FEET; (2) ALONG A TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 1355.32 FEET, AN ARC LENGTH OF 272.50 FEET, A DELTA ANGLE OF 11°31'12", A CHORD BEARING OF S74°02'25"W, AND A CHORD LENGTH OF 272.04 FEET; (3) S68°16'49"W 365.12 FEET; AND (4) ALONG A TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 1269.36 FEET, AN ARC LENGTH OF 454.61 FEET, A DELTA ANGLE OF 20°31'12", A CHORD BEARING OF S78°32'24"W, AND A CHORD LENGTH OF 452.18 FEET; THENCE N00°02'06"W 150.04 FEET; THENCE ALONG A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 1119.36 FEET, AN ARC LENGTH OF 397.84 FEET, A DELTA ANGLE OF 20°21'50", A CHORD BEARING OF N78°27'43"E, AND A CHORD LENGTH OF 395.75 FEET; THENCE N68°16'49"E 365.12 FEET; THENCE ALONG A TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 1505.32 FEET, AN ARC LENGTH OF 302.66 FEET, A DELTA ANGLE OF 11°31'12", A CHORD BEARING OF N74°02'25"E, AND A CHORD LENGTH OF 302.15 FEET; THENCE N79°48'01"E 117.36 FEET; THENCE N88°03'28"E 45.44 FEET TO THE POINT OF BEGINNING.

CONTAINING 184,665 SQUARE FEET OR 4.239 ACRES MORE OR LESS.

## Schedule 1 Circulation Easement Area



**Reeve & Associates, Inc.**

5160 SOUTH 1900 WEST, RIVERDALE UTAH 84405  
 TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-assoc.com  
 LAND PLANNERS \* CIVIL ENGINEERS \* LAND SURVEYORS  
 TRAFFIC ENGINEERS \* STRUCTURAL ENGINEERS \* LANDSCAPE ARCHITECTS

**Project Info.**

Designer: N. ANDERSON  
 Date: 09-10-2020  
 Name: SOUTH WEBER  
 Number: 6195-07  
 Scale: 1"=100'



9-10-2020

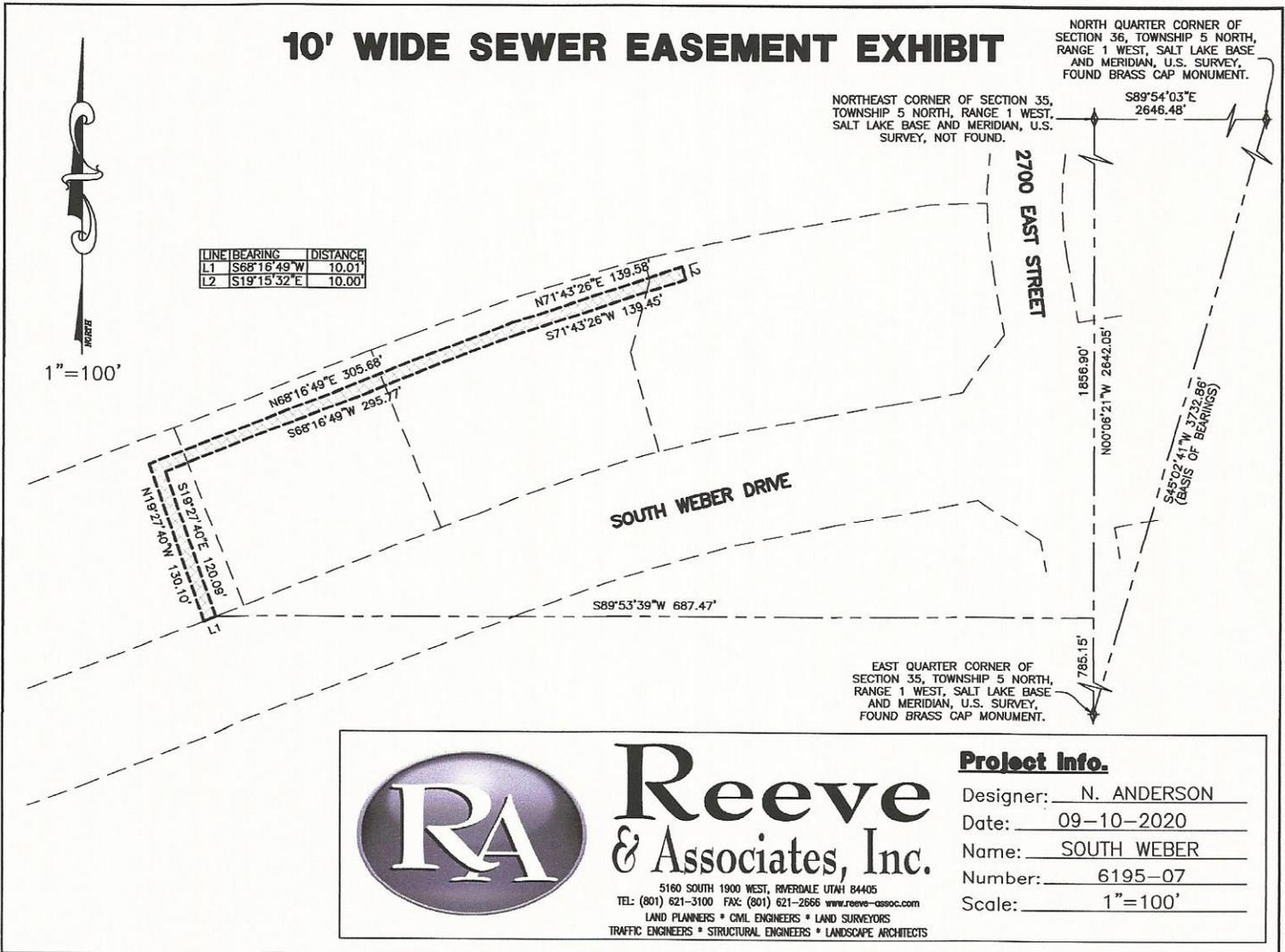
**CIRCULATION EASEMENT  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH**

PART OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF SOUTH WEBER DRIVE, SAID POINT BEING N00°06'21"W 953.30 FEET AND S89°53'39"W 152.66 FEET FROM THE EAST QUARTER CORNER OF SAID SECTION 35; THENCE ALONG THE NORTHERLY RIGHT OF WAY LINE OF SOUTH WEBER DRIVE THE FOLLOWING THREE (3) COURSES: (1) S79°48'01"W 66.97 FEET; (2) ALONG A TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 1355.32 FEET, AN ARC LENGTH OF 272.50 FEET, A DELTA ANGLE OF 11°31'12", A CHORD BEARING OF S74°02'25"W, AND A CHORD LENGTH OF 272.04 FEET; AND (3) S68°16'49"W 308.43 FEET; THENCE N21°43'11"W 37.03 FEET; THENCE N68°17'08"E 308.44 FEET; THENCE ALONG A TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 1392.30 FEET, AN ARC LENGTH OF 279.94 FEET, A DELTA ANGLE OF 11°31'12", A CHORD BEARING OF N74°02'25"E, AND A CHORD LENGTH OF 279.47 FEET; THENCE N79°48'01"E 73.37 FEET; THENCE N45°35'43"E 21.33 FEET; THENCE N09°54'00"W 101.01 FEET; THENCE N79°48'01"E 25.82 FEET; THENCE N88°03'28"E 45.44 FEET TO THE WESTERLY RIGHT OF WAY LINE OF 2700 EAST STREET; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE ALONG A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 324.64 FEET, AN ARC LENGTH OF 35.03 FEET, A DELTA ANGLE OF 06°10'57", A CHORD BEARING OF S03°29'53"E, AND A CHORD LENGTH OF 35.01 FEET; THENCE S88°03'28"W 34.25 FEET; THENCE S09°54'00"E 74.88 FEET; THENCE S45°35'43"W 68.91 FEET TO THE POINT OF BEGINNING.

CONTAINING 30,207 SQUARE FEET OR 0.693 ACRES MORE OR LESS.

Schedule 2  
Sewer Easement Area





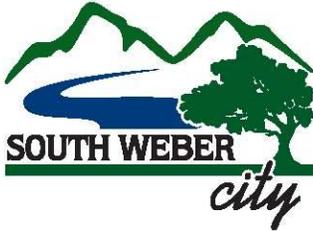
9-10-2020

**10' WIDE SEWER EASEMENT  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH**

PART OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF SOUTH WEBER DRIVE, SAID POINT BEING  $N00^{\circ}06'21''W$  785.15 FEET AND  $S89^{\circ}53'39''W$  687.47 FEET FROM THE EAST QUARTER CORNER OF SAID SECTION 35 (SAID EAST QUARTER CORNER BEING  $S45^{\circ}02'41''W$  3732.86 FEET FROM THE NORTH QUARTER CORNER OF SECTION 36); THENCE  $S68^{\circ}16'49''W$  ALONG THE NORTHERLY RIGHT OF WAY LINE, 10.01 FEET; THENCE  $N19^{\circ}27'40''W$  130.10 FEET; THENCE  $N68^{\circ}16'49''E$  305.68 FEET; THENCE  $N71^{\circ}43'26''E$  139.58 FEET; THENCE  $S19^{\circ}15'32''E$  10.00 FEET; THENCE  $S71^{\circ}43'26''W$  139.45 FEET; THENCE  $S68^{\circ}16'49''W$  295.77 FEET; THENCE  $S19^{\circ}27'40''E$  120.09 FEET TO THE POINT OF BEGINNING.

CONTAINING 5,659 SQUARE FEET OR 0.130 ACRES MORE OR LESS.



## Agenda Item Introduction

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### Planning Commission Meeting Date:

**Name:** APPROVED Alpha Coffee Site Plan

### Agenda Item: 5a

**Background:** This is the APPROVED Site Plan for Alpha Coffee. This was approved by the PC on 2/13/2020. The Subdivision this is part of was approved by the CC on 3/10/2020 (South Weber Drive Commercial 1<sup>st</sup> Amendment)

### Summary:

Originally Dan Murray intended to sell this parcel to Alpha Coffee, but due to COVID they were unable to complete the transaction. He now is requesting an amendment to the approved site plan for a new but comparable project. Dan will be doing a build to suit (this property will stay in Dan's name) to accommodate a drive through drink shop (sodalicious) and a retail shop (Ski & See).

















# SOUTH WEBER COFFEE SHOP

2500 E SOUTH WEBER DRIVE  
 PARCELS LOCATED IN THE NW 1/4 OF SECTION 36, T.5N., R.1W., S.L.B.&M.  
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH

## DRAWING INDEX

C000	COVER
C100	NOTES AND LEGEND
C200	TOPOGRAPHIC PLAN
C400	SITE PLAN
C500	GRADING PLAN
C600	UTILITY PLAN
C900	SITE DETAILS
EC100	EROSION CONTROL PLAN
<b>TOTAL SHEETS</b>	<b>8</b>

## VICINITY MAP



### GENERAL NOTES

- 1) ALL WORK WITHIN A PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.
- 2) ALL UTILITY WORK SHALL CONFORM TO THE UTILITY OWNER'S STANDARDS & SPECIFICATIONS.
- 3) THESE PLANS DO NOT INCLUDE DESIGN OF DRY UTILITIES. THESE PLANS MAY CALL FOR RELOCATION, AND/OR REMOVAL AND/OR CONSTRUCTION OF DRY UTILITIES, BUT ARE NOT OFFICIAL DRAWINGS FOR SUCH. DESIGN AND COORDINATION OF DRY UTILITIES IS BY OTHERS.
- 4) THE CONTRACTOR SHALL COORDINATE AND OBTAIN ANY PERMITS REQUIRED FOR THE WORK SHOWN HEREON.
- 5) THE LOCATION AND ELEVATIONS OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS IS A BEST ESTIMATE BASED ON UTILITY COMPANY RECORDS, BLUESTAKES, AND FIELD MEASUREMENTS OF READILY OBSERVABLE ABOVE-GROUND FEATURES. AS SUCH, THIS INFORMATION MAY NOT BE COMPLETE, UP-TO-DATE, OR ACCURATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STOP WORK AND NOTIFY THE ENGINEER IF CONFLICTING INFORMATION IS FOUND IN THE FIELD.
- 6) THE CONTRACTOR IS TO FIELD VERIFY THE LOCATION AND ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES PRIOR TO STAKING AND CONSTRUCTION.
- 7) CALL BLUESTAKES AT LEAST 48 HOURS PRIOR TO DIGGING. DO NOT PROCEED UNTIL BLUESTAKES ARE MARKED.
- 8) IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO MEET ALL APPLICABLE HEALTH AND SAFETY REGULATIONS, AND SHALL ASSUME SOLE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING CONSTRUCTION OF THIS PROJECT, SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK, AND THE PUBLIC IS PROTECTED..

**1-800-662-4111**  
UTAH TOLL FREE, OR  
**801-208-2100**  
SALT LAKE  
 IT'S THE LAW TO CALL

PRELIMINARY  
 NOT FOR CONSTRUCTION

COVER	REV.	BY	DATE
	I	INIT	DATE
DRAWN: DJH	3/5/19		
APPROVED: STA	3/5/19		
PROJECT: <b>1074004</b>			
DWG: PROD 1074004.dwg			

1470 SOUTH 600 WEST  
 WOODS CROSS, Utah 84010  
 Phone 801-298-2236



**BENCHMARK:  
ELEVATION:**

GENERAL NOTES	
1.	ALL IMPROVEMENTS SHALL COMPLY WITH THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY. CONTACT THE PUBLIC WORKS OFFICE BEFORE BEGINNING.
2.	CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND AVAILABILITY OF EXISTING UTILITIES. UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE. SEE UTILITY NOTE 3.
3.	ALL DIMENSIONS ARE IN FOOT UNITS AND ARE TO THE TOP BACK OF CURB UNLESS SHOWN OR NOTED OTHERWISE.
4.	PROVIDE HANDICAP RAMPS AT ENDS OF WALKWAYS. END 0.1' ABOVE FLOWLINE OF CURB.
5.	CURB AND GUTTER SHALL BE AS PER APWA STD DWG NO 205 TYPE A.
6.	UTILITY INFORMATION INDICATED ON DRAWING IS BASED UPON VISUAL OBSERVATION OR INFORMATION FURNISHED BY MUNICIPAL AUTHORITIES WHICH MAY NOT BE VALID. LATERAL LOCATIONS AND ELEVATIONS ARE ASSUMED. SEE UTILITY NOTE 3.
7.	ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A QUALIFIED SOILS ENGINEER WHO SHALL VERIFY THAT ALL FILL HAS BEEN PLACED IN ACCORDANCE WITH PROVISIONS IN CURRENT INTERNATIONAL BUILDING CODE.
8.	COMPACTION TEST REPORTS SHALL BE MADE AVAILABLE TO THE ENGINEER WITHIN 24 HOURS OF A REQUEST. FINAL REPORTS AS SPECIFIED IN CURRENT INTERNATIONAL BUILDING CODE SHALL BE SUBMITTED TO THE ENGINEER WITHIN TEN DAYS AFTER COMPLETION OF GRADING.
9.	ALL STORM DRAIN PIPE SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND THE LOCAL GOVERNING MUNICIPALITY'S STANDARDS AND SPECIFICATIONS.
10.	STORM DRAIN PIPE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S SPECIFICATIONS. PRIVATE STORM DRAIN PIPE OPTIONS SHALL CONSIST IF THE FOLLOWING MATERIALS. 1. PVC PIPE, ASTM D3034, SDR 35, BELL & SPIGOT TYPE. 2. RCP PIPE, CLASS 3, BELL & SPIGOT TYPE. 3. HIGH DENSITY CORRUGATED POLYETHYLENE SMOOTH INTERIOR PIPE, ASTM D3350 WITH WATERTIGHT JOINTS.
11.	THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CHECK CONDITIONS AT THE SITE BEFORE STARTING WORK AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
12.	TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION UNLESS SPECIFICALLY DETAILED. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION WILL BE AS FOR SIMILAR WORK. DO NOT SCALE DRAWINGS.
13.	ANY OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED.
14.	PIPE BEDDING SHALL BE 3/8" MAXIMUM AGGREGATE. USE 3/4" MAXIMUM SIZE ROAD BASE FOR BACKFILL MATERIAL. COMPACT TO 95% STANDARD PROCTOR DENSITY. MAXIMUM LIFT 8 INCHES.
15.	CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC AND OSHA STANDARDS.
16.	ALL WORK SHALL COMPLY WITH THE AMERICAN PUBLIC WORKS ASSOCIATION UTAH CHAPTER (APWA) MANUAL OF STANDARD SPECIFICATIONS 2007 EDITION WITH ALL PERTINENT SUPPLEMENTS AND AMENDMENTS AND THE MANUAL OF STANDARD PLANS 2007 EDITION. SAID STANDARD SPECIFICATIONS AND PLANS SHALL BE THE REQUIREMENTS.
17.	IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THE WORK TO BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORITY FROM THE OWNER AND/OR ENGINEER.
18.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR REINSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
19.	THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.
20.	PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

SEQUENCE OF CONSTRUCTION	
1.	CONSTRUCTION EXIT IS TO BE CONSTRUCTED AT TIME OF ENTRY TO SITE.
2.	CLEAR AND GRUB AREAS FOR SEDIMENT MEASURES.
3.	INSTALL SILT FENCES.
4.	COMPLETE CLEARING OF SITE AND BEGIN ROUGH GRADING.
5.	FILL AREAS SHALL BE FILLED IN 12 INCH MAXIMUM LIFTS AND COMPACTED TO AT LEAST 95% MAXIMUM DENSITY.
6.	DRAINAGE WILL BE CONTROLLED AND GROUND SLOPED SO AS TO DIRECT RUNOFF TO SEDIMENT CONTROLLED INLETS.
7.	INSTALL REMAINDER OF STORM DRAIN.
8.	INSTALL UTILITY LINES, WATER, ETC.
9.	INSTALL CURBS, WALKS, ETC., AND STABILIZE ALL DISTURBED AREAS.
10.	INSTALL BASE COURSE.
11.	REMOVE SEDIMENT CONTROL MEASURES, CLEAN OUT TEMPORARY SEDIMENTATION BASINS AND REGRADE, CLEAN OUT SEDIMENT TRAPS AND CONVERT THEM TO STORM WATER MANAGEMENT STRUCTURES.
12.	PAVE SITE.
13.	OWNER TO BE RESPONSIBLE TO CHECK CLEAN OUT INLET BOXES FOR SEDIMENT AND OIL AND CLEAN AS NECESSARY

UTILITY NOTES	
1.	ALL SERVICE LATERALS SHALL BE EXTENDED 2 FEET PAST THE 10 FOOT P.U.E.
2.	ALL CONSTRUCTION SHALL COMPLY WITH LOCAL GOVERNING MUNICIPALITY DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS
3.	LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO FIELD VERIFY CONNECTION POINTS WITH EXISTING UTILITIES, INCLUDING LOCATIONS AND INVERT ELEVATIONS OF ALL EXISTING STRUCTURES OR PIPES, BEFORE STAKING OR CONSTRUCTING ANY NEW UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.
4.	CONTRACTOR IS RESPONSIBLE TO EXPOSE ALL UTILITY SERVICES STUBBED INTO PROJECT PROPERTY AND GIVE H&A ENTELLUS, INC. 48 HOURS PRIOR NOTICE SO H&A ENTELLUS CAN VERIFY DEPTHS AND INVERT ELEVATIONS TO DETERMINE IF CONFLICTS EXIST. ALSO ANY EXISTING UTILITIES THAT RUN ACROSS PROJECT PROPERTY WHICH MAY CAUSE POTENTIAL CONFLICT NEED TO BE EXPOSED AND LOCATED BOTH HORIZONTALLY AND VERTICALLY. CONTRACTOR PROCEEDS AT OWN RISK IF H&A ENTELLUS IS NOT NOTIFIED TO FIELD VERIFY THE ABOVE MENTIONED CONDITIONS.
5.	CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS WHERE APPLICABLE.
6.	NO GROUNDWATER OR DEBRIS TO BE ALLOWED TO ENTER THE NEW PIPE DURING CONSTRUCTION. THE OPEN END OF ALL PIPES IS TO BE COVERED AND EFFECTIVELY SEALED AT THE END OF EACH DAY'S WORK.
7.	IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS FOR H-20 LOAD REQUIREMENTS.
8.	ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH CENTRAL DAVIS SEWER DISTRICT STANDARDS & SPECIFICATIONS.
9.	ALL SEWER LINES AND LATERALS ARE TO BE SDR 35 PVC PIPE.
10.	SEWER LATERALS WILL BE INSTALLED AT A UNIFORM SLOPE OF NOT LESS THAN 2% GRADE AND THEY SHALL HAVE A MINIMUM OF 4 FEET OF COVER, UNLESS OTHERWISE NOTED.
11.	ALL NEW CULINARY AND IRRIGATION WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
12.	WATER LINES TO BE PVC C-900. WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. (MECHANICAL JOINTS REQUIRED WHEN LESS THAN 18" VERTICAL OR 10' HORIZONTAL SEPARATION FROM SEWER LINES.)
13.	ALL WATER LINES SHALL BE 8" MINIMUM SIZE AND SERVICE LATERALS SHALL BE 1-1/2" MINIMUM UNLESS OTHERWISE NOTED.
14.	WATER SERVICE LATERALS TO INCLUDE ALL BRASS SADDLE; CORP. STOP LATERAL, DOUBLE CHECK VALVE AND BACKFLOW PREVENTION DEVICE, AND SHUTOFF VALVE IN BOX NEAR BUILDING EDGE.
15.	ALL WATER LINES SHALL BE A MINIMUM 48" BELOW FINISH GROUND TO TOP OF PIPE. ALL VALVE BOXES AND MANHOLES SHALL BE RAISED OR LOWERED TO FINISH GRADE AND SHALL INCLUDE A CONCRETE COLLAR IN PAVED AREAS.
16.	CONTRACTOR TO NOTIFY PUBLIC UTILITIES FOR CHLORINE TEST PRIOR TO FLUSHING LINES, CHLORINE LEFT IN PIPE 24 HOURS MINIMUM WITH 25 PPM RESIDUAL. ALL TURNING OF MAINLINE VALVES, CHLORINATION, FLUSHING, PRESSURE TESTING, BACTERIA TESTING, ETC. TO BE COORDINATED WITH LOCAL GOVERNING MUNICIPALITY. ALL TESTS TO BE IN ACCORDANCE WITH AWWA STANDARDS.
17.	BOTTOM FLANGE OF FIRE HYDRANTS TO BE SET TO APPROXIMATELY 4" INCHES ABOVE BACK OF CURB ELEVATION. HYDRANTS TO INCLUDE TEE, 6" LINE VALVE, AND HYDRANT COMPLETE TO MEET CITY STANDARDS.
18.	ALL NEW STORM DRAIN/LAND DRAIN CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
19.	ALL STORM WATER CONVEYANCE PIPING TO BE RCP - CLASS 3 OR EQUAL, UNLESS OTHERWISE NOTED.
20.	CONTRACTOR IS TO SUBMIT SITE PLAN/SUBDIVISION PLAT TO QUESTAR GAS FOR DESIGN OF GAS SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH QUESTAR GAS FOR CONTRACTOR LIMITS OF WORK VERSUS QUESTAR GAS LIMITS.
21.	ALL GAS LINE TAPS TO BE HDPE WITH COPPER TRACER WIRE AND DETECTA TAPE. TERMINATE TRACER WIRE AT APPROVED LOCATIONS.
22.	ALL GAS LINE TAPS, VALVES AND CAPS TO BE FUSED USING ELECTRO-FUSION TECHNOLOGY.
23.	ALL ELECTRICAL CONDUITS/LINES TO BE PVC SCH 40 OR BETTER.
24.	ALL PHONE AND TV CONDUITS TO BE PVC SCH 40 OR BETTER.
25.	CONTRACTOR IS TO SUBMIT SITE PLAN/SUBDIVISION PLAT TO COMCAST FOR DESIGN OF CABLE TV SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH COMCAST FOR CONTRACTOR LIMITS OF WORK VERSES COMCAST LIMITS.
26.	CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW TELEPHONE SERVICE TO NEW BUILDINGS OR LOTS WITH QWEST. A PVC CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE IS REQUIRED FOR SERVICE THROUGH PROPERTY. COORDINATE SIZES AND LOCATION WITH QWEST.
27.	ALL UTILITIES ARE TO BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING AGENCY/DISTRICT STANDARDS AND SPECIFICATIONS: WATER - SOUTH WEBER CITY PUBLIC WORKS SEWER - SOUTH WEBER CITY PUBLIC WORKS STORM DRAIN - SOUTH WEBER CITY PUBLIC WORKS IRRIGATION - N/A ELECTRICAL - ROCKY MOUNTAIN POWER TELEPHONE - QWEST NATURAL GAS - DOMINION ENERGY

GRADING NOTES	
1.	SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING IT WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 95% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS. REPORT.
2.	THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THE PROJECT. SPECIFIC DETAILS SHOWN SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.
3.	EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.
4.	IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER.
5.	THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
6.	WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT OF CONCRETE PAVEMENT, THE FOLLOWING SHALL APPLY: PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR VERIFY THE GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS, THE CONTRACTOR SHALL SUBMIT THE SLOPE AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR THE PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR TYPICAL CROSS SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER POURS WITHOUT THE APPROVAL OF THE ENGINEER.

EROSION CONTROL	
1.	ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY.
2.	ALL SEDIMENT CONTROL MEASURES TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE.
3.	DAILY INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SEDIMENT LEAVING THE PROPERTY. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
4.	ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS WILL BE PROTECTED TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS.
5.	ALL SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM DRAINAGE SYSTEM THROUGH THE USE OF SANDBAGS, STRAW BALES, SILT FENCES, GRAVEL, BOARDS, AND OTHER APPLICABLE METHODS.
6.	ALL DISTURBED AREAS OUTSIDE OF ROADWAYS, PARKING LOTS, SIDEWALKS AND OR BUILDING FOOTPRINTS SHALL BE SEEDDED, SODDED AND/OR MULCHED.
7.	IF SITE IS READY TO RECEIVE FINAL COVER DURING THE NON-PLANTING SEASON, THEN SHALL BE PROTECTED BY MULCHING. THE MULCH WILL REMAIN UNTIL THE NEXT PLANTING SEASON AS DEFINED BY THE LOCAL GOVERNING MUNICIPALITY.
8.	RE-VEGETATE ALL DENUDED AREAS AS PER THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY.
9.	THE CONTRACTOR AGREES THAT: A. THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK. B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER. C. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES. D. THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM FINAL PAYMENT. E. THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTION AT THEIR OWN EXPENSE. F. UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE. G. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAG-MEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.

LEGEND	
	SECTION CORNER
	MONUMENT
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	DOWNWARD GRADE
	EXISTING INDEX CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED CONTOUR
	PROPOSED MINOR CONTOUR
	LOT OR BOUNDARY LINE
	PUBLIC UTILITY EASEMENT
	BUILDABLE AREA SETBACK
	CENTER LINE OF ROAD
	EXISTING FENCE
	PROPOSED FENCE
	EXISTING BUILDING
	PROPOSED BUILDING
	EXISTING ASPHALT
	PROPOSED ASPHALT
	EXISTING CONCRETE
	PROPOSED CONCRETE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	ADA PARKING
	STREET LIGHT
	LIGHT POLE
	POWER POLE
	TELEPHONE POLE
	UTILITY POLE
	STREET SIGN
	ROCK WALL

	EXISTING SEWER LINE
	PROPOSED SEWER LINE
	SEWER MANHOLE
	EXISTING LAND DRAIN
	PROPOSED LAND DRAIN
	LAND DRAIN MANHOLE
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	STORM DRAIN MANHOLE
	CATCH BASIN / CLEANOUT
	CURB INLET
	EXISTING FIBER OPTIC
	PROPOSED FIBER OPTIC
	EXISTING NATURAL GAS
	PROPOSED NATURAL GAS
	EXISTING POWER
	PROPOSED POWER
	EXISTING OVERHEAD POWER
	PROPOSED OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	PROPOSED UNDERGROUND POWER
	EXISTING TELEPHONE
	PROPOSED TELEPHONE

TWO WORKING DAYS BEFORE YOU DIG CALL

**1-800-662-4111**

UTAH TOLL FREE OR

**801-208-2100**

SALT LAKE

IT'S THE LAW TO CALL

LEGEND	
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING FIRE PROTECTION
	PROPOSED FIRE PROTECTION
	WATER MANHOLE
	WATER METER
	FIRE HYDRANT
	BLOWOFF
	VALVE
	TEE
	ELBOW
	REDUCER
	THRUST BLOCK
	EXISTING IRRIGATION LINE
	PROPOSED IRRIGATION LINE
	IRRIGATION MANHOLE
	IRRIGATION METER
	BLOWOFF
	VALVE
	TEE
	ELBOW
	REDUCER
	THRUST BLOCK
	EXISTING SEWER LINE
	PROPOSED SEWER LINE
	SEWER MANHOLE
	EXISTING LAND DRAIN
	PROPOSED LAND DRAIN
	LAND DRAIN MANHOLE
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	STORM DRAIN MANHOLE
	CATCH BASIN / CLEANOUT
	CURB INLET
	EXISTING FIBER OPTIC
	PROPOSED FIBER OPTIC
	EXISTING NATURAL GAS
	PROPOSED NATURAL GAS
	EXISTING POWER
	PROPOSED POWER
	EXISTING OVERHEAD POWER
	PROPOSED OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	PROPOSED UNDERGROUND POWER
	EXISTING TELEPHONE
	PROPOSED TELEPHONE

ABBREVIATIONS	
	DELTA
	DEGREES
	MINUTES, FEET
	SECONDS, INCHES
	ALGEBRAIC DIFFERENCE
	ADA AMERICAN DISABILITIES ACT
	ADS CORRUGATED BLACK PLASTIC PIPE
	ARCH ARCHITECT, ARCHITECTURAL BAR & CAP
	BLA BOUNDARY LINE AGREEMENT
	BLDG BUILDING
	BM BENCHMARK
	BNB BOUNDARY
	BOW BACK OF WALK
	BRG BEARING
	BV BUTTERFLY VALVE
	BVCE BEGIN VERTICAL CURVE
	BVCS BEGIN VERTICAL CURVE ELEVATION
	BVCS BEGIN VERTICAL CURVE STATION
	C&G CURB AND GUTTER
	CB CATCH BASIN
	CH CHORD
	CHB CHORD BEARING
	CI CAST IRON
	CL CENTERLINE
	CMP CORRUGATED METAL PIPE
	CO CLEANOUT
	COMM COMMUNICATIONS
	CONC CONCRETE
	CONST CONSTRUCTION
	CUL CULINARY
	CW CULINARY WATER
	CWL CULINARY WATERLINE
	DEMO DEMOLITION
	DI DUCTILE IRON
	DIAM DIAMETER
	DIST DISTANCE
	E EAST, ELECTRICITY, ELECTRICAL
	EASE EASEMENT
	EG EXISTING GRADE
	EL ELBOW
	ELEV ELEVATION
	EOA EDGE OF ASPHALT
	EVC END VERTICAL CURVE
	EVCE END VERTICAL CURVE ELEVATION
	EVCS END VERTICAL CURVE STATION
	EX EXISTING
	FFC FINISH FLOOR ELEVATION
	FG FINISH GRADE
	FH FIRE HYDRANT
	FL FLOWLINE
	FND FOUNDATION
	FP FIRE PROTECTION
	FTG FOOTING
	G GAS, NATURAL GAS
	GB GRADE BREAK
	GV GATE VALVE
	HDPE HIGH-DENSITY POLYETHYLENE PIPE
	HP HIGH POINT
	HPE HIGH POINT ELEVATION
	HPS HIGH POINT STATION
	ID INSIDE DIAMETER
	IE INVERT ELEVATION
	INV INVERT
	IRR IRRIGATION
	IRRHM IRRIGATION MANHOLE
	K RADIUS OF CURVATURE
	L LENGTH
	LAT LATERAL SERVICE
	LD LAND DRAIN
	LDHM LAND DRAIN MANHOLE
	LF LINEAL FEET
	LG LIP OF GUTTER
	LP LOW POINT
	LPE LOW POINT ELEVATION
	LPS LOW POINT STATION
	MD MEASURE DOWN
	MECH MECHANICAL MANHOLE
	MH MONUMENT
	N NORTH
	NE NORTHEAST
	NG NATURAL GRADE
	NR NON-RADIAL
	NW NORTHWEST
	OC ON CENTER
	OD OUTSIDE DIAMETER
	OHP OVERHEAD POWER
	PC POINT OF CURVATURE
	PCC PORTLAND CONCRETE CEMENT
	PI POINT OF INFLECTION
	PL PROPERTY LINE
	PROP PROPERTY
	PT POINT OF TANGENCY
	PUE PUBLIC UTILITY EASEMENT
	PURDE PUBLIC UTILITY EASEMENT & DRAINAGE EASEMENT
	PVI POINT OF VERTICAL INFLECTION
	R RADIUS
	RC REBAR & CAP
	RCL ROADWAY CENTERLINE
	RCP REINFORCED CONCRETE PIPE
	ROW RIGHT OF WAY
	S SOUTH
	SD STORM DRAIN
	SDBC STORM DRAIN CATCH BASIN
	SDCO STORM DRAIN CLEANOUT
	SDMH STORM DRAIN MANHOLE
	SE SOUTHEAST
	SEC SECONDARY
	SEC SECTION
	SL&M SALT LAKE BASE & MERIDIAN
	SPEC SPECIFICATION
	SPECS SPECIFICATIONS
	SPP STEEL PIPE
	SS SANITARY SEWER
	SSCO SANITARY SEWER CLEANOUT
	SSMH SANITARY SEWER MANHOLE
	STD STANDARD
	STDs STANDARDS
	SW SECONDARY WATER
	SW SOUTHWEST
	SWL SECONDARY WATERLINE
	TAN TANGENT
	TB THRUST BLOCK
	TBC TOP BACK OF CURB
	TBW TOP BACK OF WALK
	TEL TELEPHONE
	TCW TOP OF CURBSIDE
	TOA TOP OF ASPHALT
	TOC TOP OF CONCRETE

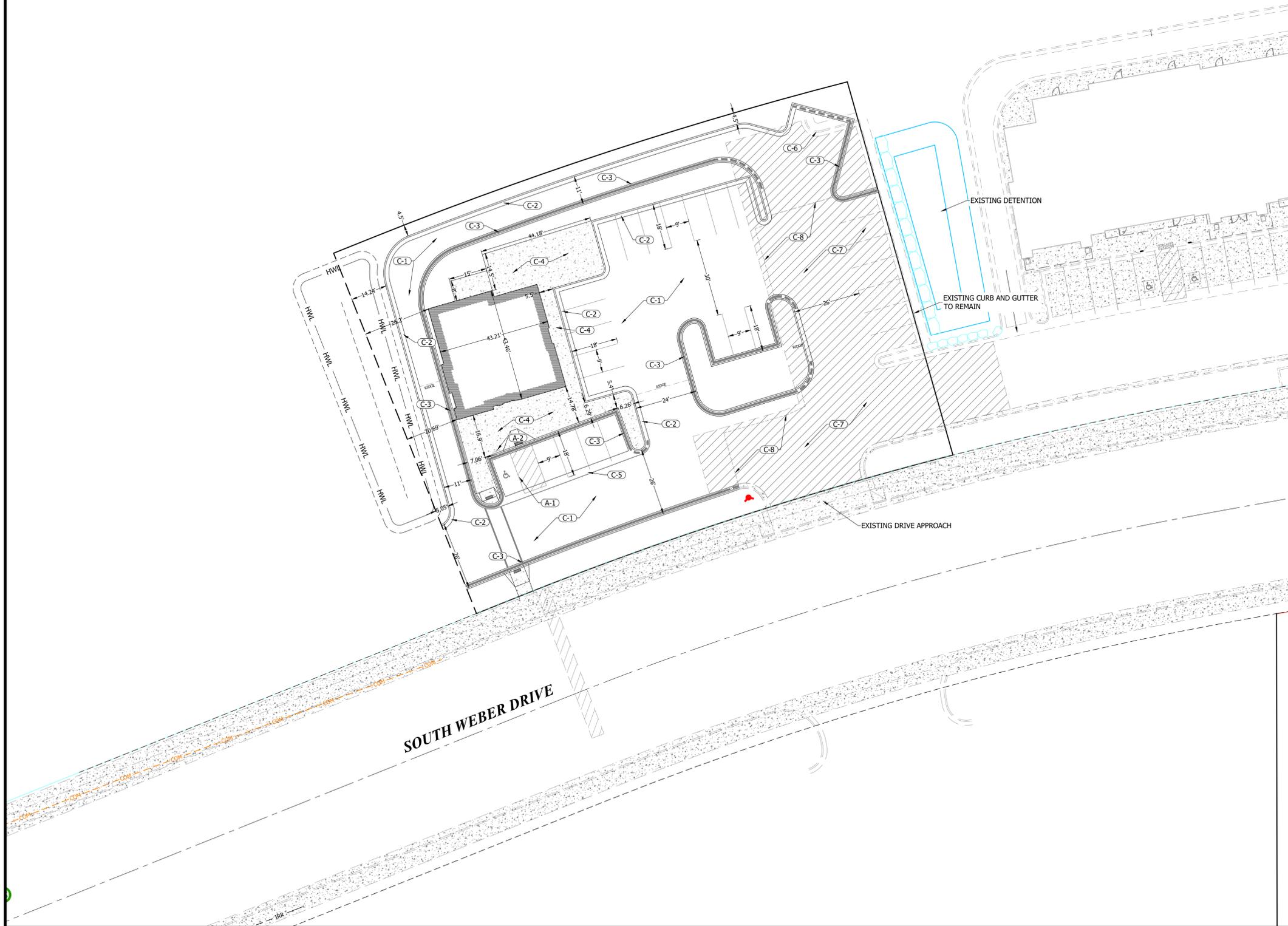
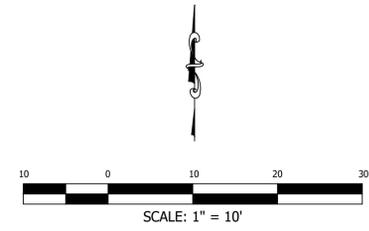
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WOODS CROSS, UT 84010  
Phone 801.298.2236  
www.Entellus.com



**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**SOUTH WEBER COFFEE SHOP**

2500 E SOUTH WEBER DRIVE  
PARCELS LOCATED IN THE NW 1/4 OF SECTION 36, T.5N., R.1W., S.L.B.&M.  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH



**SYMBOL LEGEND**

- (C-1) ASPHALT & BASE  
PER DETAIL SHEET C900
- (C-2) 24" CONCRETE HIGH-BACK CATCH CURB & GUTTER  
PER DETAIL SHEET C900
- (C-3) 24" CONCRETE HIGH-BACK RELEASE CURB & GUTTER  
PER DETAIL SHEET C900
- (C-4) CONCRETE SIDEWALK  
PER DETAIL SHEET C900
- (C-5) 36" WATERWAY  
PER DETAIL SHEET C900
- (C-6) DUMPSTER PAD AND APRON  
PER DETAIL SHEET C900
- (C-7) EXISTING ASPHALT TO REMAIN
- (C-8) SAWCUT EXISTING ASPHALT TO CLEAN EDGE  
PER SOUTH WEBER CITY STANDARDS
- (A-1) ADA SIDEWALK RAMP AND PARKING AREA  
PER DETAIL SHEET C900
- (A-2) ADA VAN ACCESSIBLE PARKING SIGN  
PER DETAIL SHEET C900
- (A-3) ADA ACCESSIBLE PARKING SIGN  
PER DETAIL SHEET C900

ALL ITEMS WITHIN THE PUBLIC RIGHT-OF-WAY TO CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.

**ACCESSIBLE AREA CONSTRAINTS**

ALL ACCESSIBLE AREAS ARE TO MAINTAIN THE FOLLOWING MAXIMUM SLOPES AND TOLERANCES:

ACCESSIBLE PARKING:  
MAXIMUM SLOPE OF 1:48 (2%) THROUGHOUT.

ACCESSIBLE ROUTE:  
MINIMUM WIDTH OF 48", MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

ACCESS ROUTE TURNAROUNDS:  
A CLEAR 60" TURNING DIAMETER. MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

LEVEL LANDING / EXTERIOR DOOR LANDING:  
MINIMUM SIZE OF 60"x60". MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

ACCESSIBLE EGRESS TO PUBLIC WAY:  
MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

ADA ACCESS RAMP:  
MAXIMUM SLOPE OF 1:12 (8.33%), WITH A MAXIMUM CROSS-SLOPE OF 2%. THE TRANSITION BETWEEN ASPHALT AND CONCRETE IS NOT TO EXCEED 1/2" VERTICAL (1/4" IF BEVELED).

DRAWN: 3/5/19  
DH  
APPROVED: 3/5/19  
STA  
PROJECT: [PROJECT #]  
PROD 1074004.dwg

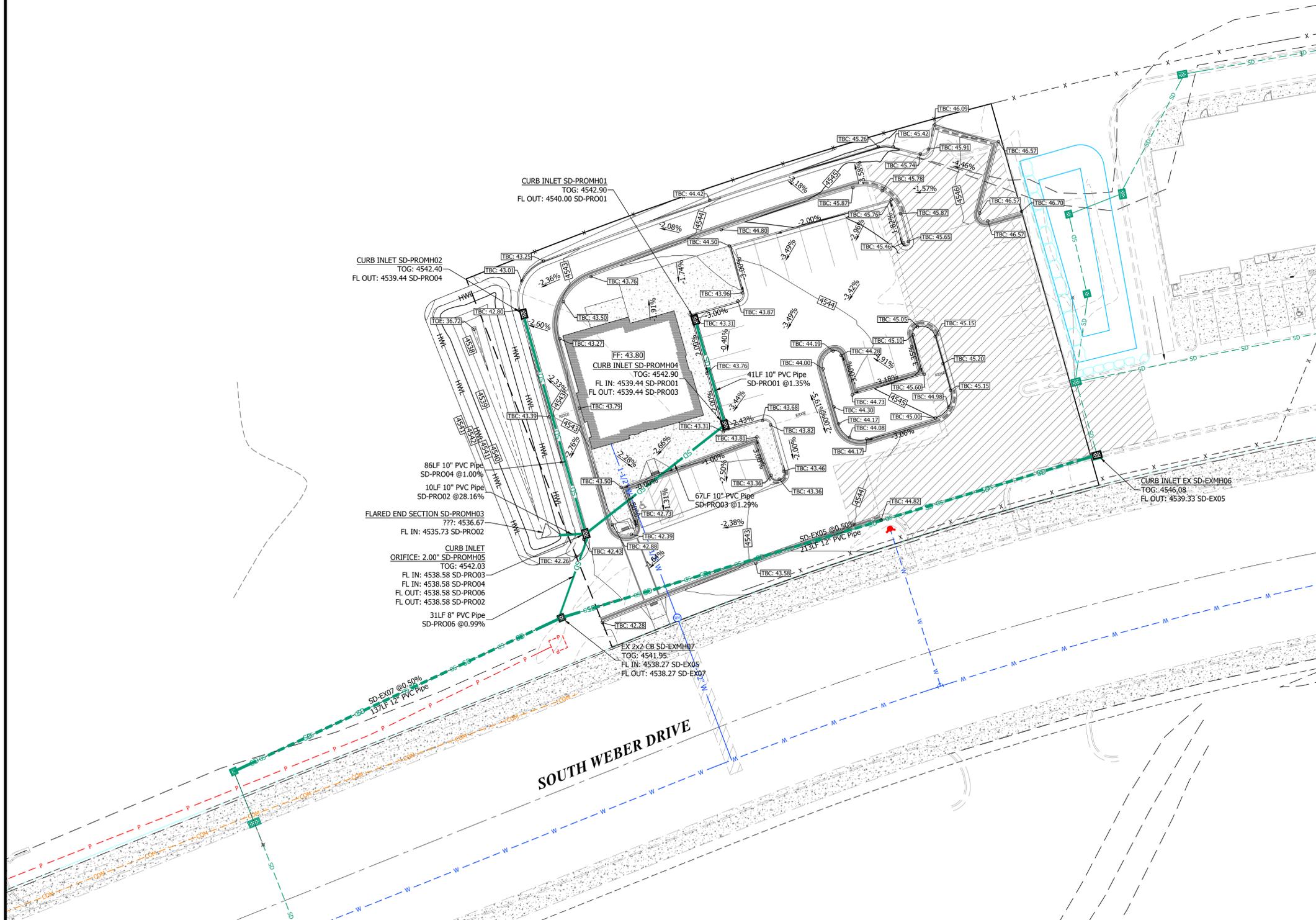
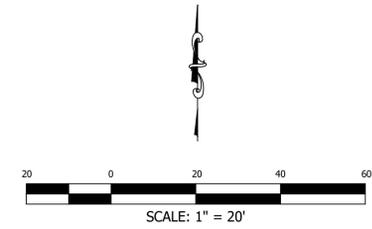
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SITE PLAN

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**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**SOUTH WEBER COFFEE SHOP**  
2500 E SOUTH WEBER DRIVE  
PARCELS LOCATED IN THE NW 1/4 OF SECTION 36, T.5N., R.1W., S.L.B.&M.  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH



**DRAINAGE CALCULATIONS**

5-Feb-19

**Area Analysis**

Area	sq.ft.	Acres	C
Building	21,716	0.50	0.85
Improvements	1,856	0.04	0.90
Landscapes	6,848	0.16	0.15
Total	30,420	0.70	0.70

**100 Year Detention Calculations**

NOAA Precipitation Frequency Data Server

Latitude: 41.1277° Longitude: -111.9120°

Time (min.)	I (in./hr)	Runoff (ft <sup>3</sup> )	Allowable Runoff (ft <sup>3</sup> )	Storage (ft <sup>3</sup> )
5	7.520	1,096	21	1,075
10	5.730	1,670	42	1,628
15	4.740	2,072	63	2,009
30	3.190	2,789	126	2,663
60	1.970	3,444	251	3,193
120	1.150	4,021	503	3,519
180	0.791	4,149	754	3,395
360	0.441	4,626	1,508	3,118
720	0.275	5,770	3,017	2,753
1440	0.160	6,714	6,034	680

Required Detention: **3,519**  
Estimated Designed Detention: 3,797

**Orifice Sizing**

Highwater Elevation	4,541.00 ft
Orifice Elevation	4,538.27 ft
Flow	0.07 cfs
C <sub>d</sub>	0.62 square-edge
Orifice Size	<b>1.25 in.</b>

**ACCESSIBLE AREA CONSTRAINTS**

ALL ACCESSIBLE AREAS ARE TO MAINTAIN THE FOLLOWING MAXIMUM SLOPES AND TOLERANCES:

**ACCESSIBLE PARKING:**  
MAXIMUM SLOPE OF 1:48 (2%) THROUGHOUT.

**ACCESSIBLE ROUTE:**  
MINIMUM WIDTH OF 48". MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

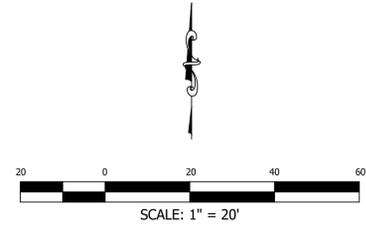
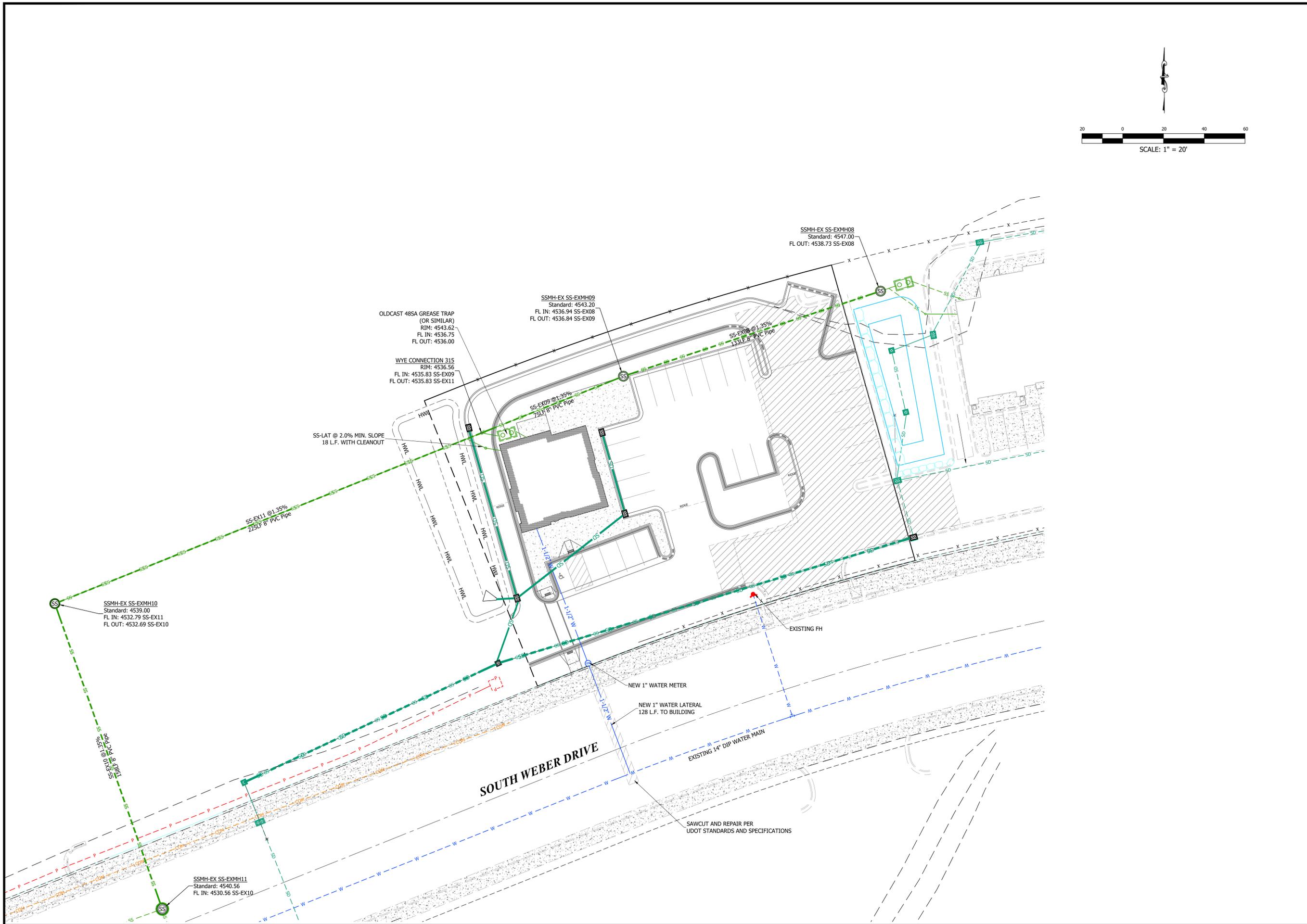
**ACCESS ROUTE TURNAROUNDS:**  
A CLEAR 60" TURNING DIAMETER. MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

**LEVEL LANDING / EXTERIOR DOOR LANDING:**  
MINIMUM SIZE OF 60"x60". MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

**ACCESSIBLE EGRESS TO PUBLIC WAY:**  
MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

**ADA ACCESS RAMPS:**  
MAXIMUM SLOPE OF 1:12 (8.33%), WITH A MAXIMUM CROSS-SLOPE OF 2%. THE TRANSITION BETWEEN ASPHALT AND CONCRETE IS NOT TO EXCEED 1/2" VERTICAL (1/4" IF BEVELED).

DRAWN:  
APPROVED:  
STA:  
PROJECT: [PROJECT #]  
PROD 1074004.dwg  
**C500**  
GRADING PLAN



1470 SOUTH 600 WEST  
WOODS CROSS, UT 84010  
Phone 801.298.2236  
www.Entellus.com

Entellus

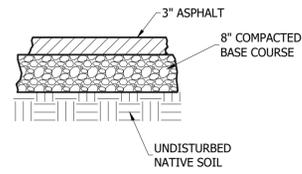
PRELIMINARY  
NOT FOR  
CONSTRUCTION

**SOUTH WEBER COFFEE SHOP**

2500 E SOUTH WEBER DRIVE  
PARCELS LOCATED IN THE NW 1/4 OF SECTION 36, T.5N., R.1W., S.L.B.&M.  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

DRAWN: [BY]	[DATE]
APPROVED: [STA]	[DATE]
PROJECT: [PROJECT #]	
PROD 1074004.dwg	
<b>C600</b>	
UTILITY PLAN	

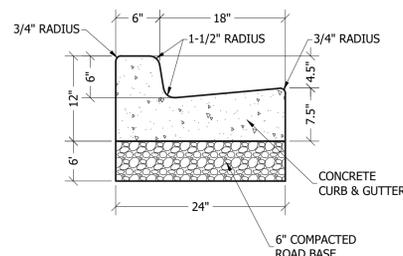
- NOTES
- ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
  - PLACE MATERIAL PER APWA SECTION 32 05 10.



**PRIVATE ASPHALT SECTION**

C1  
C400  
TYPICAL  
N.T.S.

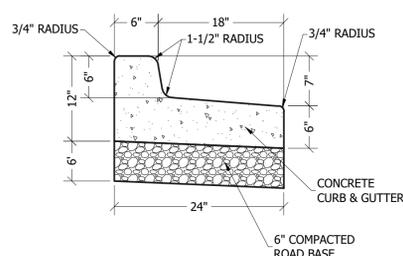
- NOTES
- ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
  - CONCRETE IS TO BE 4,000 PSI TEST.
  - CONTROL JOINTS AT 10' INTERVALS.
  - BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.



**PRIVATE 24" CATCH CURB & GUTTER**

C2  
C400  
TYPICAL  
N.T.S.

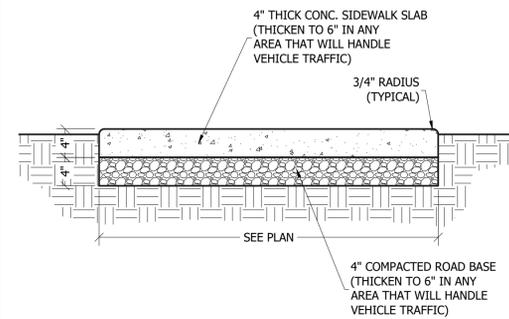
- NOTES
- ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
  - CONCRETE IS TO BE 4,000 PSI TEST.
  - CONTROL JOINTS AT 10' INTERVALS.
  - BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.



**PRIVATE 24" RELEASE CURB & GUTTER**

C3  
C400  
TYPICAL  
N.T.S.

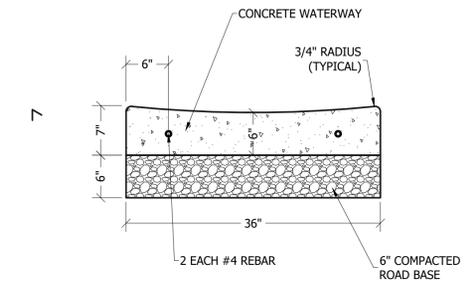
- NOTES
- ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
  - CONCRETE IS TO BE 4,000 PSI TEST.
  - CONTROL JOINTS AT 10' INTERVALS.
  - BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.



**PRIVATE CONCRETE SIDEWALK**

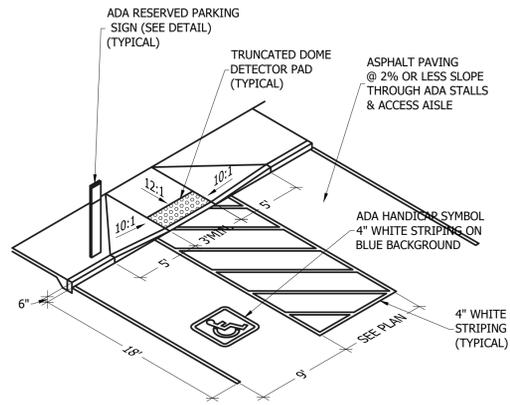
C4  
C400  
TYPICAL  
N.T.S.

- NOTES
- ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
  - CONCRETE IS TO BE 4,000 PSI TEST.
  - CONTROL JOINTS AT 10' INTERVALS.
  - BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.
  - STEEL REINFORCEMENT IS TO BE DEFORMED GRADE 60 STEEL, GALVANIZED OR EPOXY COATED.



**PRIVATE 36" CONCRETE WATERWAY**

C-5  
C400  
TYPICAL  
N.T.S.



**ADA ACCESSIBLE PARKING & RAMPS**

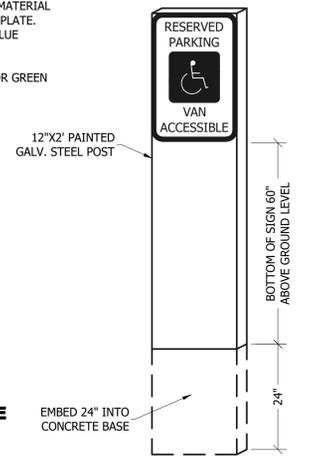
C5  
C400  
TYPICAL  
N.T.S.

- NOTES
- SIGN IS TO BE REFLECTIVE MATERIAL ON AN ALUMINUM BACKING PLATE.
  - WHITE ADA SYMBOL ON A BLUE SQUARE.
  - WHITE BACKGROUND.
  - LETTERING IS TO BE BLUE OR GREEN



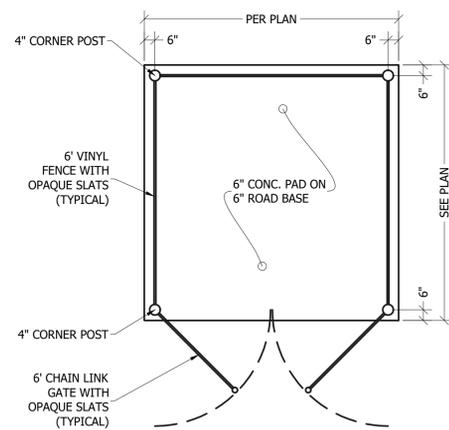
**ADA RESERVED PARKING VAN-ACCESSIBLE SIGN**

C6  
C400  
TYPICAL  
N.T.S.



**POLE-MOUNTED SIGN**

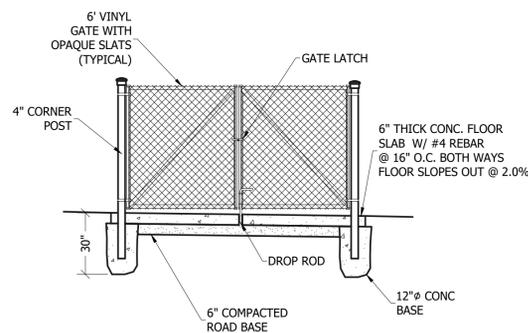
**ADA POLE-MOUNTED VAN-ACCESSIBLE PARKING SIGN**



**PLAN VIEW**

**A1 DUMPSTER ENCLOSURE**

C400  
TYPICAL  
N.T.S.



**SECTION VIEW**

1470 SOUTH 600 WEST  
WOODS CROSS, UT 84010  
Phone 801.298.2236  
www.Entellus.com



PRELIMINARY  
NOT FOR  
CONSTRUCTION

**SOUTH WEBER COFFEE SHOP**

2500 E SOUTH WEBER DRIVE  
PARCELS LOCATED IN THE NW 1/4 OF SECTION 36, T.5N., R.1W., S.L.B.&M.  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

DRAWN:  
APPROVED:  
STA  
PROJECT: [PROJECT #]  
PROD 1074004.dwg

**C900**  
SITE DETAILS

181 North 200 West, Suite #4  
Bountiful, Utah 84010  
Phone 801-298-2236



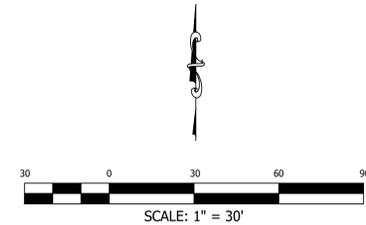
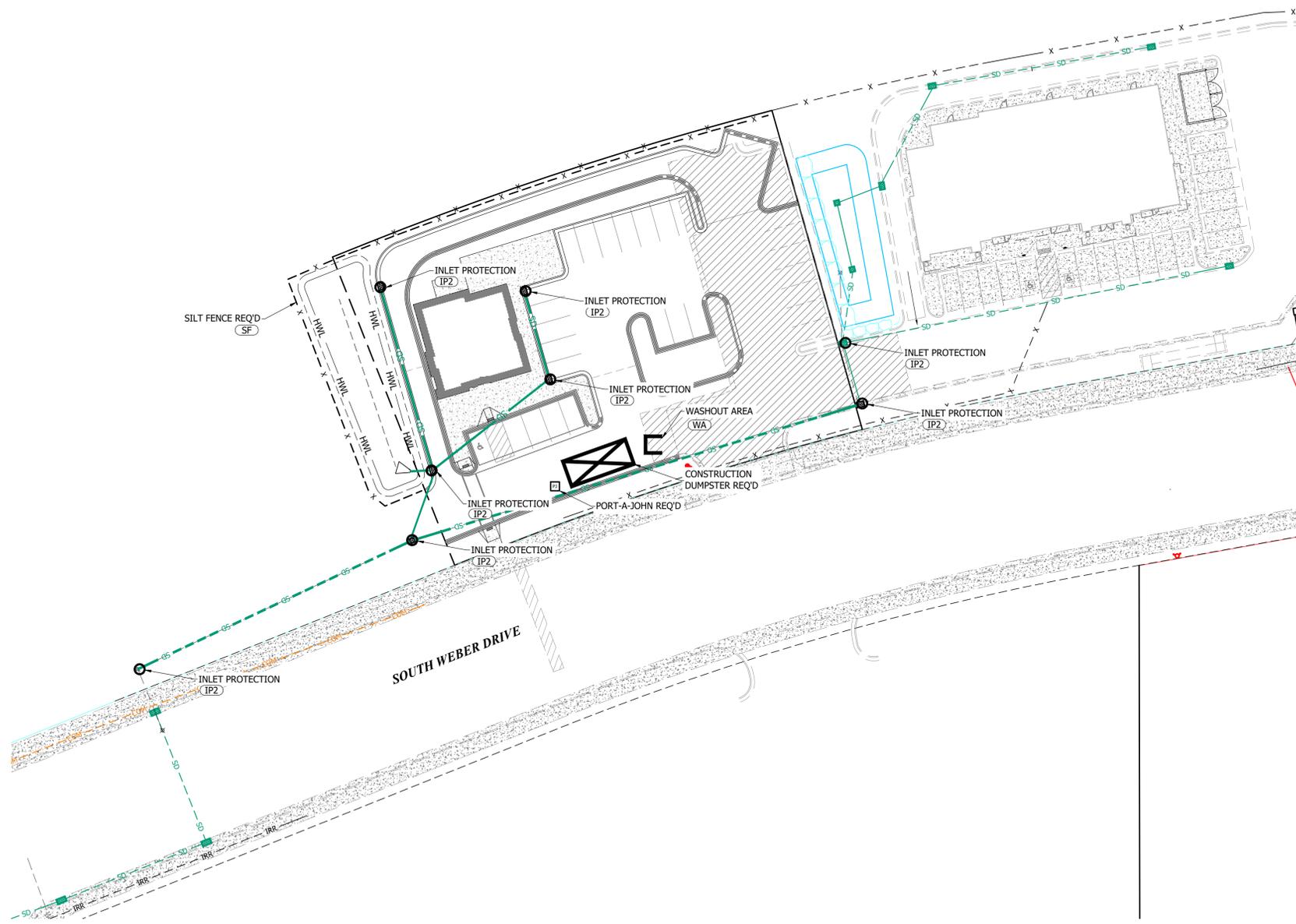
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**SOUTH WEBER COFFEE SHOP**

1868 NORTH AND 1075 WEST  
LOCATED IN THE NORTHEAST 1/4 OF SECTION 11, T.3N., R.1W., S.L.R.&M.  
FARMINGTON CITY, DAVIS COUNTY, UTAH

DRAWN: DJH 3/5/19  
APPROVED: STA 3/5/19  
PROJECT: 1034013  
PROD 1074004.dwg

**EC100**  
EROSION CONTROL  
PLAN



**PROFILE VIEW**

**PROFILE VIEW**

**PLAN VIEW**

**PLAN VIEW**

**IP1 INLET PROTECTION**  
EC100 TYPICAL N.T.S.

**IP2 INLET PROTECTION**  
EC100 TYPICAL N.T.S.

**SILT FENCE**  
EC100 TYPICAL N.T.S.

**WASHDOWN AREA**  
EC100 TYPICAL N.T.S.

**SCE STABILIZED CONSTRUCTION ENTRANCE**  
EC100 TYPICAL N.T.S.

**CONSTRUCTION NOTES:**

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL, STATE, AND FEDERAL PERMITS PRIOR TO COMMENCING CONSTRUCTION.

CONTRACTOR TO MAINTAIN A COPY OF THE SWPPP ON SITE.

CONTRACTOR TO INSPECT SITE TO ENSURE THE SWPPP IMPROVEMENTS ARE IN PLACE AND FUNCTIONAL.

CONTRACTOR TO MAINTAIN TEMPORARY EROSION AND SEDIMENT CONTROLS AND HOUSEKEEPING MEASURES.

ALL SOLID WASTE SHALL BE STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER SHALL MEET ALL STATE AND LOCAL WASTE MANAGEMENT REGULATIONS.

ALL HAZARDOUS WASTE SHALL BE DISPOSED OF IN THE MANNER AS SPECIFIED BY THE MANUFACTURER AND STATE AND LOCAL REGULATIONS.

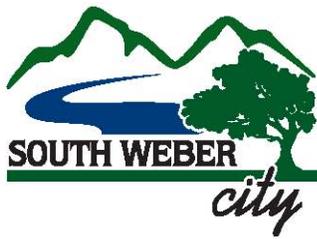
A WASHOUT AREA SHALL BE CONSTRUCTED FOR THE TEMPORARY COLLECTION OF EXCESS CONCRETE AND NON-STORM WATER DISCHARGES FROM VEHICLE WASHING. THE CONCRETE WILL BE TAKEN TO THE CITY LANDFILL WITHIN 1 WEEK OF PLACING IN THE WASHOUT AREA.

A STABILIZED CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED TO REDUCE VEHICLE TRACKING OF SEDIMENTS ONTO PUBLIC RIGHT OF WAYS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED DAILY TO REMOVE EXCESS DIRT.

INSPECTION SHALL BE MADE MONTHLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. ALL NON-STORM WATER FLOWS SHALL BE DIRECTED TOWARD THE WASHOUT AREA OR SEDIMENT BASIN. THE SWPPP WILL BE REVISED AS SITE CONDITIONS AND PROJECT WARRANTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND SWEEPING PUBLIC STREETS ON A DAILY BASIS, OR MORE IF NECESSARY.

CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE DUST CONTROL THROUGHOUT THE COURSE OF THE PROJECT.



1600 E. South Weber Drive  
South Weber, UT 84405

www.southwebercity.com

801-479-3177  
FAX 801-479-0066

To: Planning Commission  
From: Trevor Cahoon, Community Services Director

Re: WBWCD Pump Station Site Plan Approval

Project Information	
<b>Project Name</b>	Davis Aqueduct Reach 1 Pump Station
<b>Site Location</b>	7692 S HWY 89
<b>Tax ID Number</b>	130390072
<b>Applicant</b>	Weber Basin Water Conservancy District
<b>Owner</b>	Weber Basin Water Conservancy District
<b>Proposed Actions</b>	Architectural/Site Plan Approval
<b>Current Zoning</b>	Commercial
<b>General Plan Land Use Classification</b>	Commercial Highway
<b>Gross Site</b>	2.628 Acres

**ACTION**

Administrative Action: Consider approval of the Davis Aqueduct Reach 1 Pump Station Architectural/Site Plan.

**STAFF REVIEW SUMMARY**

After review of the application for Davis Aqueduct Reach 1 Pump Station Architectural/Site Plan, staff would recommend approval. The following are items of note:

- The use classification for this project is found under Building, Public and is a permitted use within the commercial zone. Weber Basin Water Conservancy District is a public entity as designated by the State of Utah to distribute water for public use.
  - Definition Public Building: A building owned and operated or owned and intended to be operated by a public agency of the United States of America or the State of Utah or any of its subdivisions in connection with public use. (See 10-1-10 of city code.)
- It is proposed that the site be irrigated primarily by a connection to the new aqueduct utilizing secondary water. A second connection is proposed that would connect to the culinary service. This would only be used during times when the aqueduct is down for maintenance. The required backflow preventer on the culinary service line to the sprinkler system is being provided.
- The parkstrip will be landscaped with trees and decorative gravel.
- A 6’ black vinyl-coated chain link fence will be provided all along the street frontage. Both street entrances will have gates. The fencing along the canal will be regular galvanized chain link fence. The fence along the north side of the site will be a masonry fence, as required by code.

- A buffer yard is required along the north property line. With the masonry fence, proposed trees and decorative rock mulch, it appears that project is in compliance with the requirements of the code.
- According to review, the project is in compliance with City Code 10-15 (Landscape Regulations).
- An Encroachment Permit from UDOT will be required prior to construction for connection to UDOT's storm drain infrastructure in the frontage road.
- All new piping outside of the site that is inside South Weber City street ROW's will need to be approved separately prior to any construction.
- It does not look like a lighting plan was provided. There are lights on the building itself, but it doesn't appear that there is lighting anywhere else. However, based on the use, any other site lighting would not be necessary.
- As it relates to City Code 10-12 (Architectural Site Plan Review), the Planning Commission "shall determine if the proposed architectural and development plans submitted are consistent with this Chapter and with the purpose and objectives of this Title."
  - Upon staff review the project is in compliance with City Code 10-12, architectural review falls under the purview of the planning commission and a certain level of subjectivity can be used.

#### **CONSIDERATIONS FOR ARCHTECTURAL SITE PLAN REVIEW**

Traffic Safety And Congestion: Considerations relating to traffic safety and traffic congestion:

- a) The effect of the site development plan on traffic conditions on abutting streets.
- b) The layout of the site with respect to locations and dimensions of vehicular and pedestrian entrances, exits, drives and walkways.
- c) The arrangement and accuracy of off-street parking facilities to prevent traffic congestion and compliance with the provisions of Chapter 8 of this Title.
- d) The location, arrangement and dimension of truck loading and unloading facilities.
- e) The circulation patterns within the boundaries of the development.
- f) The surfacing and lighting of off-street parking facilities.

Outdoor Advertising: Considerations relating to outdoor advertising. Compliance with the provisions of Chapter 9 of this Title.

Landscaping: Considerations relating to landscaping:

- a) The location, height and materials of walls, fences, hedges and screen plantings to ensure harmony with adjacent development or to conceal storage areas, utility installations or other unsightly development.
- b) The placement of ground covers, shrubs and trees.
- c) The unnecessary destruction of existing healthy trees.
- d) A layout plan for a sprinkling system.

Design Approval; Conditions: The Planning Commission or the Zoning Administrator, when authorized, shall decide all applications for design review. Design approval may include such conditions consistent with the considerations of this Chapter as the Planning Commission or Zoning Administrator deem reasonable and necessary under the circumstances to carry out the intent of this Chapter.

**PLANNING COMMISSION RECOMMENDATION OPTIONS**

After careful consideration of the information presented, the South Weber Planning Commission moves to:

1. Approve the Davis Aqueduct Reach 1 Pump Station Architectural/Site Plan.
2. Approve the Davis Aqueduct Reach 1 Pump Station Architectural/Site Plan with the following conditions or recommendations:
  - a. *(Any other conditions that need to be met)*
3. Deny the Davis Aqueduct Reach 1 Pump Station Architectural/Site Plan for the following reasons:
  - a. *(List reasons based upon City Code.)*
4. Continue the Davis Aqueduct Reach 1 Pump Station Architectural/Site Plan for consideration at a future date.

1 2 3 4 5 6

D  
C  
B  
A



Brown & Caldwell  
6975 Union Park Center  
Salt Lake City, UT

2 Pepperwood Pointe  
Sandy, Utah 84092  
Cell: 801-647-8043  
Office: 801-572-1997  
ftarch@xmission.com

WEBER  
BASIN  
WATER  
CONSERVANCY  
DISTRICT

DAVIS AQUEDUCT  
REACH 1

REVISIONS

REV	DATE	DESCRIPTION

LINE IS 2 INCHES  
AT FULL SIZE

DESIGNED: F.THALMANN

DRAWN: T.BOUFFARD

CHECKED:

CHECKED:

APPROVED: F.THALMANN

FILENAME

BC PROJECT NUMBER

152858

CLIENT PROJECT NUMBER

PUMP STATION -  
RENDERING

DRAWING NUMBER

A-30-901

85

SHEET NUMBER  
OF 187

Plot Date: 11/24/2020 12:07:47 PM Path: T:\dms88829\152858-A-30\19.rvt

1 2 3 4 5 6

**GENERAL NOTES:**

1. FOR SURFACE-MOUNTED LIGHT FIXTURES, SEE ELECTRICAL DRAWINGS.

**KEYNOTES:**

- 1 OVERHEAD COILING DOOR AND FRAME, COLOR: DARK BROWN
- 2 WALL PACK LIGHT FIXTURE, SEE ELECTRICAL
- 3 FRP DOOR WITH ALUMINUM FRAME, COLOR: DARK BROWN, WITH INSULATED WINDOW, GRAY TINT
- 4 MASONRY CONTROL JOINT
- 5 PARAPET WALL WITH STANDING SEAM ALUMINUM COPING, DARK BROWN FINISH
- 6 ATLAS BRICK INSULATED VENEER OVER STRUCTURAL CMU WALL, SEE STRUCTURAL FOR CMU WALL



Brown & Caldwell  
6975 Union Park Center  
Salt Lake City, UT

2 Pepperwood Pointe  
Sandy, Utah 84092  
Cell: 801-647-8043  
Office: 801-572-1997  
flarch@xmission.com

**BID SET**

WEBER  
BASIN  
WATER  
CONSERVANCY  
DISTRICT

**DAVIS AQUEDUCT  
REACH 1 PARALLEL  
PIPELINE PROJECT**

**REVISIONS**

REV	DATE	DESCRIPTION

LINE IS 2 INCHES  
AT FULL SIZE

DESIGNED: F.THALMANN

DRAWN: T.BOUFFARD

CHECKED:

CHECKED:

APPROVED: F.THALMANN

FILENAME

BC PROJECT NUMBER

152858

CLIENT PROJECT NUMBER

**PUMP STATION -  
ELEVATIONS 2**

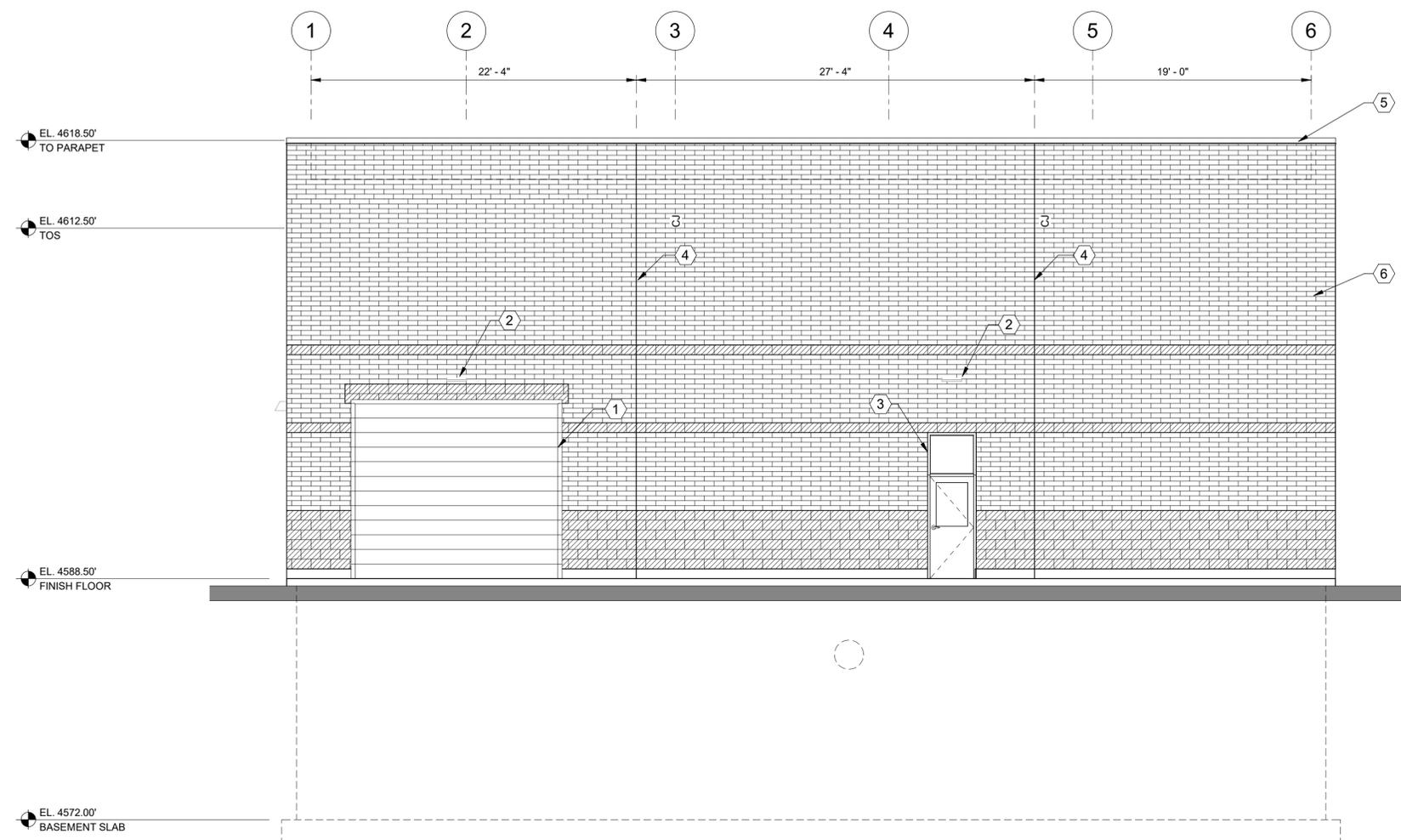
DRAWING NUMBER

**A-30-202**

74

SHEET NUMBER  
OF 200

1 2 3 4 5 6



**2 PLAN -SOUTH ELEVATION**  
A-30-101 SCALE: 3/16" = 1'-0"

Plot Date: 9/1/2021 12:02:40 PM Path: T:\dms88829\152858-A-30\19.rvt

1 2 3 4 5 6

**GENERAL NOTES:**

- FOR SURFACE-MOUNTED LIGHT FIXTURES, SEE ELECTRICAL DRAWINGS.

**KEYNOTES:**

- WALL PACK LIGHT FIXTURE, SEE ELECTRICAL
- MASONRY CONTROL JOINT
- 8" TALL EXPOSED STRUCTURAL CONCRETE CURB, STONE RUBBED FINISH, SEE STRUCTURAL FOR MORE INFORMATION
- AMCOR "PLATINUM" BRICK VENEER 4x8x16 EMPEROR, MATTE, BASE AND ACCENT BANDS
- AMCOR "MOUNTAIN RED" BRICK VENEER 4x4x16 EMPEROR, MATT, FIELD
- FRP DOOR WITH ALUMINUM FRAME, COLOR: DARK BROWN, WITH INSULATED WINDOW, GRAY TINT
- PARAPET WALL WITH STANDING SEAM ALUMINUM COPING, DARK BROWN FINISH
- ATLAS BRICK INSULATED VENEER OVER STRUCTURAL CMU, SEE STRUCTURAL FOR CMU WALL

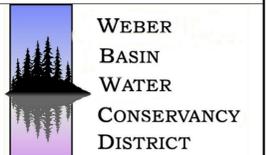


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6975 Union Park Center  
Salt Lake City, UT



2 Pepperwood Pointe  
Sandy, Utah 84092  
Cell: 801-647-8043  
Office: 801-572-1997  
fltararch@xmission.com

**BID SET**



**DAVIS AQUEDUCT REACH 1 PARALLEL PIPELINE PROJECT**

**REVISIONS**

REV	DATE	DESCRIPTION

LINE IS 2 INCHES AT FULL SIZE

DESIGNED: F. THALMANN  
DRAWN: T. BOUFFARD  
CHECKED:  
CHECKED:  
APPROVED: F. THALMANN

FILENAME  
BC PROJECT NUMBER  
152858  
CLIENT PROJECT NUMBER

**PUMP STATION - ELEVATIONS 1**

DRAWING NUMBER  
**A-30-201**

73 SHEET NUMBER OF 200

1 2 3 4 5 6

D

C

B

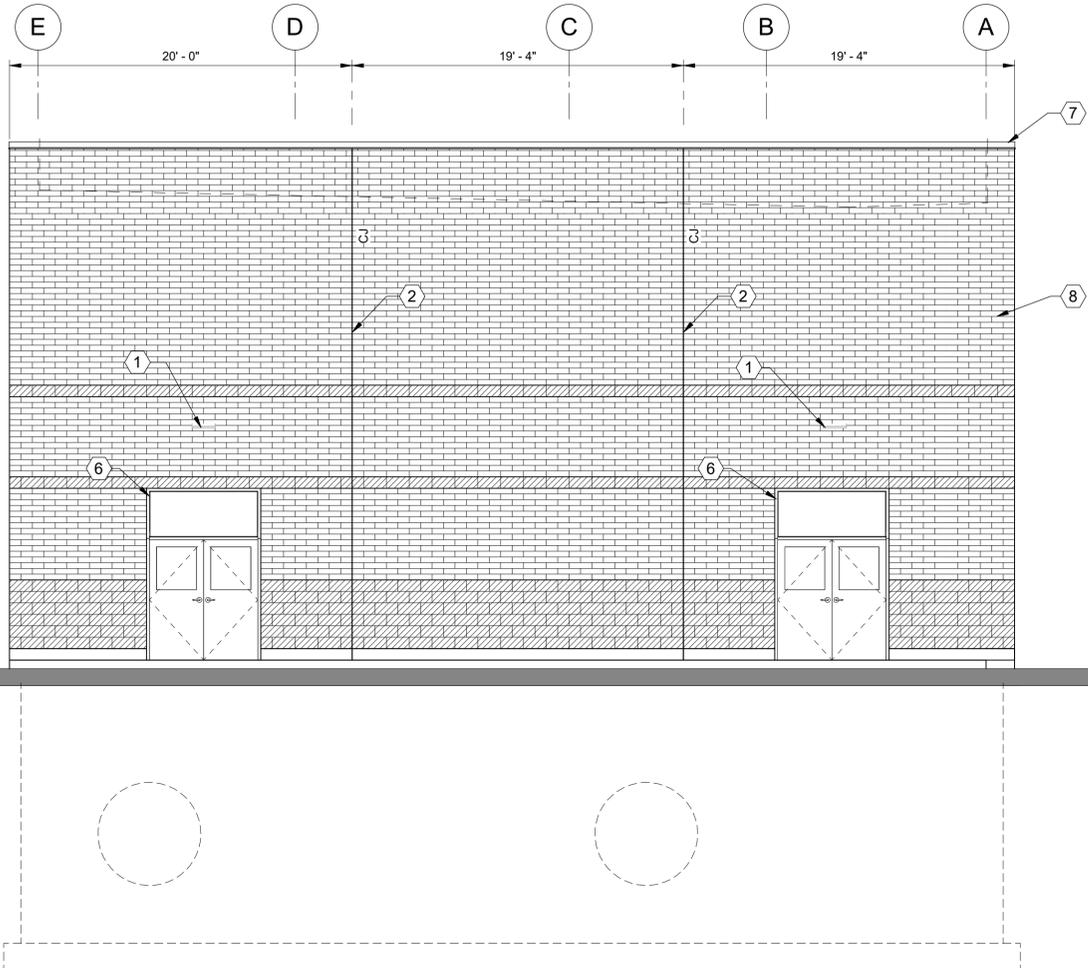
A

EL. 4618.50'  
TO PARAPET

EL. 4612.50'  
TOS

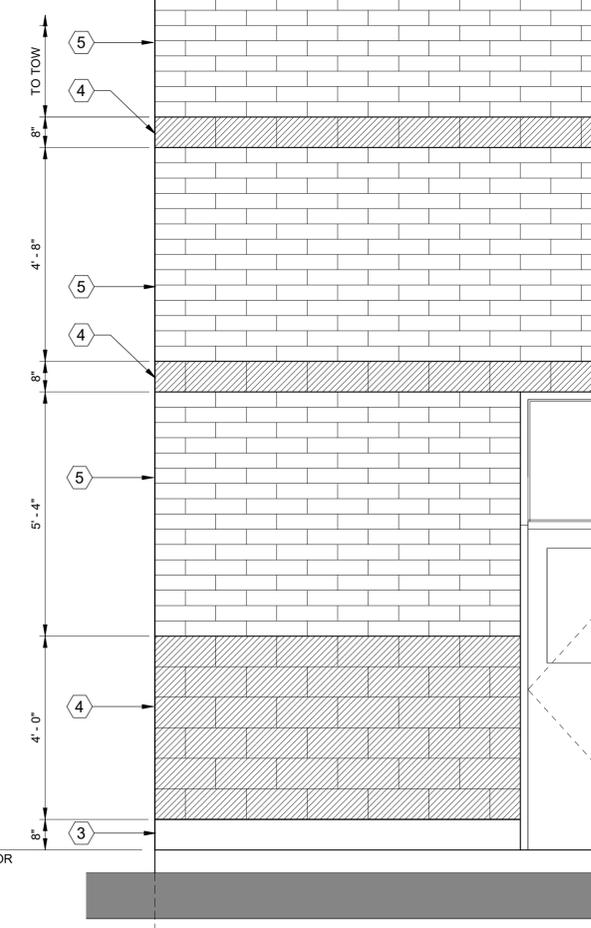
EL. 4588.50'  
FINISH FLOOR

EL. 4572.00'  
BASEMENT SLAB



NOTE:  
1. FOR VENEER ARTICULATION SEE DETAIL A/A-30-201

**1 PLAN - EAST ELEVATION**  
A-30-101 SCALE: 3/16" = 1'-0"



**A WALL ARTICULATION DETAIL**  
A-30-103 SCALE: 1/2" = 1'-0"

1 2 3 4 5 6

Plot Date: 9/1/2021 12:02:39 PM Path: T:\dms8829\152858-A-30\19.rvt



**GENERAL NOTES:**

- FOR SURFACE-MOUNTED LIGHT FIXTURES, SEE ELECTRICAL DRAWINGS.

**KEYNOTES:**

- WALL PACK LIGHT FIXTURE, SEE ELECTRICAL
- MASONRY CONTROL JOINT
- ROOF DRAIN SPOUT, BRASS
- PARAPET WALL WITH STANDING SEAM ALUMINUM COPING, DARK BROWN FINISH
- ATLAS BRICK INSULATED VENEER OVER STRUCTURAL CMU, SEE STRUCTURAL FOR CMU WALL
- EXPOSED STRUCTURAL CONCRETE BASE WALL, STONE RUBBED FINISH, SEE STRUCTURAL FOR MORE INFORMATION



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Salt Lake City, UT

2 Pepperwood Pointe  
Sandy, Utah 84092  
Cell: 801-647-8043  
Office: 801-572-1997  
ftharch@xmission.com

**BID SET**

WEBER  
BASIN  
WATER  
CONSERVANCY  
DISTRICT

**DAVIS AQUEDUCT  
REACH 1 PARALLEL  
PIPELINE PROJECT**

**REVISIONS**

REV	DATE	DESCRIPTION

LINE IS 2 INCHES  
AT FULL SIZE

DESIGNED: F.THALMANN

DRAWN: T.BOUFFARD

CHECKED:

CHECKED:

APPROVED: F.THALMANN

FILENAME

BC PROJECT NUMBER

152858

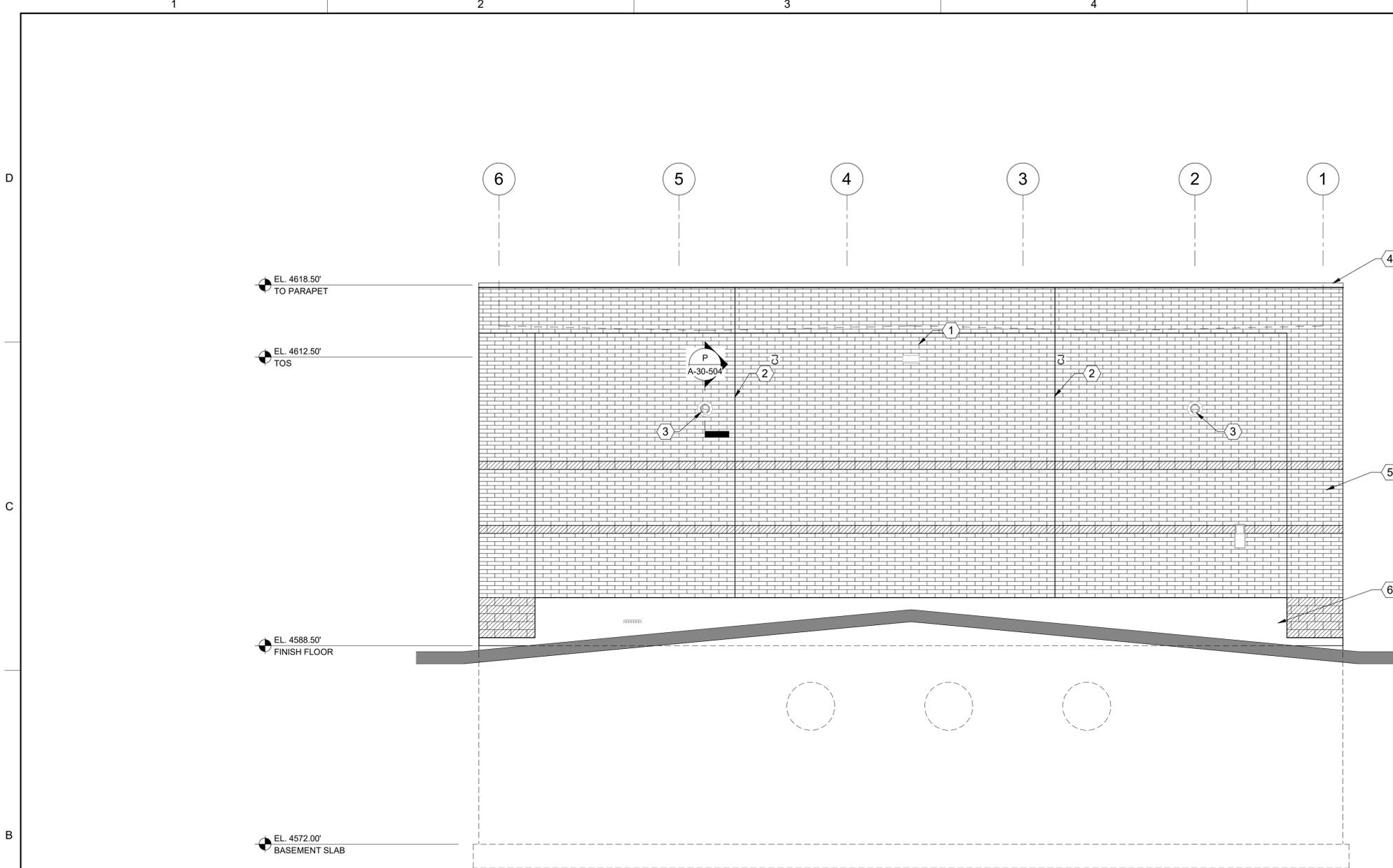
CLIENT PROJECT NUMBER

**PUMP STATION -  
ELEVATIONS 4**

DRAWING NUMBER

**A-30-204**

76 SHEET NUMBER  
OF 200



NOTE:  
1. FOR CMU WALL AND CONCRETE ARTICULATION  
SEE DETAIL A/A-30-201

**PLAN - NORTH ELEVATION**  
A-30-101 SCALE: 3/16" = 1'-0"

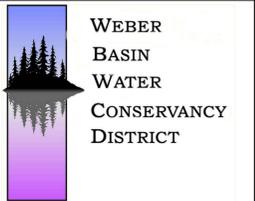
Plot Date: 9/1/2021 12:02:42 PM Path: T:\dms88829\152858-A-30\19.rvt



**GENERAL LANDSCAPING AND IRRIGATION NOTES**

1. CONTRACTOR SHALL MAKE A SITE VISIT TO THE PROJECT TO BECOME FAMILIAR WITH EXISTING SITE CONDITIONS PRIOR TO SUBMITTING ANY SUBMITTALS FOR APPROVAL OR PROCURING ANY PLANT MATERIALS OR EQUIPMENT FOR THE WORK.
2. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING LOCATIONS OF ALL EXISTING SITE UTILITIES AND YARD PIPING PRIOR TO COMMENCING ANY LANDSCAPE WORK.
3. PRIOR TO BEGINNING ANY PLANTING, CONSTRUCTION OF THE SIDEWALKS, PAVEMENT AND IRRIGATION SYSTEM SHALL BE COMPLETED AND THE APPLICABLE TESTS ACCEPTED BY THE ENGINEER. TOPSOIL SHALL BE PLACED IN APPROVED BY THE ENGINEER.
4. ALL PLANTS SHALL BE PLACED IN THE APPROXIMATE LOCATION SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR OWNER IF THERE IS A CONFLICT WITH PLANT LOCATIONS AND EXISTING FACILITIES INCLUDING UNDERGROUND UTILITIES AND PIPING IN YOUR SHALL APPROVE THE RELOCATION OF PLANT MATERIALS. ALL TREES AND SHRUBS SHALL BE A MINIMUM OF 3-FT HORIZONTAL SEPARATION FROM ALL UTILITIES.
5. NO SUBSTITUTES OF SPECIFIED PLANT MATERIAL SHALL BE ALLOWED UNLESS APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
6. ALL AREAS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE 2 WEEKS PRIOR TO PLANTING TREES, SHRUBS, PERENNIALS, GROUND COVER, SOD OR TYPE 2 SEEDING.
7. LANDSCAPE WEED BARRIER FABRIC SHALL BE INSTALLED IN ALL PLANTING BEDS PRIOR TO PLACEMENT OF SPECIFIED ROCK. THE CONTRACTOR SHALL SUBMIT SAMPLES AND SPECIFICATIONS OF THE WEED BARRIER FABRIC FOR APPROVAL BY THE ENGINEER PRIOR TO INSTALLATION.
8. EROSION CONTROL FABRIC SHALL BE PLACED ON ALL SLOPE STEEPER THAN 3 TO 1.
9. LANDSCAPE EDGING SHALL BE INSTALLED AROUND ALL TREES, RIPRAP AREAS, AND AREAS SCHEDULED TO RECEIVE GRASS.
10. CONTRACTOR SHALL PROVIDE TEMPORARY EROSION CONTROL SUCH AS WATTLES UNTIL NEW VEGETATION HAS TAKEN HOLD.
11. CONTRACTOR SHALL PROVIDE MOW CURB AND DECOMPOSED GRANITE AS SPECIFIED AROUND ALL TREES.
12. SEE SPECIFICATIONS AND DETAILS AS THEY APPLY TO THIS AND RELATED WORK.
13. THE NUMBER OF SPRINKLERS AND SPACING SHALL BE VERIFIED BY THE CONTRACTOR BASED ON SITE-SPECIFIC SOIL CONDITIONS AND PLANT MATERIAL CHARACTERISTICS AS RECOMMENDED BY THE MANUFACTURER.
14. THE CONTRACTOR SHALL SUBMIT DRAWINGS OF THE IRRIGATION SYSTEM AS HE INTENDS TO INSTALL TO THE ENGINEER PRIOR TO COMMENCING ANY WORK IN THE FIELD. THE DRAWINGS SHALL SHOW THE NUMBER OF HEADS, DRIP EMITTERS, GPM FOR EMITTERS, PLACEMENT OF ALL VALVES, MAIN LINE CONNECTIONS, LATERALS, AND OTHER PERTINENT ITEMS. THESE DRAWING SHALL BE APPROVED BY THE ENGINEER PRIOR TO COMMENCING IRRIGATION WORK.
15. THE CONTRACTOR SHALL PROVIDE DRIP IRRIGATION TO ALL TREES, SHRUBS, PERENNIALS, AND GROUND COVER.
16. ALL DRIP EMITTERS SHALL BE FITTED WITH FILTERS AS RECOMMENDED BY THE MANUFACTURER. WYE STRAINERS SHALL BE INSTALLED AT THE POINT OF INSTALLATION, UP-LINE OF EACH VALVE.
17. ALL DRIP LINES INSTALLED ON SLOPES SHALL BE POSITIONED ON THE UPHILL SIDE OF THE PLANT.
18. THE CONTRACTOR SHALL FLUSH AND ADJUST ALL DRIP LINES FOR OPTIMUM PERFORMANCE. THIS WORK SHALL INCLUDE SELECTING THE OPTIMUM FLOW RATE TO SERVE SITE CONDITIONS AND SPECIFIED PLANT MATERIALS AND TO THROTTLE THE FLOW AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PROCEDURE OR EACH STATION. THE CONTRACTOR SHALL MAKE A VISUAL INSPECTION OF DRIP OUTLET LINES IN CLEAR OBSTRUCTED LINES TO ENSURE FUNCTIONALITY OF THE DRIP SYSTEM.
19. THE CONTRACTOR SHALL PROTECT ALL WORK AND EQUIPMENT FROM DAMAGE AND THEFT AT ALL TIMES. REPLACEMENT OF ALL DAMAGED OR STOLEN PARTS SHALL BE AT THE CONTRACTOR'S EXPENSE UNTIL THE OWNER ACCEPTS THE WORK AND WRITING.
20. THE CONTRACTOR SHALL NOT RUN THE MAINLINE WITH ANY LATERALS IN THE SAME TRENCH.

**90% DESIGN SUBMITTAL**



**DAVIS AQUEDUCT REACH 1**

**REVISIONS**

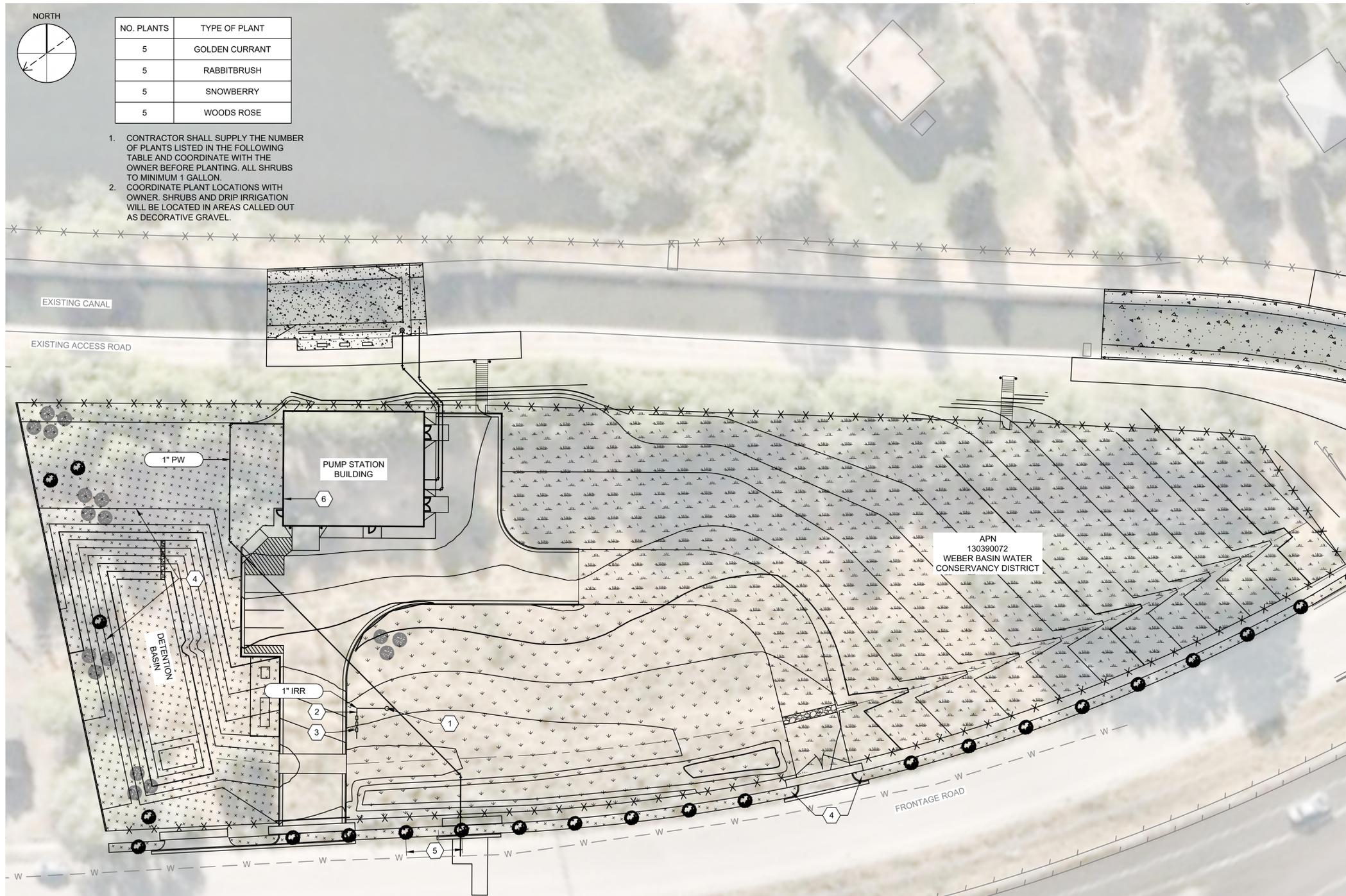
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LINE IS 2 INCHES AT FULL SIZE

DESIGNED: T. BIRD
DRAWN: T. PRIDEMORE
CHECKED: J. WILLIAMS
CHECKED: -
APPROVED: J. WILLIAMS
FILENAME L-01-201.DWG
BC PROJECT NUMBER 152858
CLIENT PROJECT NUMBER XXXXXX
LANDSCAPE

**LANDSCAPE SITE PLAN PUMP STATION**

DRAWING NUMBER L-01-201
SHEET NUMBER OF



NO. PLANTS	TYPE OF PLANT
5	GOLDEN CURRANT
5	RABBITBRUSH
5	SNOWBERRY
5	WOODS ROSE

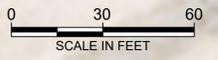
1. CONTRACTOR SHALL SUPPLY THE NUMBER OF PLANTS LISTED IN THE FOLLOWING TABLE AND COORDINATE WITH THE OWNER BEFORE PLANTING. ALL SHRUBS TO MINIMUM 1 GALLON.
2. COORDINATE PLANT LOCATIONS WITH OWNER. SHRUBS AND DRIP IRRIGATION WILL BE LOCATED IN AREAS CALLED OUT AS DECORATIVE GRAVEL.

**LEGEND**

- TURF GRASS
- DRYLAND PASTURE GRASS
- DECORATIVE GRAVEL
- BIG TOOTH MAPLE (MIN 2-IN CALIPER)
- EVERGREEN (MIN 5-FT TRUNK HEIGHT AND PLANTED IN CLUSTERS)

**KEY NOTES**

1. 1-INCH STOP AND WASTE VALVE FOR MAIN IRRIGATION SUPPLY SHUT OFF.
2. 1-INCH REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTER. INSTALL PER APPLICABLE PLUMBING CODES.
3. IRRIGATION VALVE BOXES. CONTRACTOR SHALL SUBMIT IRRIGATION PLAN FOR APPROVAL. ASSUME 3 VALVE BOXES WITH TWELVE SEPARATE VALVE ZONES ORBITING PURSES.
4. PLANT SPECIFIED TREES AND SHRUBS IN DECORATIVE GRAVEL AREAS WITH DRIP IRRIGATION SYSTEM.
5. PROVIDE PARKSTRIP TREES WITH A MAXIMUM OF 30 FT SPACING.
6. LOCATE VALVE CONTROLLER BOX ON NORTH INTERIOR WALL OF PUMP STATION. ROUTE REQUIRED WIRING TO VALVE BOXES AND IRRIGATION CONTROL VALVES.



Path: C:\BPC\DWG\MS88828 FILENAME: L-01-201.DWG PLOT DATE: 9/1/2021 5:09 PM CAD USER: TYLER PRIDEMORE

Hi Kim,

I am sending you this email to answer your questions regarding the anticipated noise impact that the new pump station will have on the surrounding area. First, it is important to note that the main purposes of the pump station are as follows:

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1. The Davis Aqueduct is normally supplied water from the Gateway Tunnel. One purpose of the DA R1 pump station is to provide the Davis Aqueduct with an alternative source of water to meet indoor demands in the event that the Gateway Tunnel or the section of the Davis Aqueduct upstream of the pump station needs to be temporarily taken out of service for maintenance activities. Gateway tunnel and/or aqueduct maintenance activities are scheduled events that typically occur approximately every 5 to 10 years and only last for a couple weeks.
2. In addition, the DA R1 pump station will be used to provide the Davis Aqueduct with an alternative source of water to meet indoor demands in the event that the Gateway Tunnel or a section of the Davis Aqueduct upstream of the pump station is damaged during a seismic event (earthquake). The pump station will then be used to supply water to the aqueduct until the damaged tunnel and/or aqueduct is repaired.

The estimated sound pressure emitting from the pump motors as measured at a distance of 5 ft from the motor is 80 decibels (see the attached cut sheet). For comparison purposes, 80 - 85 decibels is approximately the noise produced by an alarm clock, soup maker, or a diesel truck going 40 mph. However, the pump station building envelope consists of an insulated solid grouted 12-inch thick CMU wall with a sound transmission class (STC) of approximately 60. This exceeds the International Building Code Section 1206.2 requirement that states that partitioning walls, floors, and ceilings separate dwelling units must have a minimum STC of 50. In other words, we are building something similar to a sound wall enclosure around the pumps. In addition, the distance of the pump station to the nearby residents will further reduce the pump noise. For example, the estimated noise reduction at the property line located 155 ft to the north is 30 decibels.

In conclusion, given that the pumps are not frequently operated, will be enclosed by a grouted CMU building, and are located a minimum of 155 ft away from the nearest residential property line, we do not anticipate that the noise from the pump station will adversely impact residents located nearby.

Thanks,

**Tyler Bird, P.E.**

**NOISE**

**MODIFIABLE PRICING INSTRUCTIONS**

**24. NOISE -- TYPICAL VALUES (continued)**

**NOISE LEVELS: VERTICAL MOTORS 180-9600**

The following are the Nidec Motor Corporation noise levels for vertical motors. The levels are measurements in dB(A) per ANSI 12.51 and NEMA MG-1, corrected to a free field under 60 Hz sine wave power at a reference level of 0.0002 dyne/cm<sup>2</sup>. These are average expected values based on no-load testing and should not be guaranteed.

FRAME	RPM	WP-I		WP-II		TEFC/XP		TEFC/XP	
		Sound Pressure	Sound Power	Sound Pressure	Sound Power	Standard & Energy Efficient		Premium Efficient	
						Sound Pressure	Sound Power	Sound Pressure	Sound Power
180	3600	70	78	n/a	n/a	75	83	75	83
	1800	60	68	n/a	n/a	65	73	60	68
	1200 & slower	55	63	n/a	n/a	60	68	60	68
210	3600	75	78	n/a	n/a	75	83	75	83
	1800	60	68	n/a	n/a	65	73	65	73
	1200 & slower	55	63	n/a	n/a	60	68	60	68
250	3600	75	83	n/a	n/a	80	88	75	83
	1800	70	78	n/a	n/a	70	78	65	73
	1200 & slower	60	68	n/a	n/a	60	68	60	68
280	3600	75	84	n/a	n/a	80	89	80	89
	1800	70	79	n/a	n/a	70	79	70	79
	1200 & slower	60	69	n/a	n/a	65	74	65	74
320	3600	75	84	n/a	n/a	80	89	80	89
	1800	65	74	n/a	n/a	70	79	70	79
	1200 & slower	65	74	n/a	n/a	65	74	65	74
360	3600	75	84	n/a	n/a	85	94	80	89
	1800	65	74	n/a	n/a	75	84	75	84
	1200 & slower	65	74	n/a	n/a	70	79	65	74
400	3600	80	90	n/a	n/a	85	95	80	80
	1800	70	80	n/a	n/a	75	85	75	85
	1200 & slower	65	75	n/a	n/a	70	80	65	75
440	3600	80	90	n/a	n/a	90	100	80	90
	1800	70	80	n/a	n/a	80	90	75	85
	1200 & slower	70	80	n/a	n/a	75	85	65	75
447	3600	n/a	n/a	n/a	n/a	90	100	85	95
	1800	85	95	n/a	n/a	80	90	75	85
	1200 & slower	80	90	n/a	n/a	75	85	70	80
449	3600	n/a	n/a	n/a	n/a	90	102	92	105
	1800	n/a	n/a	-	-	90	102	92	105
	1200 & slower	n/a	n/a	-	-	85	97	87	100
5000	3600	91	103	91	103	90	103	91	103
	1800	86	98	86	93	90	103	86	103
	1200 & slower	80	93	80	93	85	98	80	93
5800	3600	n/a	n/a	n/a	n/a	97	109	97	109
	1800	n/a	n/a	n/a	n/a	92	104	92	104
	1200 & slower	n/a	n/a	n/a	n/a	92	104	92	104
6812 (TE)	3600	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	1800	n/a	n/a	n/a	n/a	92	108	92	108
	1200 & slower	n/a	n/a	n/a	n/a	92	108	92	108
6800-8000	3600	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	1800	90	105	85	100	n/a	n/a	n/a	n/a
	1200 & slower	85	100	80	95	n/a	n/a	n/a	n/a
9600	3600	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	1800	REFER TO OFFICE		REFER TO OFFICE		n/a	n/a	n/a	n/a
	1200 & slower	90	105	85	100	n/a	n/a	n/a	n/a

Measurements are reported at 3 feet for NEMA<sup>®</sup> frames, 5 feet for TITAN<sup>®</sup> frames (449 and larger). Refer to the Inquiry Group for Noise Quotation Guidelines and Octave Band Analysis Chart.



† All marks shown within this document are properties of their respective owners.