

SOUTH WEBER CITY COUNCIL AGENDA

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<https://www.youtube.com/c/southwebercityut>

PUBLIC NOTICE is hereby given that the City Council of SOUTH WEBER CITY, Utah, will meet in a regular public meeting commencing at 6:00 p.m. on Tuesday, May 24, 2022, in the Council Chambers at 1600 E. South Weber Dr. You may also email publiccomment@southwebercity.com for inclusion with the minutes.

OPEN (Agenda items may be moved to meet the needs of the Council.)

1. Pledge of Allegiance: Councilman Soderquist
2. Prayer: Councilwoman Alberts
3. Public Comment: Please respectfully follow these guidelines.
 - a. Individuals may speak once for 3 minutes or less: Do not remark from the audience.
 - b. State your name & address and direct comments to the entire Council (They will not respond).

PRESENTATIONS

4. DCSO Report 02-09 to Present
5. Davis Remembers: The 9/11 Project by Jennie Taylor of the Major Brent Taylor Foundation

ACTION ITEMS

6. Consent Agenda
 - a. April 28 Minutes
7. **Public Hearing on Fiscal Year 2022-23 Tentative Budget**
8. Ordinance 2022-06: Amend Title 10 Chapter 3 Section 4 Planning Commission Organization
9. Ordinance 2022-08: Amend Title 10 Chapter 18 Short-term or Vacation Rentals
10. Resolution 22-24: Approve Municipal Wastewater Planning Program Annual Report
11. Resolution 22-25: Development Agreement for South Weber Gateway

DISCUSSION ITEMS

12. Holker Development Rezone Request
13. Gunderson Development Request
14. City Hall Layout Concept

REPORTS

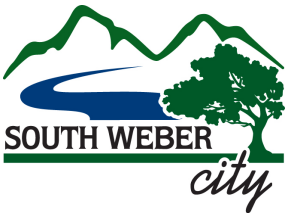
15. New Business
16. Council & Staff
17. Adjourn

In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the City Recorder, 1600 East South Weber Drive, South Weber, Utah 84405 (801-479-3177) at least two days prior to the meeting.

The undersigned City Recorder for the municipality of South Weber City hereby certifies that a copy of the foregoing notice was mailed/emailed/posted to: City Office building, Family Activity Center, City Website <http://southwebercity.com/>, Utah Public Notice website <https://www.utah.gov/pmn/index.html>, Mayor and Council, and others on the agenda.

DATE: 05-17-2022

CITY RECORDER: Lisa Smith



CITY COUNCIL MEETING STAFF REPORT

MEETING DATE

05-24-2022

PREPARED BYLisa Smith
RecorderITEM TYPE

Presentation

ATTACHMENTS

NA

PRIOR DISCUSSION DATES

NA

AGENDA ITEM

Davis County Sheriff's Office Quarterly Report

RECOMMENDATION

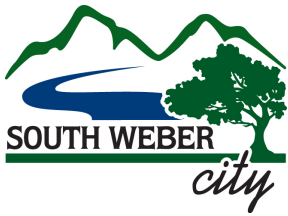
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BACKGROUND

DCSO last reported on 02-08-2022. City Council has requested quarterly reports to review staffing, violation statistics, and significant events which have occurred.

ANALYSIS

NA



#5 9/11 Davis
CITY COUNCIL MEETING
STAFF REPORT

MEETING DATE

May 24, 2022

PREPARED BY

David Larson
City Manager

ITEM TYPE

Presentation

ATTACHMENTS

Overview of Davis 9/11
Project

AGENDA ITEM

Presentation – Davis 9/11 Event by Jennie Taylor

PURPOSE

Learn about the upcoming Davis Remembers: 9/11 Project

BACKGROUND

Jennie Taylor, Founder/Director of the Major Brent Taylor Foundation, will be in attendance to provide information regarding the upcoming community event and how South Weber City can be involved.



Community Engagement

The purpose of the 9/11 Project is to bring community members together. Last year, the Weber County Edition of this project utilized the volunteer services of over 400 local residents. Students from local junior high and high schools were among those who helped pull the event together. Politicians, business leaders, military members, educators, and first responder professionals are all involved in an incredibly collaborative manner. Few community events have this level of both depth and breadth in terms of opportunities for civic engagement.

Educational Opportunities

The 9/11 Project also provides invaluable educational opportunities for young and old alike. The Museum Exhibit is designed in such a way as to engage all the human senses in an immersive manner. Guests walk through a physical timeline of events leading up to the tragic attacks of September 11, 2001. For those who lived through those events, the Project serves as a reminder of what happened that day—and the emotion, good will, and shared desire to serve that emerged in the aftermath. For those not yet alive in 2001, this Project helps them experience the magnitude of the tragedy—and the intensity of the patriotism and brotherhood that rose almost literally out of the ashes of that day. School classes come on field trips; parents bring their children; grandparents help the next generation learn why it is so important to honor the promise America made over 20 years ago—the promise to never forget.

Service Showcase

Non-profit and service-oriented organizations are granted booth space in which to demonstrate the services they provide. Not only does this serve to educate the public about the good work being done by those involved in these service organizations; it also provides opportunities for those same members of the public to get involved in the work being done. It's a showcase and a recruiting fair—all with community service as the end-goal for all involved.

Professional Career Fair

The 9/11 Project also creates a great opportunity for medical, fire and police professionals to show case the work they do. Through the indoor booths and the outdoor parking lot exhibits, these professionals are able to interact with members of the public and help them (the public) regain a sense of trust of and appreciation for these professions. It also serves to introduce today's young people to the possibility of joining one of these professions as part of their own future career choices.



Military Tribute

All branches of service are invited to participate in the 9/11 Project. In addition to showcasing their professionalism and career options, members of the military also get to interact with members of the public in a non-threatening and non-confrontational way. They can educate the public about the different but overlapping missions of each of the branches of service. Once again, it is a chance for today's adults to gain (or regain) trust and appreciation while also planting seeds of career opportunities for tomorrow's men and women in uniform.

Touch a Truck Exhibit

Members of the public traditionally LOVE a good Touch a Truck exhibit. By bringing different vehicles and pieces of machinery to the parking lot area, the military, medical, fire and police professionals are able to take their interactions with the public to a deeper level. Hands-on engagement creates a longer lasting impression on both the young and old—and provides some great visuals for the local media to cover.

Patriotism Ignited

All the above components of the 9/11 Project come together in a way that ignites patriotism among all who attend. Partisan politics are set aside. Unity is not only talked about but experienced. Memories are stirred. Gratitude is rekindled. And a reminder is shared about just how fortunate we are to live in the land of the free—and how responsible we each are to maintain this land for what it has always been intended to be.

City Ask

- Two to four images that capture the essence of your city
- A saying or sentence or two that capture the essence of your city
- A photo or two of any military or public safety memorials in your city
- A point of contact for communication with your city
- A few minutes for at a City Council meeting for a brief presentation about the project
- Partnership in getting the word out about the event

SOUTH WEBER CITY CITY COUNCIL MEETING

DATE OF MEETING: 28 April 2022

TIME COMMENCED: 2:00 p.m.

LOCATION: South Weber City Office at 1600 East South Weber Drive, South Weber, UT

PRESENT: MAYOR:

Rod Westbroek

COUNCIL MEMBERS:

**Hayley Alberts
Joel Dills
Blair Halverson
Angie Petty
Quin Soderquist**

COMMUNITY DIRECTOR:

Trevor Cahoon

CITY ATTORNEY:

Jayme Blakesley

CITY ENGINEER:

Brandon Jones

CITY RECORDER:

Lisa Smith

Minutes: Michelle Clark

ATTENDEES: Paul Sturm, Sky Hazelhurst, and Brad Brown.

Mayor Westbroek called the meeting to order and welcomed those in attendance.

1. Pledge of Allegiance: Councilwoman Petty

2. Prayer: Councilman Soderquist

DISCUSSION ITEMS:

3. Final Plat, Improvement Plans, and Conditional Use for South Weber Gateway at approximately 2350 E South Weber Drive by Applicant Brad Brown

Mayor Westbroek expressed there are questions surrounding this project which created the necessity for this meeting. City Engineer Brandon Jones reviewed there has been interest on the Poll property for some time, even previous to Brad Brown and his team. When the developer started looking at this property, it was identified in the city's General Plan with a crosshatch indicating a possible development agreement. Since then, the property was rezoned and split from agricultural to C-H and R-7 zones.

Councilwoman Petty questioned why there is not a townhome description in the city code. Community Director Trevor Cahoon replied when the city updated the land use matrix there was

an oversight. Councilwoman Alberts recalled, at the time, the Council suggested townhomes fall under multi-family. City Attorney Jayme Blakesley explained in this zone there is not a specific category for “townhome” which would be individual units that are platted and sold in the R-7 zone. He further explained there can be a multi-family structure that contains multi-family units, but with this particular zone, they cannot be separately owned units. However, if there is a zone change enacted, then units can be converted into being separately sold.

Councilman Dills stated a townhome is a design of a multi-family unit. Mr. Cahoon explained townhome is a design element but also a type of plat and the plat dictates how property can be sold. A townhome plat allows for ownership of the ground underneath, shared zero lot lines, and shared walls. Our current code does not offer that option. Councilman Halverson puzzled why the interior space could not be sold to individuals, yet the Homeowner’s Association (HOA) still maintain the outer building. Mr. Cahoon pronounced if the developer did a condominium plat, which allows for ownership of the air space per unit, then they would be able to sell each unit. This possibility was explained to the developer, and they chose not to take that option.

Councilwoman Alberts indicated the only difference with multi-family is that there is no minimum lot line. Multi-family is allowed in the R-7 zone, but the code does not identify a minimum lot size. She suggested the City Council review a minimum lot size requirement. The code does not state that the owner cannot have their own lot. In her research of the code, she saw a need to review/discuss each lot should have a minimum width of 100’. Mr. Cahoon replied there is no provision for zero lot lines, and they are not allowed in that zone. Councilwoman Alberts declared this development addressed the units as condominiums with CC&R’s and an HOA in previous meetings. She opined during preliminary plat and final approval something changed.

Developer Sky Hazelhurst conveyed it is always better to have units individually platted with an actual parcel number because they are easier to sell, but they knew there was no city code in place to do that under the R-7 Zone. He explained they looked into selling the properties individually, but it was not possible. He divulged condominiums are typically meant to be vertically stacked with different shared amenities. He vocalized townhomes are industry standard and banks/lenders are used to financing them because it is easier to sell and more valuable. Trevor mentioned if the developer wishes to turn it into a condominium project, then he would be required to submit a plat amendment. Right now, this project is a single lot with multiple dwellings which is allowed in the city code as a “for rent” product.

Councilman Halverson had misgivings about changing the phasing of this project. After conducting his own research, he found in July 2020 the developer’s presentation to the City Council for phase 1 included 33 units built in conjunction with commercial development. He discussed the phasing totally changing and verified he will vote no to the project as currently presented. Trevor communicated at submission the developer asked if he could build to suit on the commercial. The developer is concerned a larger tenant might need a larger space.

Councilwoman Alberts verified the site plan approval must be completed within 18 months or the zone reverts back to agriculture. Mr. Cahoon offered the developer has presented a site plan. If there are any changes made, then the developer would be required to submit a site plan amendment. Councilwoman Alberts feared the residential would be built and the commercial space would remain empty.

Developer Brad Brown submitted they were told they could do it all at once. Councilman Halverson voiced the project can still be one lot and done in phases. Mr. Cahoon related without a development agreement phasing is solely the developer's choice as to how they want to phase their project.

Jayne Blakesley explained the only way to bring up phasing as part of zoning approval would be a development agreement. Further discussion took place regarding the history of the development agreement and the timing of the decision not to have one in the past.

Councilwoman Alberts affirmed the development agreement did come up, but not since the rezone. Mr. Brown averred he has had this discussion several times and he is not trying to switch something, but this is how staff recommended he do it. Trevor clarified during development meetings staff presented all available options to the developer to complete the project.

Councilwoman Alberts queried if the developer would be willing to do a development agreement that identifies phasing as proposed at the rezone request. Mr. Brown and Mr. Hazelhurst replied if it can be done by 10 May 2022. She then asked Mr. Blakesley about the process. He reported there are different types of development agreements that can be used to accomplish zone changes or legislative work for the Council. There are development agreements that can be used for administrative functional items such as, layouts, phasing, lighting, sharing of costs and amenities etc. Making the units available for individual sale would be a zone change which can be completed through a development agreement or text amendment to the zone or city code. Mr. Blakesley stated it is important to note if the development agreement related to the phasing of the project, he would view that as an administrative decision. If the Council favored amending the city code, it would need to go through the public notice process as it would be legislative.

Councilwoman Petty thanked Mr. Brown and Mr. Hazelhurst for being understanding as this is a high-profile project in the city. She inquired about the setbacks from the charter school to the back of the multi-use buildings. Mr. Cahoon confirmed it is 30'. He declared it is the City Council's prerogative to determine the setbacks for townhomes by approval of the ordinance. Councilman Dills did not believe there should be a change for setbacks if it is defined in the code. Mr. Cahoon disclosed the biggest difference is the zero-lot line. Mr. Blakesley explained the difference is how the units are platted and sold. A zero-lot line townhome style plat allows for owner of the unit to own the ground underneath the unit as well as the exterior of the unit with the right to modify all of those things. If it is a condominium style, the full façade, exterior, and shared utilities would be common and managed by a common entity.

Mr. Blakesley conveyed this project can move forward as designed and be constructed as designed regardless of how it is ultimately platted. It could be amended at a later time. Mr. Hazelhurst declared he wants to do the plat the way he is allowed now and when the project is under construction or completed, he can do a townhome plat. His preference is to sell the units individually.

Councilwoman Alberts queried if the units are on the multiple listing service (MLS). Mr. Hazelhurst reported Millcreek wanted to test the market. Councilwoman Alberts asked Mr. Cahoon to review City Code Section 11-3-1B item #6. Mr. Cahoon relayed when the city received information regarding the advertisement to sell the units, they reached out to City Attorney Jayne Blakesley. The city staff made the decision to provide notice to the developer. At this time, it was undecided as to whether or not it was an investment opportunity or a selling opportunity. Mr. Hazelhurst pledged to follow up with Millcreek.

Councilwoman Petty acknowledged it does appear the developer has tried to work within city code on the setbacks. Councilman Halverson agreed; however, he noted he did not think any of the Council expected rental units without phasing.

The legal description that was given for the rezone does not reflect the current plan. Brandon Jones explained the road width differed from the original plan. He reported the size of commercial development is approximately 7,500 sq. ft. of land.

Mr. Blakesley recommended the Council decide on two points:

- (1) Should the zoning code be amended to allow for the units to be sold in a different way?
- (2) Will the phasing presented to the Planning Commission be required?

He suggested decisions should be based on the current presentation so the developer could begin the work on the project and consider a basic development agreement that phasing would be implemented as shown in the Planning Commission meeting. Councilwoman Alberts hesitated to allow the developer to move forward with plans to amend the plat in the future believing he would not return with an amended plat. Councilwoman Petty supported a development agreement with the phasing outlined.

Councilwoman Petty was excused at 3:03 p.m.

Councilwoman Alberts would not support the project without an amended plat. Mr. Hazelhurst verified he does want to sell the units and recounted as the owner of the property he has the right to make that decision. Mr. Jones confirmed a townhome plat is much simpler than a condominium plat. Mr. Hazelhurst stated if there is a way to move forward and then come back to individually plat as a townhome when that is available in code, then he is willing to come back to do that.

The Council agreed Mr. Blakesley should put together a simple development agreement which includes phasing and re-platting this project as a townhome development. Keeping in mind the city needs to put in place the zoning regulations that would allow it.

Councilman Soderquist voiced concern with the 11' hillside retention and the potential for slides. Staff verified the retaining wall will need to be stamped and approved by a geotechnical engineer. Some talk about the hillside landscape followed. Caution was given about fire hazard. Councilman Soderquist also asked about water mains through the development being public but other utilities being private. Mr. Jones replied that the Homeowner's Association is responsible for the pipes – cleaning, maintenance, etc. which is good for the city. Councilman Soderquist queried about the garages use as outside storage space. Mr. Cahoon explained the city code lacks a definition for "outside storage". Councilman Soderquist was concerned for the safety of children walking to and from High Mark School through a commercial development. He recommended the walkway continue straight east. Mr. Hazelhurst agreed with the safety concerns and stated that should be no problem.

Mr. Cahoon reported he and Mr. Larson met with High Mark School this week to discuss safety concerns. It was the first of many conversations that will take place. Brandon Jones pointed out the turn lane will restrict any parking. Also, UDOT has approved painting no parking along the street. The discussion needs to continue between the city and High Mark School.

Councilman Soderquist inquired about the reason for the berm with a 3' fence. Mr. Hazelhurst related he will do whatever the City Council decides as the berm was more for aesthetics.

Councilman Halverson asked about local garbage collection. Mr. Jones affirmed the developer will need to work with Robinson Waste. Councilwoman Alberts voiced concern about the location of the commercial garbage collection. She wanted a masonry wall to create a better buffer. She noted there was a decrease in plants, and she proclaimed water wise is not plant-less.

Councilman Dills inquired about approving the commercial portion without knowing exactly what is going in there. Mr. Cahoon identified the site plan process and articulated any amendments will require a site plan amendment. Mr. Jones clarified any site plan amendment would only be approved by the Planning Commission.

Councilman Dills wondered about a lighting plan. Mr. Jones explained the streetlights are labeled on the plat and there is nothing proposed that is outside the norm.

Next Steps:

City will:

Draft a simple development agreement which will include: (a) verbiage for the project to be replatted as townhomes (b) phasing as agreed by developer (c) install walkway on east side of the development.

Developer will:

- Amend fencing to masonry wall and no berm or rail fence
- Research into garbage service options
- Check MLS – make sure it is removed
- Look into water wise plants
- Review lighting with Mr. Jones
- Check zoning square footage between the two zones

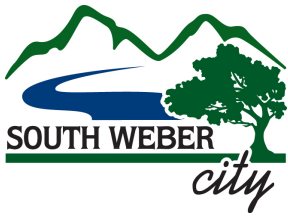
ADJOURN: Councilwoman Alberts moved to adjourn the City Council meeting at 3:50 p.m. Councilman Soderquist seconded the motion. Mayor Westbroek called for the vote. Council Members Alberts, Dills, Halverson, Petty, and Soderquist voted aye. The motion carried.

APPROVED: _____ **Date** 05-24-2022

Mayor: Rod Westbroek

Transcriber: Michelle Clark

Attest: _____ **City Recorder: Lisa Smith**



CITY COUNCIL MEETING STAFF REPORT

MEETING DATE

05-24-2022

PREPARED BY

Mark McRae
Finance Director

ITEM TYPE

Legislative

ATTACHMENTS

2023 Tentative Budget

PRIOR DISCUSSION DATES

April 12, 2022

May 10, 2022

AGENDA ITEM

Public Hearing on 2022-2023 Tentative Budget

PURPOSE

Public Hearing to hear citizen comment on 2022-2023 Tentative Budget.

RECOMMENDATION

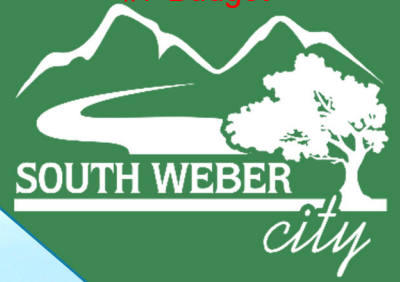
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BACKGROUND

State law requires the City to prepare and file a tentative budget for the upcoming year by the first city council meeting in May. Council committees and staff have given input to the budget officer over the last several months as we have worked through the budget process. The full city council had the opportunity to discuss the budget on April 12, 2022. The Tentative Budget was adopted on May 10, 2022.

ANALYSIS

NA



South Weber City Budget 2022 – 2023

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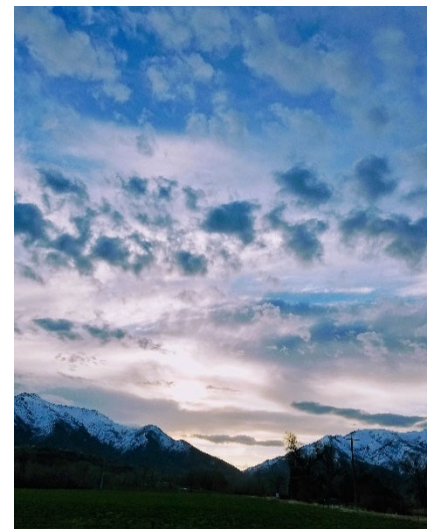
GLOSSARY..... 116

About South Weber

South Weber is located in the northeast corner of Davis County and is bordered in the north by Interstate 84 and the Weber River, east by Highway 89. Hill Air Force base defines the border in the south. Land area equals a total of 4.7 square miles.



The City's proximity to outdoor pursuits such as, fishing, mountain biking, skiing, and lakes while simultaneously being close to shopping added with the city's ability to maintain a small-town vibe brings many to settle here. The city prides itself with the amount of parks and trails the city maintains. Recently, citizens worked together to get donated money for pickleball courts. These will be installed in the coming years.



Historically, South Weber is known for the Morrisite war in 1862 and a Sasquatch sighting. Presently, South Weber is known for their annual Country Fair Days, which occurs every year in August. The celebration last six days and is a perfect example of how the community comes together in unity.



Mission Statement

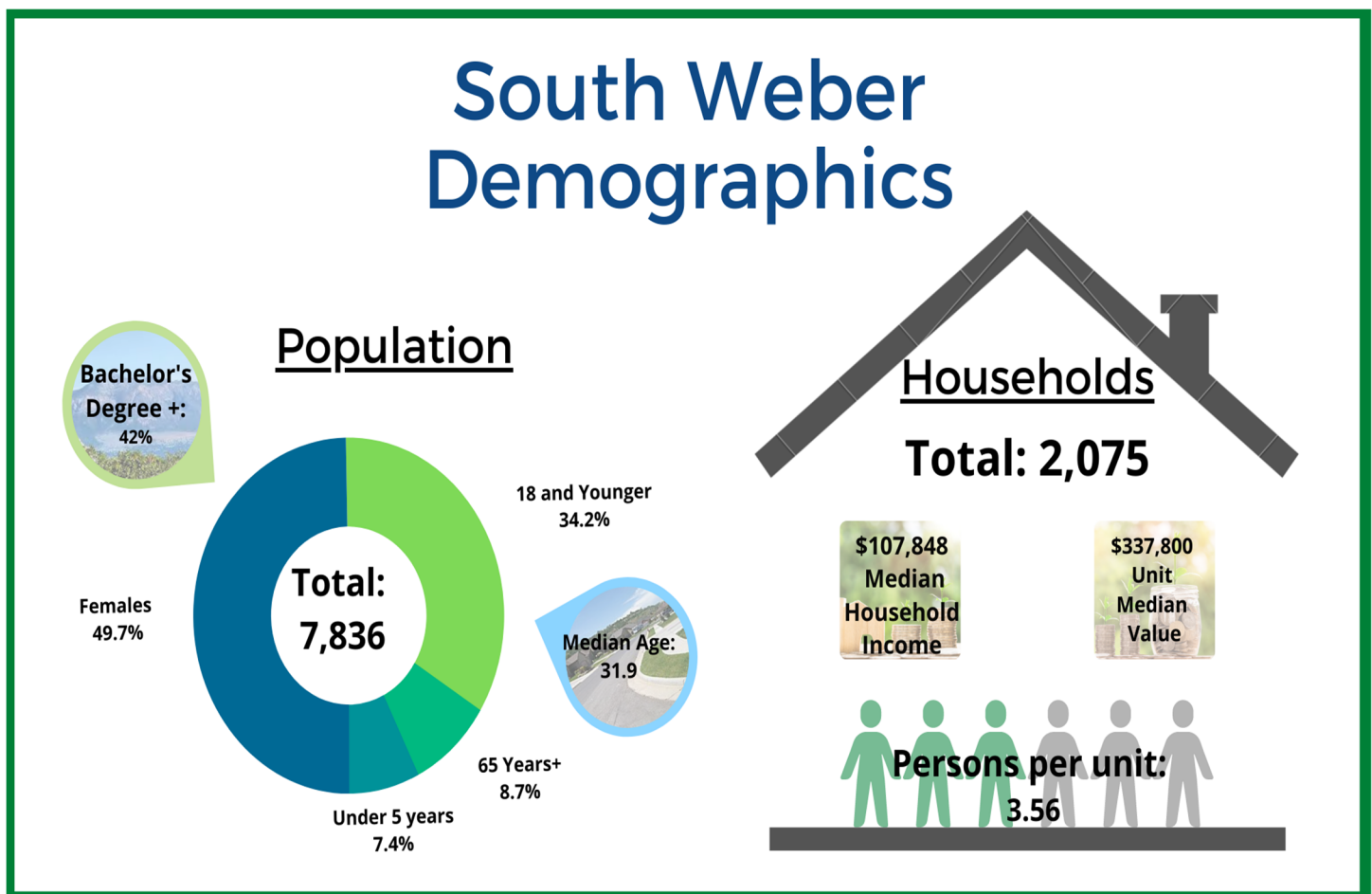
To enhance the quality of life by providing municipal services, protecting life and property with fiscal responsibility, while preserving our heritage for the citizens of South Weber City.



Vision Statement

A family-oriented community that provides sufficient amenities and infrastructure for residents.

South Weber Demographics



Information derived from: <https://www.census.gov/quickfacts/fact/table/southwebercityutah,US/PST045219>

City Government

Mayor



Rod Westbroek

City Council



Angie Petty



Joel Dills



Quin Soderquist

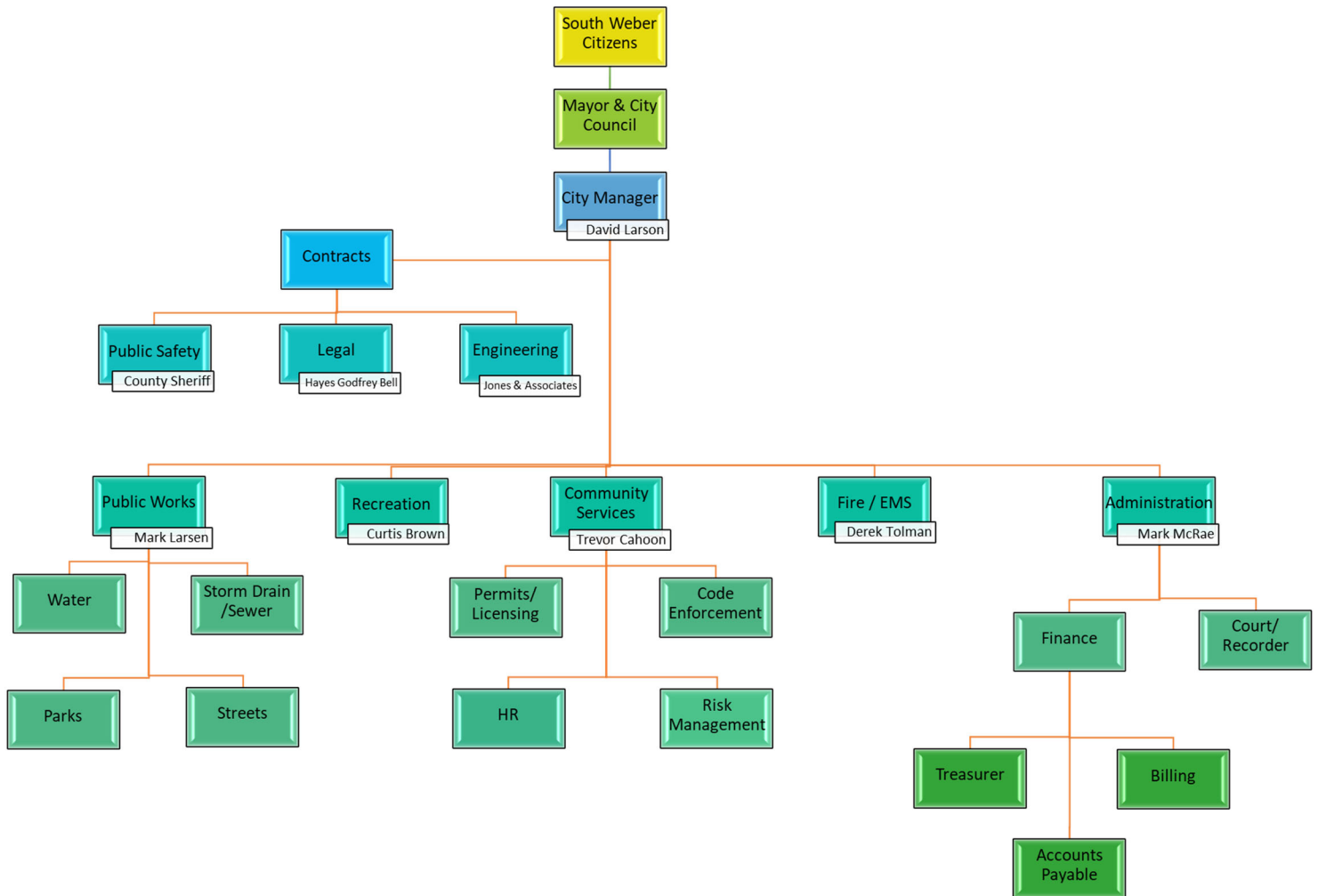


Hayley Alberts



Blair Halverson

Organizational Chart



South Weber's Strategic Goals

A strategic plan is a vital tool for South Weber to ensure that the priorities set by the City Council are conveyed in the organization's goals, that strategies are clearly developed to meet the goals, and that overall city government is accountable to meeting community needs. Strategic goals are created in collaboration between City Council and the City Manager. The goals are guided by the Capital Facilities Plan, infrastructure plans, and needs of the community.

Strategic Directives

Public Safety

To ensure a safe community environment by providing effective emergency services, protecting citizens and property, being prepared for a major emergency, and mitigating potential hazards.

Infrastructure, Equipment & Municipal Services

Create a beautiful, long-lasting community by maintaining quality, compliant, high-functioning, systems; budgeting infrastructure projects; maintaining a recreation program and justice court; and supporting community events. Systems and projects are categorized into these groups: culinary water, sewer, storm drain, streets, parks, and trails.

Fiscal Sustainability & Planning

Ensure long-term services by reviewing and updating Capital Facilities Plans, General Plan and land use code; maintaining family-friendly culture of community; maintaining sustainable tax structure, utility fees, and infrastructure; solidifying northern city boundary line; and actively participating in state legislative advocacy.

Community Engagement

Engage community in positive interactions with the city by providing excellent customer service, sharing and creating easy access to information, improving marketing of city events, increasing social media followers, and preserving community unity through city service opportunities.

Employees

Ensure effective functioning by hiring quality employees, retaining high-performing employees, creating an environment that can enhance performance, and maintaining quality policies and procedures.

Basis of Budgeting

Accounting vs. Budgeting Basis

The basis of accounting or budgeting refers to the timing of when revenues and expenses are recognized in the accounts and reported on the financial documents. In South Weber City the basis for accounting is not the same as the basis for budgeting. The City contracts with an independent auditor to prepare the City's annual audit in conformance with Generally Accepted Accounting Principles (GAAP), which require an accrual basis of accounting for certain funds. The budget is not prepared using the accrual basis of accounting; therefore, the budget cannot be compared to information reported in the annual report in all cases.

The general governmental funds (General, Capital Projects, and Special Revenue) are budgeted on a modified accrual basis and can be directly compared to the fund operating statements in the city audit. The Enterprise Fund types (Water, Sewer, & Solid Waste) are also budgeted on a modified accrual basis but are depicted in the audit report using an accrual basis. Therefore, these funds are not directly comparable between the two documents.

Accounting Basis

The City's Audit reports the status of the City's finances in accordance with GAAP. The accrual basis of accounting is used for all funds at the entity-wide reporting level. At the fund level, the accrual basis of accounting is used for all funds except the governmental fund types, which use the modified accrual basis of accounting.

The modified accrual basis differs from the accrual basis in the following ways:

- Purchases of capital assets are considered expenditures.
- Redemptions of long-term debt are considered expenditures when due.
- Revenues are recognized only when they become both measurable and available to finance expenditures of the current period.



South Weber Budget

- Inventories and prepaid items are reported as expenditures when purchased.
- Interest on long-term debt is recorded as an expenditure when due.
- Accumulated unpaid vacation, sick pay, and other employee benefits are considered expenditures when paid.
- Depreciation is recorded on an accrual basis only.



Budget Format

The financial transactions of the City are recorded in individual funds. A fund is a separate accounting entity with a self-balancing set of accounts. Fund accounting is used to demonstrate legal compliance and to aid financial management by segregating transactions related to certain government functions or activities.

The City's budget is presented and approved as funds.

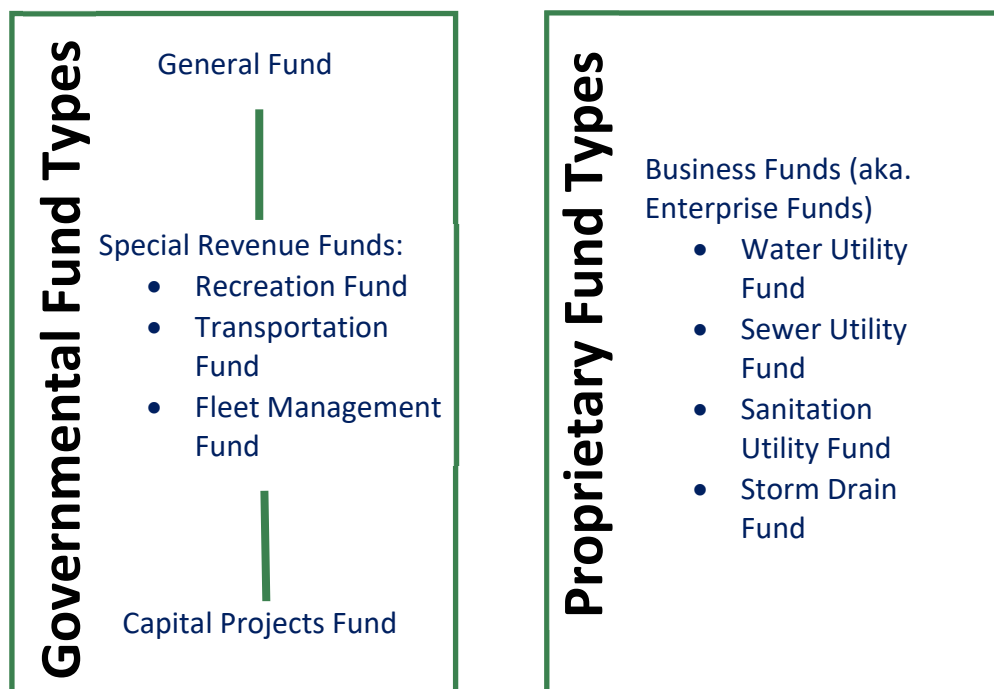
Fund accounting is the methodology used as the standard for governmental entities. There are two fund types in the South Weber City budget:

governmental funds, and proprietary funds. Within

these two types are classification as shown below, with the name of the budgeted funds within those classifications also noted.

<i>Department</i>	<i>General Fund</i>	<i>Special Fund</i>	<i>Capital Projects Fund</i>
<i>Legislative</i>	X		
<i>Judicial</i>	X		
<i>Administrative</i>	X	X	X
<i>Public Safety</i>	X		
<i>Fire & EMS</i>	X		X
<i>Community Services</i>	X		
<i>Streets</i>		X	X
<i>Parks</i>	X	X	X

The public can get involved in budget decisions by coming to and expressing opinion through open Council Meetings and Truth in Taxation hearings, when applicable. The public may also contact the Mayor and City Council for concerns or needs. From there the Mayor and Council Members will bring concerns to the City Council. City Council meetings are held twice a month on Tuesdays. More information can be found on the City website.



Budget Process



PLAN



City Council with City manager and key administrative staff work to identify budget priorities.

.....

PREPARE



The City Manager along with key administrative staff prepares a proposed budget and council oversees budget changes.

.....

REVIEW



The Council receives the Manager's proposed budget and reviews major budget changes with key administrative staff.

⋮

AMENDMENTS



The budget process allows for amendments throughout the fiscal year, which requires require a public hearing and majority vote of the Council.

.....

ADOPT



The Council adopts the final budget in June or in August if a change in the certified tax rate is proposed.

.....

ADJUST



The Council holds public hearings and considers the public's feedback, adjusting the budget to reflect any final changes.

Budget Schedule

2022 Due Dates

Jan	Annual Planning/Budget Retreat
Jan	Directors submit supplemental budget requests.
Feb	City Manager/Finance Director meet one-on-one with Directors
Feb	Executive Staff review of Draft Department Budgets
Mar	Committee Review of Draft Department Budgets
Mar	CM/FD compile department budgets into Full Draft Budget
Mar	Full Draft Budget Review Committee Meetings
Apr 12	City Council Work Session on FY 2023 Budget
May 10	Tentative Budget Proposed to City Council
May 24	Public Hearing on FY 2022 Tentative Budget
Jun 21	Public Hearing to Amend FY2021-2 Budget
	Adopt FY 2021 Budget Amendments
	Adopt Certified Property Tax Rate
	Adopt FY 2023 Final Budget

Only If Property Tax Rate Adjustment Proposed

Aug	Public Hearing on Proposed Property Tax Rate Adjustment
	Adopt Certified Property Tax Rate
	Adopt FY 2023 Final Budget

Long-term Financial Policies



South Weber City was incorporated on August 1, 1936. The City operates under a six member Council (one of the Council Members acts as mayor with no voting power) form of government and provides the following services as authorized by its charter: public safety, highways and streets, parks, recreation, planning and zoning, water, sewer, storm sewer, and general administrative. The financial statements of South Weber City are prepared in conformity with generally accepted accounting principles (GAAP) as applied to governmental units. The Governmental Accounting Standards Board (GASB) is the accepted standard-setting body for establishing governmental accounting and financial reporting principles. The following is a summary of the more significant policies.

(A) Balanced Budget:

Pursuant to §10-6-109, Utah Code Annotated, South Weber City will adopt a balanced General Fund budget by June 30. South Weber City maintains a balanced budget, which means the revenues and expenditures are equal. Each governmental fund shows budgeted adjustments to the fund balance to accomplish the goal of a balanced budget. The current budget shows a balanced budget for all governmental funds. Budgeted Use of Fund Balance or Budgeted Increase in Fund Balance is used to balance budgets. These accounts are used to acknowledge that the City Council is choosing to either use fund balance or to increase fund balance by approving expenditures that are less than the budgeted revenue.

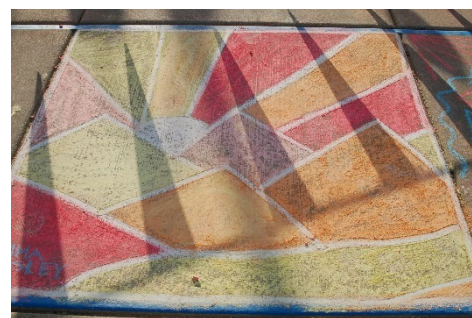
(B) The Reporting Entity:

For financial reporting purposes, the reporting entity includes all funds, agencies, and authorities for which the City holds corporate powers, and all component units for which the City is financially accountable. GASB has established criteria to consider in determining financial accountability. The criteria are: appointment of a majority of the voting members of an organization's governing board and, either (1) the City has the ability to impose its will on the organization or, (2) there is potential for the organization to provide specific financial benefits, or impose specific financial burdens on, the City. The City currently does not have any component units.



(C) Government-Wide and Fund Financial Statements:

The Statement of Net Positions presents the City's assets and liabilities, with the difference reported as net position. Net positions are restricted when constraints placed upon them are either externally imposed or are imposed by constitutional provisions or enabling legislation. The Statement of Activities demonstrates the degree to which the direct expenses of a given function or segment is offset by program revenues. Direct expenses are those that are clearly identifiable within a specific function. Program revenues include: 1) charges to customers or applicants who purchase, use, or directly benefit from goods, services, or privileges provided by a given function; and 2) grants and contributions that are restricted to meeting the operation or capital requirements of a particular function. Taxes and other revenues not meeting the definition of program revenues are reported as general revenues.



Separate financial statements are provided for governmental funds and proprietary funds. Major individual governmental funds and major individual enterprise funds are reported as separate columns in the fund financial statements.

(D) Measurement Focus and Basis of Accounting:

The government-wide financial statements are reported using the economic resources measurement focus and the accrual basis of accounting, as are the proprietary fund financial statements. Revenues are recorded when earned and expenses are recorded when a liability is incurred, regardless of the timing of related cash flows. Property taxes are recognized as revenues in the year for which they are levied. Grants and similar items are recognized as revenue as soon as all eligibility requirements imposed by the provider have been met.

The use of financial resources to acquire capital assets are reported as assets in the

government-wide financial statements, whereas those financial resources are reported as expenditures in the governmental fund financial statements. Proceeds of long-term debt are recorded as a liability in the government-wide financial statements, whereas they are reported as another financing source in the governmental fund financial statements. Amounts paid to reduce long-term debt in the government-wide financial statements are reported as a reduction of the related liability, whereas the amounts paid are reported as expenditures in the governmental fund statements.

Governmental Fund financial statements are reported using the current financial resources measurement focus and the modified accrual basis of accounting. Revenues are recognized as soon as they are both measurable and available. Revenues are considered to be available when they are collectible within the current period or soon enough thereafter (generally within sixty days) to pay liabilities of the current period. Expenditures are generally recorded when a liability is incurred, as under the accrual method of accounting. However, debt service expenditures, as well as expenditures related to compensated absences and claims and judgments are recorded when payment is due.

The accounts of the City are organized on the basis of funds, each of which is considered a separate accounting entity. The operations of each fund are accounted for with a separate set of self-balancing accounts that comprise its assets, deferred outflows, liabilities, deferred inflows, revenues, fund balance, revenues, and expenditures or expenses as appropriate.

The City reports the following major governmental funds:

- General Fund - The General Fund is used to account for all financial resources of the City not accounted for by a separate, specialized fund.
- Recreation Fund - Special Revenue Fund is used to account for the sports and recreation functions of the City.
- Capital Projects Fund- The Capital Projects Fund is used to account for financial resources used for the acquisition or construction of major capital improvements (other than those financed by proprietary funds).

The City reports the following major enterprise funds:

- Water Utility Fund - is used to account for the water services provided.
- Sewer Utility Fund – is used to account for the sewer services provided.
- Garbage Utility Fund – is used to account for the garbage services provided.
- Storm Sewer Utility Fund – is used to account for the storm sewer services provided.

As a general rule the effect of inter-fund activity has been eliminated from the government-wide financial statements. Exceptions to this general rule are payments to the General Fund by the Enterprise Funds for providing administrative, billing, and repair services for such funds. Elimination of these charges would distort the direct costs and program revenues reported for the various functions concerned.

Proprietary funds distinguish operating revenues and expenses from nonoperating items. Operating revenues and expenses generally result from providing services and producing and delivering goods in connection with a



proprietary fund's principal ongoing operation. The principal operating revenues of the enterprise funds are charges to customers of the system. Operating expenses for enterprise funds include the cost of sales and services, administrative expenses, and depreciation on capital assets. All revenues and expenses not meeting this definition are reported as nonoperating revenues and expenses.

(E) Budgets:

Annual budgets are prepared and adopted before June 30 for the fiscal year commencing the following July 1, in accordance with the Uniform Fiscal Procedures Act for Utah Cities. State law requires budgeted revenues to equal budgeted expenditures, and legal control is exercised at the department level. Once a budget has been adopted, it remains in effect until it has been formally revised. Budgets for the general fund, special revenue, and capital projects funds are legally required, prepared and adopted on the modified accrual basis of accounting. Therefore, no reconciliation between budgetary schedules and the GAAP statements is required.



The Budgetary Comparison schedules presented in this section of the report are for the City's general fund and major special revenue funds. Original budgets represent the revenue estimates and spending authority authorized by the City Council prior to July 1. Final budgets represent the original budget amounts plus any amendments made to the budget during the year by the City Council through formal resolution. Final budgets do not include unexpended balances from the prior year because such balances automatically lapse to unreserved fund balance at the end of each year.

Utah State allows for any undesignated fund balances in excess of 5% of total revenue of the general fund to be utilized for budget purposes. The law also allows for the accumulation of a fund balance in the general fund in an amount up to 35% of the total estimated revenue of the general fund. In the event that the fund balance, at the end of the fiscal year, is in excess of that allowed, the City has one year to determine an appropriate use and then the excess must be included as an available resource in the general fund budget.

(F) Taxes:

In connection with budget adoption, an annual tax ordinance establishing the tax rate is adopted before June 30 and the City Recorder is to certify the tax rate to the County Auditor before June 30. Budgets for the general, special revenue, debt service and capital projects funds are adopted on a basis consistent with generally accepted accounting principles (GAAP). The above procedures are authorized by the Utah Code Sections 10-6-109 through 10-6-135.

All property taxes levied by the City are assessed and collected by Davis County. Taxes are attached as an enforceable lien as of January 1, are levied as of October 1, and are due November 30; any delinquent taxes are subject to a penalty. Unless the delinquent taxes and penalties are paid before January 15, a lien is attached to the property, and the amount of taxes and penalties bears interest from January 1 until paid. If after five years, delinquent taxes have not been paid, the County sells the property at a tax sale. Tax collections are remitted to the City from the County on a monthly basis.



Budget Overview

May 10, 2022

To the South Weber City Mayor, City Council, and Citizens:

It is my pleasure to present the Fiscal Year (FY) 2022-2023 Budget. A public hearing was held on May 24, 2022 on the Tentative Budget. The final FY 2022-2023 Budget will be adopted in August 2022. As one of the most important policy documents the City adopts, the budget is published to provide detailed



information to the South Weber City Council, Citizens, the State of Utah, the South Weber City Administration, Business Groups, and any other interested parties or individuals with detailed information regarding the financial condition and plans of the City from July 1, 2022 to June 30, 2023. The City's Budget Officer is tasked with presenting an accurate and complete budget to the City Council for formal approval in an open and public meeting.

The budget is the City's financial plan for the 2022-2023 fiscal year. It is a representation of the financial guidance necessary for the thoughtful and considerate implementation of the goals and plans of the Mayor and City Council. The budget is constructed with a conservative forecast of underestimating revenues and overestimating expenses. All revenues and expenditures are scrutinized and monitored throughout the year by the administrative staff using systematic, aggressive internal financial controls. Safeguards have been implemented to monitor, authorize, and analyze expenditures. These procedures and controls provide staff with the ability to adjust for the impact of unanticipated changes to the economy without causing dramatic variations in service levels.



Budget Summary

Davis County is the smallest county in land area in the state, but the third most populous. Davis County has 11.00% of Utah's population. In February 2020, the unemployment rate was 3.3%. These county statistics and the following table are taken from the Davis County Annual Report – 2021 Assessor's Office.

Total Value—South Weber	2020 Property Values	2021 Property Values	% Change
Overall Total	848,160,172	1,011,047,703	2.16%
Avg. Single Family	373,547	427,523	14.45%
Avg. Condo/Attached PUD	209,819	260,046	23.94%
Total Assessed Commercial	24,293,102	25,185,869	3.67%

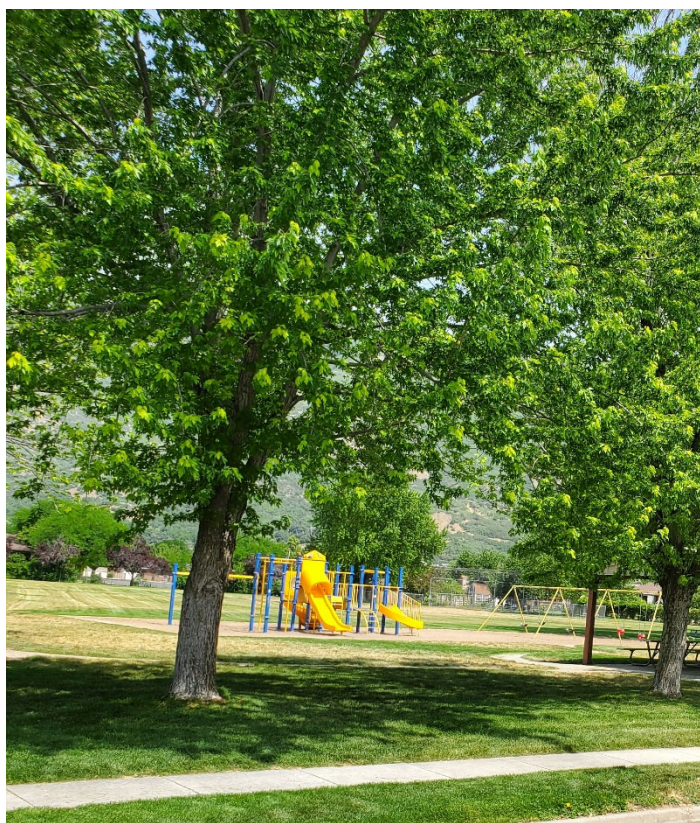
Throughout the last few years, City staff and elected officials have worked alongside with citizens, non-profit organizations, and enterprise groups to take a comprehensive look at the overall health of South Weber City; specifically, in terms of economic growth, infrastructural and facility repair, and improved fiscal management. Collectively, South Weber City officials continue to create long range plans which will, over time, promote an improved environment of health, safety, and wellness for its residents and guests. Modifications in the budget this fiscal year support the goals the City has set in support of these plans. In FY 2022 - 2023, total budgeted General Fund Revenue equals \$3,860,000. The major summary of fund expenditures, including contributions and transfers, are: \$3,860,000 General Fund, \$5,929,000 combined enterprise funds (Water, Sewer, Sanitation, and Storm Drain), \$516,000 Capital Projects, \$812,000 Transportation Utility, and \$387,000 Recreation fund.



The City Administration is continually looking for improved methods of operation and procedure in its approach to budgeting in order to efficiently control the expenditure of city funds. Fund balance allocations and reserves will be made as necessary to maintain a fiscally sound budget and financial policies.

Budget Priorities and Services

The FY 2022-2023 Budget is prepared to meet the priorities of South Weber City. In January of 2018, 2019, 2020, and 2021, the City Council held several meetings to discuss the economic, infrastructural, and financial future of the City. In those meetings, several priorities were identified and converted into goals to be achieved



in the FY 2022 – 2023 Budget. South Weber City is committed to providing ongoing services to its residents through its utility enterprise funds, parks and recreation facilities and programs, and contracts with the Davis County Sheriff's Office for Law Enforcement, Dispatch, and Animal Services.

South Weber City maintains its own culinary water system (supplied with water from a City well and from the Weber Basin Water Conservancy District), sanitary sewer collection system (with treatment provided by the Central Weber Sewer Improvement District), storm drain system (supported by membership in the Davis County Storm Water Coalition), street repair system (supported by Class C Road Funds, and by private contractors chosen by competitive bidding who complete major streets projects), Fire Department and Emergency Management services (enhanced by Mutual Aid Agreements with other

jurisdictions), Justice Court (provides adjudication services and sense of community identity), and support of the traditional and longtime community celebration of Country Fair Days (which identifies the values and culture of the South Weber City residents).

To reduce costs, South Weber City also contracts for the following services: information technology services; inter-local agreements with Davis County for law enforcement, dispatch, animal control, elections; and Wasatch Integrated Waste Management District and Robinson Waste for solid waste (garbage removal) services in conjunction with City-owned garbage cans and City billing services.

South Weber City also provides other municipal services, such as notary public services, water leak detection, recreation, and parks.

Population Growth and Commercial Development

South Weber City continues to experience persistent population growth. Construction in South Weber City within the last 3 years has noticeably increased. Investments have been and continue to be made to the City's infrastructural systems to provide for additional new office buildings, retail space, and residential housing. New residential dwellings continue to be constructed and the arrival of new commercial business is surfacing. In the coming years, the City will begin to see property taxes coming in from the new residential housing growth.

The City's General Plan and the current zoning map envisions and provides for additional residential development; however, the City needs additional commercial development zones that appeal to profitable business groups. Economic development continues to be a main priority and an essential need for the City's viability as it has potential to alleviate the service cost pressures of



streets, police, fire, and parks through sales tax revenue. At present, South Weber City cannot sustain the same level of service it currently has under the existing financial business model. Currently, the City has only one consistent source of revenue - property tax.

Budget Guidelines and Principles

The Mayor and City Council have directed staff to prepare all budgets and funds under the following guidelines and principles:

- **City Council** – Staff executes the policies and directions of the Mayor and City Council.
- **Fiscal Responsibility** – Enterprise funds should be self-sustaining and “one-time” revenues are to be used for “one-time” expenses; on-going revenue sources should be used to pay for on-going expenses. Evaluate the health of the City's revenue sources on a regular basis. The General Fund should be supported by diverse revenue sources (property, franchise, and sales taxes) that do not cause instability.
- **Asset Management** – Develop capital facility plans for utilities, facilities, and other capital infrastructure that are supported by strategic financial plans. Capital facilities plans should be developed with impact fee facilities plans, and impact fee analysis every six years.
- **Compensation** – Establish and follow a market-driven compensation plan that will entice and retain high-quality employees.

- Reserves – Manage General Fund reserves in conformity with state law and establish enterprise fund reserves to sustain emergencies and infrastructure replacement.
- Planning – Plan with the big picture in mind. Seek feedback and input from the community.



Financial Highlights

General-

- The assets of South Weber City exceeded its liabilities at the end of the 2021 fiscal year by \$41,307,588 (net position). Of this amount, \$10,392,798 (unrestricted position) is available to meet ongoing obligations of citizens and creditors. Net position increased by \$4,217,588 from the prior year.
- The City's Governmental activities reported a combined ending fund balance of \$20,135,670. Of the combined total fund balance, \$3,547,139 is available for spending at the discretion of the City (unrestricted and undesignated fund balance).
- The unassigned fund balance of the general fund on June 30, 2021, totaled \$580,788 and is 18.3% of the general fund total revenue for the year.
- Total principal balance of debt for South Weber City decreased approximately \$208,555 due to principal payments on bonds.
- Several developments were completed during the year, and the related infrastructure was contributed to the City. Capital assets were added in the Water, Sewer, and Storm Drain Funds, as well as the general fixed assets of the City.

Expenditures-

Personnel:

South Weber City has experienced several significant challenges concerning its workforce. Many of these challenges are attributed to the large amount of growth that has taken place and the recent surges that have

occurred in the labor market. The labor market has improved significantly over the last several years making the City's competition to be against both the private and public sectors.

In addition, employment in the public-sector labor market has been dominated by neighboring area communities, both large and small. The attrition of these economic and market transformations has impeded the City's ability to be productive and cost effective.



As a result, the Mayor and Council have recognized that the ultimate benefit to South Weber City residents is the incalculable cost savings of retaining high quality employees. In an effort to address these concerns, several goals and objectives were identified:

1. Create a competitive compensation plan.
2. Establish control groups whereby data can be obtained (benchmarks)¹;
3. Collect the necessary market data from the benchmarks; and
4. Remain fiscally responsible, yet have the ability to attract, retain, and motivate high performing employees.

The City Council also adopted, in its policy, that range adjustments are to be conducted every two years to prevent the City from having to address this matter in the years to come. This was last completed and reviewed in April 2022. Compensation is contingent on performance and the availability of funds. A significant portion of the City's workforce is non-benefited (seasonal and part-time).

This last year the city formalized its employee certification compensation program. This program establishes, recognizes, and compensates for specific job-related certifications earned by an employee.

South Weber Budget

Operations:

Public Safety is a major component of the General Fund. Over the prior years, the Emergency Medical Service level of South Weber has been significantly raised to the benefit of our citizens. Medical response time has decreased from an average of 10 minutes to only 4 minutes. Staffing has changed from 11 volunteers to 35 part-time professionals, most of whom work full-time at other EMS agencies. This reduced response time and increased level of training is critical when seconds count in a medical emergency. Our EMS service level was also increased in 2018 with the addition of our own ambulance service. In 2021 the city began its own Paramedic service. This needed increase in EMS service level has not come without a cost. Funding has been accomplished by a major property tax increase in 2019 and 2021.

The Planning and Zoning department has been renamed Community Services to reflect the functions and duties of the department more accurately. In addition to the name change, the position of Community Services Director has been created, code enforcement has been moved from the Administrative department, and the contracted Planner position has been eliminated. This was done in the 2021 budget.

Capital:

A significant component of the Mayor and Council's "Priorities and Fundamental Focus" is the maintenance of the City's infrastructure, particularly the roads. The funding of Capital Projects is a fundamental financial tool that appropriates funds to maintain the assets of the City. As noted in the Operations section above, this

funding has diminished significantly as resources have shifted to maintain the operational service levels of the City. In June of 2017, the Mayor and Council adopted a Transportation Utility Fee (T.U.F.) and created the Transportation Utility Fund, for the preservation, maintenance, and operations of the South Weber City owned public roads. In doing this, restricted funds for roads have been implemented without a property tax increase. The Transportation Utility Fee funds are restricted monies to be used for the sole purpose of the preservation, maintenance, and operations of South Weber City owned public roads. TUF fees cannot be used



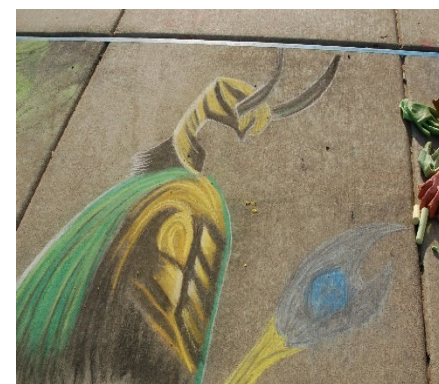
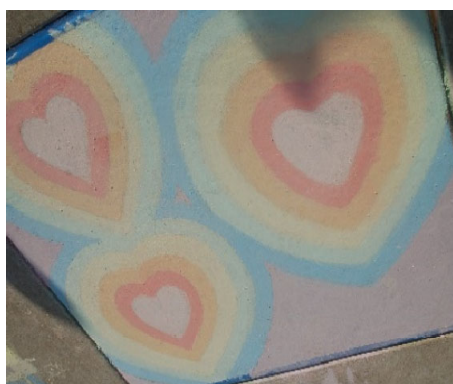
for the construction of new roads. Funds originating from the Transportation Utility Fee shall be expended in accordance with the priorities indicated in the South Weber City Streets Capital Facilities Plan, the current remaining service life of roads, and/or as directed by the South Weber City Council. Other sources of revenue in this fund are Proposition 1 Local Option Sales [Gas] Tax and a portion of Class 'C' Road funds. These last two revenues are collected and allocated by the State of Utah.

South Bench Drive Phase 1 was started in 2019 and was completed in the 2020 budget. The original street name has been changed to Old Fort Road. Future Impact Fees will eventually reimburse the Capital Projects fund for the Class "C" portion of the project

The rehabilitation of the Westside Water tank has been studied for the last three years. Various options including total replacement or major rehabilitation have been carefully studied. The rehabilitation of the tank was started in 2018 and completed in the 2020 budget year.



Equipment and vehicles are an integral part of the day-to-day operations of the city. They are also a major operational expense, especially as they age, and maintenance costs increase. The City Council has adopted a new policy which establishes a long-term funding source for this expense and addresses the several challenges all cities face with these capital expenditures. This policy is designed to create a consistent, year to year budget program with level payments that can be anticipated and planned for. A Fleet Management Internal Service Fund for the replacement of vehicles and equipment will be established. This fund will purchase/lease all vehicles and major equipment according to specific, predetermined schedules. The fund will be supported by yearly transfers from the various city departments paying their relative portion of the vehicle/equipment costs. The cash assets of the fund will be used annually for municipal leases and accumulate until there is enough to acquire the larger, longer-term replacement vehicles/equipment. You will see this new expenditure in most departments under "Vehicle Replacement Program".



The FY 2020-21 Budget's largest capital expenditure was a joint project between the Water Department and the U.S. Department of Labor on the East Bench Transmission Line Project. This joint project is financially beneficial to South Weber City as well as to the Job Corps facility to the east of the City. The Cost was \$2,415,000 of which \$1,865,000 is being paid by the federal government. A second joint project was the Cottonwood Drive water line upgrade. This project involved several parties for a cost of \$ 700,000. Other parties paid \$435,000 of that cost, resulting in a cost savings to both South Weber City and Uintah City.

Revenue Highlights – Taxes and Fees

Taxes

The Davis County Auditor's 2021 Certified Tax Rate for South Weber City is .001522, a increase of approximately 8.48% from the previous year. This 2020 rate was adopted by the City Council on August 24, 2021. The Certified Tax Rate is based on the previous years assessed valuations across the entire city and the amount of property tax received. The Certified Tax Rate will go up or down as needed to arrive at the same amount of tax dollars the City received the prior year. The only way the City can get more property taxes than allowed by the Certified Tax Rate is to hold a Truth in Taxation hearing and make a case for a tax increase to the public. The Davis County Auditors 2022 anticipated certified tax rate revenue for South Weber City is \$1,000,000.



Two years ago, the City Council approved a major tax rate increase. In 2021 the City Council voted to again hold a Truth-in-Taxation hearing. The purpose of that year's hearing was to increase the rate equal to the paramedic rate previously assessed by the county. In 2023 Davis County will cease to provide paramedic services to the county. South Weber prepared to take over providing paramedic services to its citizens through our Fire Department beginning October 2021. The county is dropping its special paramedic levy and South Weber increased its rate an equal amount. This will mean a net zero increase to our citizens. South Weber used this increase to pay Davis County for paramedic service until 2022. South Weber's proposed Certified Tax Rate is 0.001522 with a certified tax rate revenue of \$933,000.



Fees:

Central Weber Sewer Improvement District (CWSID) approved a 10% rate increase for sewer treatment fees charged to the City in the upcoming year. This year's budget includes no increase in this pass-thru fee.

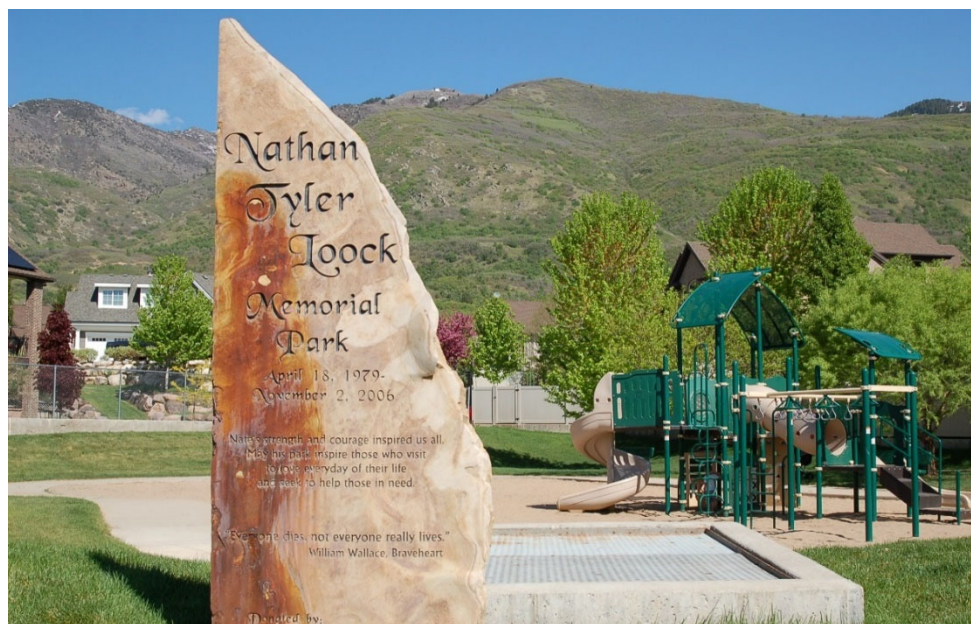
South Weber Budget



Sanitation rates were last increased on July 1, 2019 to reflect a \$0.25/ can increase from Wasatch Integrated Waste Management. In January of 2020, our contracted garbage hauler, Robinson Waste Increased their rate by \$0.25/ can and due to COVID-19 the City Council did not pass through this increase. On July 1, 2022 Robinson Waste will increase their rate an additional \$0.18 per can. This \$0.18 increase by Robinson Waste will be passed onto our customers in the 2022-2023 budget.

The culinary water rates were restructured and increased in 2018 to meet the infrastructure needs of the water system through 2025. The breakdown of these infrastructure expenditures is found in the Culinary Water Capital Facilities Plan. A public hearing on the new rates was held on May 15, 2018 and the new rates were adopted on May 22, 2018.

The Impact Fees for culinary water, sewer, parks, and recreation have been adopted. Storm drain impact fees were studied in 2021 and adopted effective January 1, 2022. Storm Drain rates were also studied this last year and new rates were adopted May 10, 2022 and are effective with this budget. Now that the General plan has been updated, all Capital Facility Plans and Impact Fees will be reviewed this coming year and adjusted as necessary to be in line with the new General Plan.



In the General Fund and Capital Projects Fund, sales tax revenues are anticipated to be \$1,300,000. The City Council has established a policy that \$200,000 of sales tax goes to the Capital Project Fund with a cap of 20%. The rest of the sales tax revenue is in the General Fund.

Building fee revenue has increased in the past three years. The Consolidated Fee Schedule is continually updated to meet the costs of current operations and can be found at the end of this document.

**Summary**

The attached budget is a balanced budget. South Weber City encourages, and is hopeful to have, public involvement in the budget process as it is a great opportunity for residents, business owners, and other stakeholders to participate in the City's governmental operations. Like years past, the City will hold an open and public meeting where the tentative budget will be presented and adopted (May 10, 2022). City administration has afforded two weeks from that date for consideration of public comment, suggestions, and review. A public hearing on the South Weber City Fiscal Year 2022 – 2023 Tentative Budget will be held on May 24, 2022 and adoption of the final budget by the City Council in an open and public meeting will be held in August 2022.

As a result of thorough, firm, and responsible financial practices and due to the efforts of the City's dedicated staff in many long-range planning efforts, I believe South Weber City is poised for a very prosperous future.

Respectfully Submitted,

David Larson

City Manager

South Weber City

Assisted by

Mark McRae

Finance Director

South Weber City

Budget Highlights

Governmental Type Funds

Revenues

- Property Tax (10-31-100). For 2022-2023, the City is proposing a property tax increase and to hold a truth-in-taxation hearing as we include the paramedic tax levy previously assessed by Davis County.
- Sales and Use Tax (10-31-300). Sales tax has increased from the previous year. The City budgets 80% of anticipated sales tax in this account and 20% in account 45-31-300 for Capital Projects.
- Class "C" Road Fund Allotment (10-33-560). The allotment totals over \$300,000 per year. Only a portion is budgeted to be applied to General Fund Street department expenses.
- Subdivision Review Fee (10-34-105). Developer payments for third party reviews and inspections are recorded here. Account 10-58-319 is the corresponding expense account.
- Developer Payments for Improvements (10-34-270). Payments by developers for streetlights, street signs, and mailboxes are included in this account.
- Transfer from Impact Fees (10-39-800). Public Safety Impact fees are transferred to the General Fund to be applied to the bond payments on the fire station.
- Fund Balance. The law was changed in the 2021 legislative session raising the maximum from 25% to 35%. It is the city's intention to eventually move to the full 35%. This is the maximum of the General Fund's total revenues for a year that can be kept in the fund balance. This fund balance is for operating cash until property tax is received around November and for emergencies. The current balance at June 30, 2021 was \$580,788.
- Transfer from Impact Fees (45-39-800). \$166,000 from Park Impact fees is budgeted to be transferred to Capital Projects for reimbursement of 2020-2021 Canyon Meadows West projects. \$121,000 in new Road Impact Fees will be transferred to the Capital Projects Fund as reimbursement on South Bench Drive Phase 1.
- Transfer from Recreation Impact Fees (20-39-800). Recreation Impact fees are transferred each year to the Recreation Fund to be applied to the principal and interest on the Family Activity Center's Bond.
- Developer Payments for Improvements (56-34-270). Developers pay the City to have a seal coat applied to the asphalt streets in their development a year after the development is completed. The work is included as part of the projects of the Transportation Utility Fund.





Expenditures

- Salaries and Benefits. A compensation study was done in 2022 and employee wages have been adjusted accordingly. A change was made to discontinue the allocation of an employee's wages and benefits. Each employee's total wages and benefits are shown in their home department. The 2023 budget includes \$20,790 for merit increases which will be allocated according to personnel evaluations. This equates to an average 1.1% increase.

- Judicial – Travel and Training (10-42-230). Travel and training costs for the judge are split between four cities.
- Administrative – Elections (10-43-316). Elections are held every two years. This is not an election year, and this account has a budget of \$0.00 for 2023.
- Administrative - Transfer to Recreation Fund (10-43-841). The Recreation fund sponsors many activities that are free to the public. A transfer is made yearly to cover the non-self-supported programs as needed. The transfer is in this department.
- Administrative - Transfer to Cap. Projects Fund (10-43-910). This expenditure was replaced by the 80/20 split of Sales Tax revenue.
- Community Services – Salaries (10-58-110). This account reflects the largest change due to the reallocation of salaries for the Public Works Director, and the salary of the Community Services Director position.
- Community Services – Part Time Salaries (10-58-120). This account reflects the largest change due to the reallocation of Code Enforcement officer from the Admin. Dept.
- Community Services – GIS/Mapping (10-58-325). This account was new to this department two year ago, as well as several other departments. The expense was previously included in the Engineering account (10-58-312).
- Streets – Equip. Supplies & Maint. (10-60-250). Maintenance costs have decreased as older equipment and vehicles have been replaced in the last couple of years.
- Streets – Mailboxes and Street Signs (10-60-415). A new account was created last year as city policy changed. Mailboxes and street signs are no longer installed by the developers but are purchased and installed by the City. Developers pay the City to do the work and the revenue is recorded in account 10-34-270.
- Streets – Streetlights (10-60-426). The new streetlight policy was adopted to reduce costs and provide uniformity to the city lights. Like the previous new account, developers pay for this expense.
- Parks – Salaries (10-70-110). The Parks department budget shows the addition of one full-time employee last year. As the City has added new parks, and/or new retention basins that are

maintained as parks, the need for additional personnel has become necessary to keep the same level of service to the citizens.

- Capital Projects (Fund 45).

○ Admin – City Hall remodel	\$ 50,000
○ Admin – City Hall generator	\$ 35,000
○ Fire – Vehicle replacement program	\$ 115,000
○ Community Services – Vehicle replacement program	\$ 7,000
○ Streets – Public Works facility design and fencing	\$?
○ Streets – Vehicle replacement program	\$ 47,000
○ Parks – Cherry Farms Ballfield (re-budgeted)	\$?
○ Parks – Mower lease (2)	\$ 36,000
○ Parks – Vehicle replacement program	\$ 25,000

- TUF – Street Projects (56-76-730).

○ City Projects	\$ 642,000
○ New Subdivision chip seal (paid by developers)	\$ 10,000
○ CFP/IFFP/IFA	\$ 25,000
○ Street scan software	\$ 17,000

2022 Streets Mainenance Projects (TBD)

Business Type Funds

Revenues

- Sewer Sales (52-37-300). Beginning on January 1, 2021, the Sewer department received a 3.42% increase in charges from the Central Weber Sewer Improvement District for treatment of sewage. This increase has been around 2% the last couple of years and is expected to be about the same in 2023. This increase hits the city midyear. An increase in the pass-thru fee is not budgeted for this year.



- Sewer Impact Fees and Sewer fund Balance (52-38-910 and 58-39-500). Various projects from the Capital Facilities Plan are budgeted at \$1,000,000. Impact Fees and fund balance will be used to fund the project. Impact Fees collected in future years will reimburse the fund balance portion of the expenditure.
- Sanitation Fees (53-37-700). Robinson Waste is the service provider who picks up the garbage containers from our citizens each week. They are also increasing their rates an additional \$0.18 per can on July 1, 2021 which will be passed thru with this budget.
- Storm Drain Revenue (54-37-450). The Capital Facility Plan (CFP), Impact Fee Facility Plan (IFFP), and Impact Fee Analysis (IFA) studies have been completed. A rate study for storm drain charges followed. A significant increase in these charges was to be proposed to the council and adopted on May 10, 2022.

Expenditures

- Salaries (nn-40-110). Salaries in the Enterprise funds also reflect the allocation changes and compensation study adjustments.
- Water Purchases (51-40-491). The charges from Weber Basin increase each year as new homes are built and added to the system resulting in more water being used.
- Water Meter Replacement (51-40-495). Each year the Water department normally replaces 200 meters on a ten-year rotation. This year the department will replace 400.
- Water Improvements other than Buildings (51-40-730).
 - Upsizing 8" pipes (Capital Facilities Plan Item 2), \$1,000,000
 - CFP/IFFP/IFA. \$ 50,000
- Water – Vehicles (51-40-750).
 - Vehicle replacement program \$ 58,000
- Sewer – Projects (52-40-390).
 - CFP Projects \$1,000,000
 - CFP/IFFP/IFA \$ 50,000
 - Lift station generator \$ 45,000
 - Confined space entry \$ 20,000
 - Vehicle replacement program \$ 6,000

- Sanitation Fee Charges (53-40-492). Reflects Robinson Waste collection charge increase of \$0.18 per can increase effective July 1, 2022.
- Storm Drain –Expenditures reflect the changes due to federal regulation compliance, CIP study and rate study..

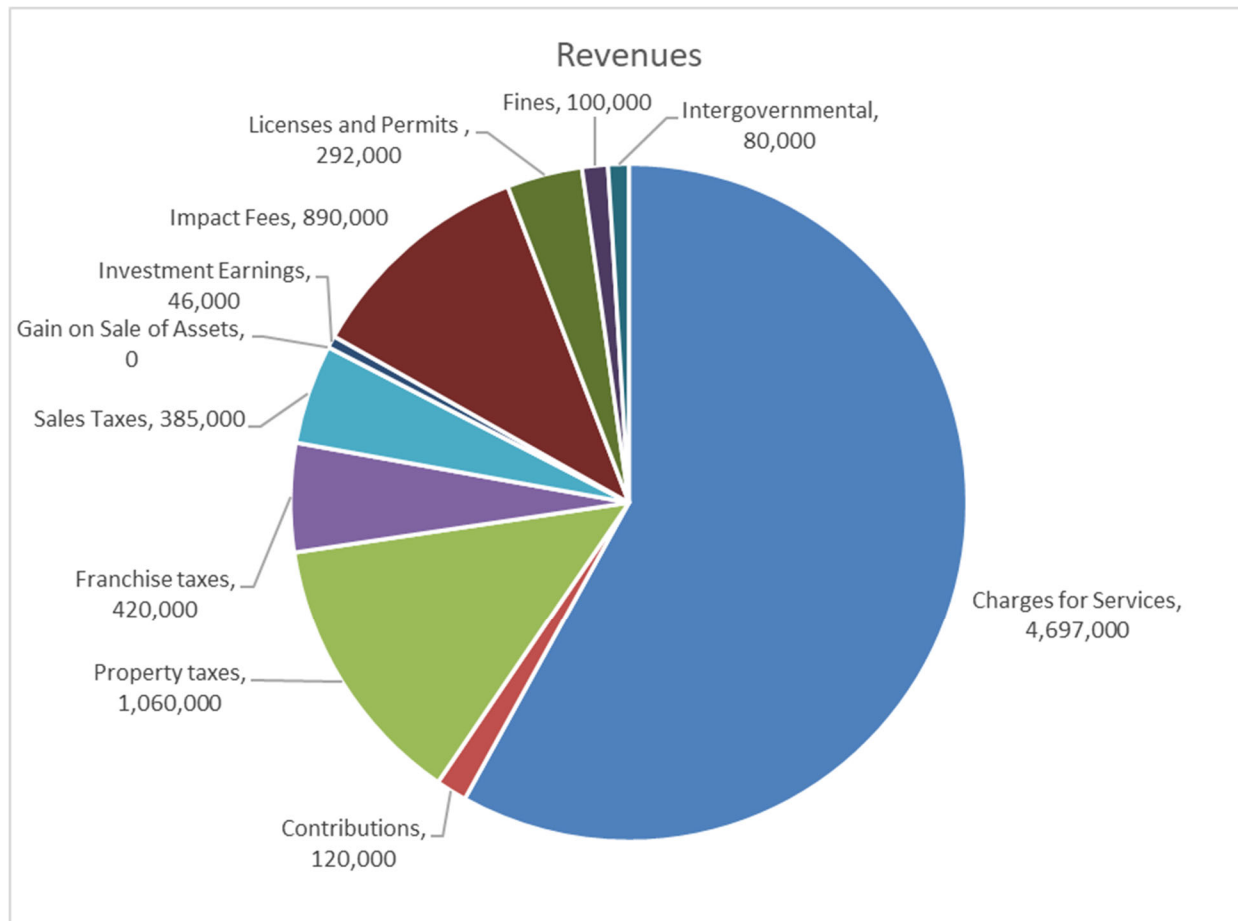


Revenue Summary

Revenues represent the various sources of income for an organization. The total revenues for South Weber combined funds for the Fiscal Year 2023 amounts to about 13 million, a decrease from the 2022 Fiscal Year. The decrease occurred primarily because of a decrease in one-time capital projects revenue from outside agencies and the end of CARES Act funding. Stability of the City depends on the city ability to ensure revenue for the next coming year. Operating revenues remain stable.

The tables below show the increase or decrease in revenues by fund. Revenue comes from a variety of sources. Each source will be discussed in the individual fund sections.

South Weber Budget



Total Revenues Summary					
Revenue sources	2020 Actual	2021 Actual	2022 Estimated	2023 Budget	%
Charges for Services	3,886,057	4,203,002	4,246,735	4,697,000	41.32%
Contributions	1,868,997	3,321,267	10,000	120,000	1.06%
Property taxes	801,314	833,253	1,553,159	1,060,000	9.32%
Franchise taxes	422,985	417,268	418,289	420,000	3.69%
Sales Taxes	1,211,492	1,463,432	1,475,088	385,000	3.39%
Gain on Sale of Assets	18,050	-4,928	80,000	0	0.00%
Investment Earnings	187,684	54,312	44,393	46,000	0.40%
Impact Fees	1,038,647	810,407	918,887	890,000	7.83%
Licenses and Permits	471,437	325,653	302,919	292,000	2.57%
Fines	90,215	100,504	106,596	100,000	0.88%
Intergovernmental	878,743	556,626	188,390	80,000	0.70%
Transfers & Fund Balance				3,278,000	28.84%
Total	10875621.8	12080796.28	9344454.25	11368000	100.00%

FUND REVENUE SUMMARY

Fund	Fund Title	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
10	General	2,788,837	3,359,936	3,931,976	3,364,000	3,860,000
20	Recreation	320,142	337,059	303,626	310,000	387,000
45	Capital Projects	2,230,325	89,487	2,861,723	1,920,000	516,000
51	Water	2,024,873	1,795,454	1,738,096	3,237,000	2,678,000
52	Sewer	1,453,910	1,108,995	1,056,760	1,975,000	2,083,000
53	Sanitation	477,854	502,501	520,343	524,000	527,000
54	Storm Drain	1,090,942	673,300	297,797	309,000	641,000
56	Transportation Utility	337,164	806,766	782,796	892,000	812,000
21	Sewer Impact	339,390	201,269	382,269	400,000	400,000
22	Storm Drain Impact	34,931	25,313	50,363	40,000	50,000
23	Park Impact	245,331	62,098	884,098	943,000	121,000
24	Road Impact	203,606	159,978	210,178	140,000	140,000
26	Water Impact	142,513	50,674	169,974	170,000	125,000
27	Recreation Impact	94,414	24,213	48,240	66,000	48,000
29	Public Safety Impact	14,996	10,494	9,705	12,000	12,000
60	Fleet Management	0	0	348,000	348,000	304,000
		11,799,228	9,207,535	13,595,943	14,650,000	12,704,000

Revenue Forecasting:

The City has endorsed the recommended practices issued by the National Advisory Council on State and Local Budgeting addressing budgeting and financial planning, specifically the six revenue forecasting practices.

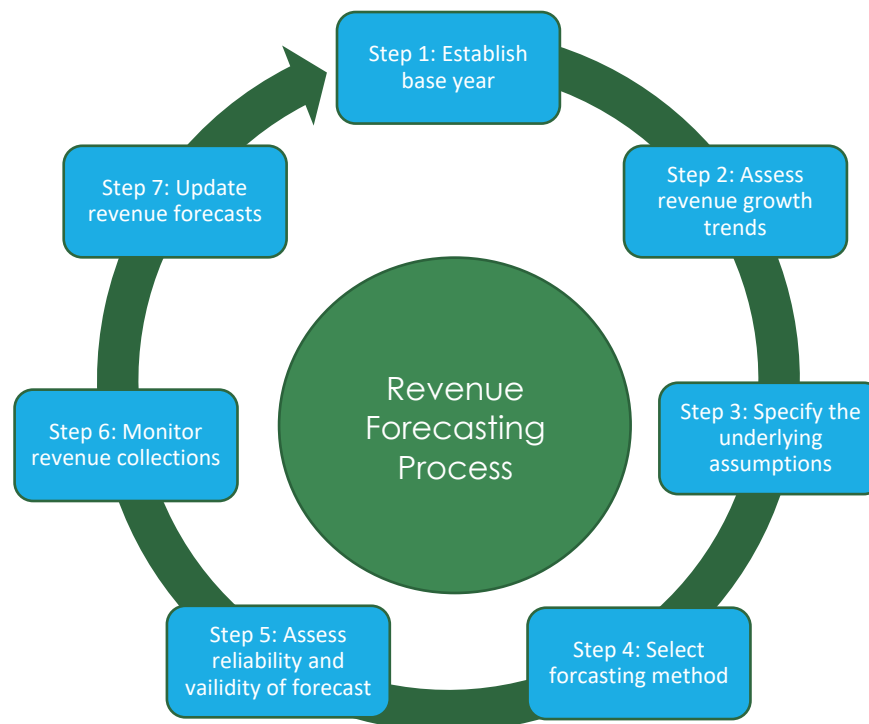
1. Multi-year revenue/resource projections
2. Maintaining an in-depth understanding of revenues/resources
3. Assessing the effects of potential changes to revenue source rates and bases
4. Periodically estimating the impact and potential foregone revenue/resources as a result of policies that exempt from payment, provide discounts and credits, or otherwise favor a particular category of taxpayers or service users.
5. Developing a process for achieving consensus on the forecast of revenues used to estimate available resources for a budget.
6. Preparing and maintaining a revenue manual that documents revenue sources and factors relevant to present and projected future levels of those revenues

Methodology:

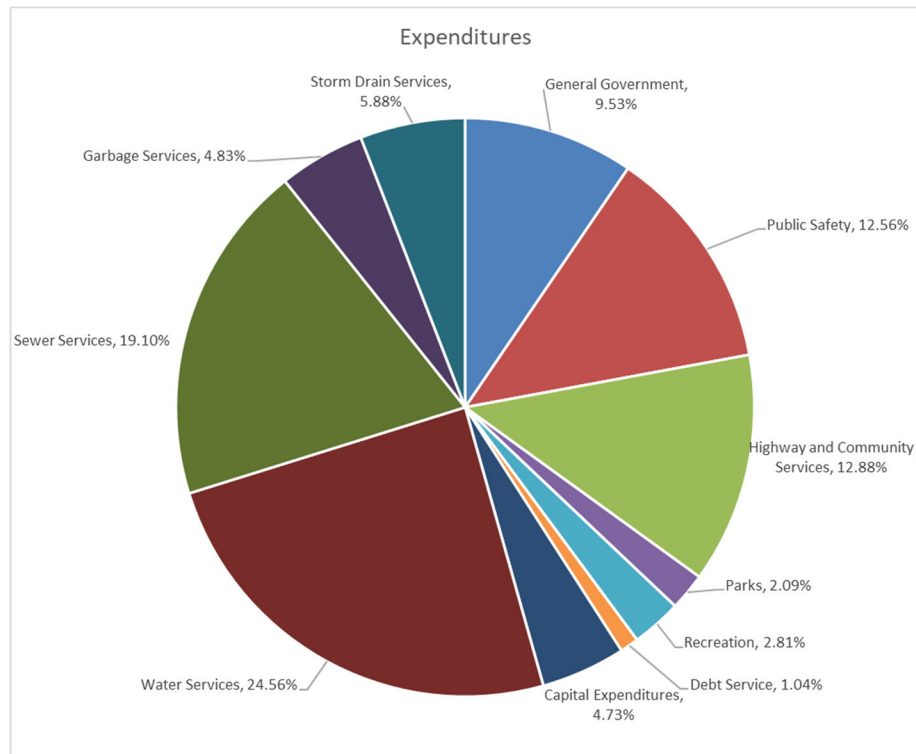
When the City begins the budget preparation process, many factors are considered when determining future revenues. The City uses qualitative and quantitative approaches to forecasting revenues that include but are not limited to:

- Trend Analysis
- Economic Reviews and Publications
- Departmental Surveys
- National, State, and Local Policy Changes
- Comparing Revenue Collections against Projections
- Consensus, Expert, and Judgmental Forecasting

Both forecasting methods include global, national, state, and local analysis that may affect revenues and financial planning. Using data from previous years and other data noted above, the City projects the revenues. The additional revenue above the previous year is then apportioned to the various departmental requests depending on their importance, priority, and severity.



Expenditures illustrate where the City resources are going. These resources come in from revenues. The total operating expenditures for South Weber combined funds for the Fiscal year 2023 amounts to 13 million, an slight decrease from the estimated 2022 projection of 14.6 million. This decrease is largely due to the completion of a one-time Water Fund capital project. Below is a graph that explains the different areas that use revenues and tables describing the changes over the years and projections for the upcoming year.



Total Expenditures Summary					
Expense	2020 Actual	2021 Actual	2022 Estimated	2023 Budget	%
General Government	818,619	993,905	918,686	1,039,000	9.53%
Public Safety	818,782	903,649	1,058,748	1,370,000	12.56%
Highway and Comm. Svs.	898,288	875,345	1,038,346	1,405,000	12.88%
Parks	247,741	302,976	317,756	228,000	2.09%
Recreation	172,507	194,303	228,537	306,000	2.81%
Debt Service	112,453	113,923	112,944	113,000	1.04%
Capital Expenditures	1,908,682	1,199,245	1,910,939	516,000	4.73%
Water Services	1,182,952	3,662,395	1,517,793	2,678,000	24.56%
Sewer Services	739,503	837,516	865,338	2,083,000	19.10%
Garbage Services	461,690	417,448	527,849	527,000	4.83%
Storm Drain Services	276,118	317,551	338,257	641,000	5.88%
Total	7,637,334	9,818,257	8,835,192	10,906,000	100.00%

FUND EXPENSE SUMMARY

Fund	Fund Title	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
10	General	2,930,718	3,261,447	3,123,806	1,305,000	3,860,000
20	Recreation	253,473	276,328	307,705	326,300	387,000
45	Capital Projects	1,908,682	1,199,245	1,910,939	1,920,000	516,000
51	Water	1,182,952	3,662,395	1,457,870	3,237,000	2,678,000
52	Sewer	739,503	837,516	864,165	1,975,000	2,083,000
53	Sanitation	461,690	417,395	527,005	524,000	527,000
54	Storm Drain	317,551	67,972	337,972	309,000	641,000
56	Transportation Utility	629,547	549,077	779,571	892,000	812,000
21	Sewer Impact	170,872	41,497	0	237,500	400,000
22	Storm Drain Impact	70,329	55,726	50,000	40,000	50,000
23	Park Impact	0	32,954	884,000	943,000	121,000
24	Road Impact	518,058	234,338	140,000	140,000	140,000
26	Water Impact	391,745	56,432	95,000	170,000	125,000
27	Recreation Impact	93,818	59,869	48,000	66,000	48,000
29	Public Safety Impact	14,996	10,494	9,700	12,000	12,000
60	Fleet Management	0	0	648,000	648,000	304,000
		9,683,933	10,762,682	11,183,732	12,744,800	12,704,000

Expenditure Project Methodology:

Expenditure estimates are developed after revenue projections have been completed. Each department is asked to report its expenditure requests for the upcoming fiscal year. These requests include all financial needs for each respective department, except personnel costs, which are calculated by the Finance Department. The Budget Committee, which consists of the Finance Department, Mayor, and City Administrator, then meets with each Fund Manager to verify if requests fall within projected revenues or if some items need to be eliminated for the particular fiscal year. Following these meetings, a draft budget is completed and distributed to the City Council for changes and approval.

The City recognizes there will be uncertainty and changes throughout the fiscal year that may alter the projected expenditures. However, because the City forecasts and budgets conservatively, the budget should remain balanced, regardless of unexpected changes.



State Debt Limits:

The State of Utah has set debt limits on municipal general obligation debt. The limit is four percent (4%) for governmental funds and an additional four percent (4%) may be issued for water, sewer, and electricity. General obligation bonds are bonds that are secured by general property taxes. Currently, the structure of property taxes in the South Weber area does not provide for the City to receive sufficient revenue to maintain debt in any significant amount. South Weber City has never issued general obligation bonds. All of the city's bonds are revenue bonds which use a specific pledged revenue source, for which there is no imposed limit. The City, however, is limited by bond covenants that require the associated revenue to be at least double the annual debt service including principal and interest. An analysis of debt coverage is completed later in this section.

Bond Ratings:

South Weber City has gone through the rating process for both governmental funds and the Water Fund. The governmental funds are un-rated because there have been no new bonds issued. The Water Fund was rated A+, which is very strong for a municipal government—especially one facing very rapid growth that puts great strain on resources. The Water Fund also includes a positive outlook increased from stable. The positive outlook means that the rating will increase if current improvement continues.



S&P Global Ratings



S&P Rating Scale:

AAA	<i>Extremely strong capacity to meet financial commitments</i>
AA	<i>Very strong capacity to meet financial commitments</i>
A	<i>Strong capacity to meet financial commitments, but somewhat susceptible to adverse economic conditions and changes in circumstances</i>
BBB	<i>Adequate capacity to meet financial commitments but more subject to adverse economic conditions.</i>
BB	<i>Less vulnerable in the near-term but faces major ongoing uncertainties to adverse business</i>
CCC	<i>Currently vulnerable and dependent on favorable business, financial and economic conditions</i>
CC	<i>Currently vulnerable and dependent on favorable business, financial and economic conditions</i>
C	<i>Currently highly vulnerable to non- payment, and ultimate recovery is expected to be lower than that of higher rates obligations</i>

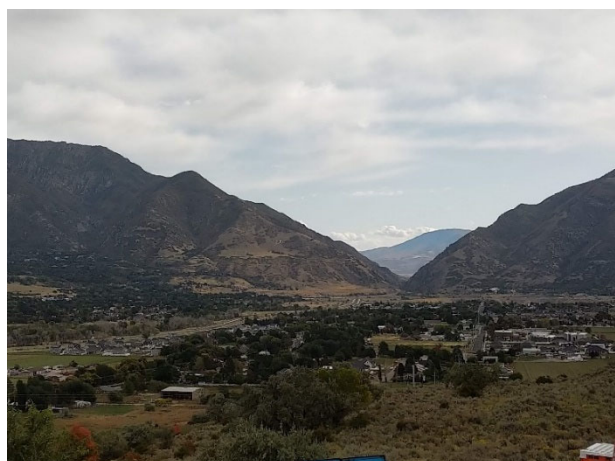
Long-Term Debt:

South Weber Budget

The following is summary of long-term debt transactions of the City for the year ended June 30, 2021:

Governmental Activities

B	Beginning Balance	Additions	Reductions	Ending Balance	Due within One Year
Sales Tax Revenue Bond, Series 2012	\$ 680,000	\$ -	\$ (91,000)	\$ 589,000	\$ 95,000
Total governmental bonds payable	680,000			589,000	95,000
Compensated absences	52,662	42,157	(31,597)	63,722	37,933
Net pension liability	124,544	-	(104,750)	19,794	-
Total Governmental long-term liabilities	\$ 857,206	\$ 42,157	\$ (104,750)	\$ 672,016	\$ 132,933



The direct placement revenue bonds contain a significant default provision wherein if the City does not pay the scheduled principal and interest payments the bondholder may require the City to increase rates sufficient to comply with the bond requirements or may petition the court to appoint a receiver. In addition, the bonds have an acceleration clause wherein upon default the bonds shall bear an interest at the rate of 18% until the default is cured. The City does not have any unused lines of credit.

Sales Tax Revenue Refunding Bonds, Series 2012:

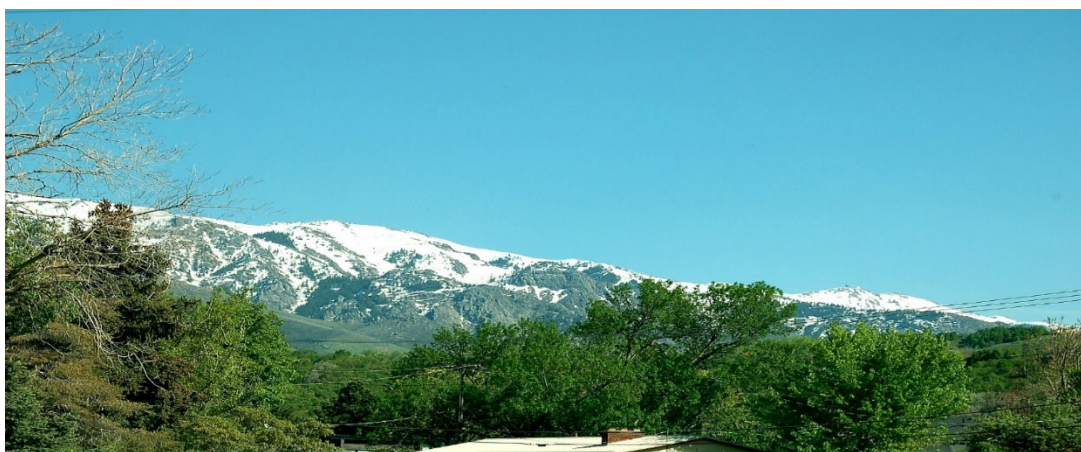
The Sales Tax Revenue Refunding Bonds, Series 2012 were issued in February 2012. Original issuance amount of \$1,312,000 and carry interest at 2.970%. Interest payments are due semi-annually in January and July, with principal payments due annually in January, and mature in January 2027. The Sales Tax Revenue Refunding Bonds, Series 2012 were issued to refund a portion of the Sales Tax Revenue Bonds, Series 2004.

The annual debt service requirements to maturity, including principal and interest, for the Sales Tax Revenue Refunding Bonds, Series 2012, as of June 30, 2021 are as follows:

<u>Sales Tax Refunding Bonds, Series 2012</u>			
<u>Year Ending June 30,</u>	<u>Principal</u>	<u>Interest</u>	<u>Total</u>
2021	\$ 91,000	\$ 20,196	\$ 111,196
2022	95,000	17,493	112,493
2023	93,000	14,672	107,672
2024	97,000	11,910	108,910
2025	101,000	9,029	110,029
2026-2027	<u>203,000</u>	<u>9,088</u>	<u>212,088</u>
Total	\$ 680,000	\$ 82,388	\$ 762,388

Water Revenue Bonds, Series 2010:

The Water Revenue Bonds, Series 2010 were issued in August 2010. The \$3,445,000 revenue bonds carried interest ranging from 2.0% to 5.0%. Interest payments are due semi-annually in June and December, with principal payments due annually in June, and matures in June 2040. The proceeds of the bond were used to construct a culinary water storage reservoir, a pump station, and other related infrastructure. In 2017, the City refunded the Series 2010 bonds by issuing Water Revenue Refunding Bonds, Series 2017. The proceeds of the Series 2017 bond were deposited into an escrow which was used to redeem the Series 2010 bonds on June 1, 2020.



Water Revenue Refunding Bonds, Series 2017:

The Water Revenue Refunding Bonds, Series 2017 were issued in December 2017 to refund the Series 2010 Water Revenue Bonds. The \$2,800,000 refunding revenue bonds carry interest ranging from 2.0% to 5.0%. Interest payments are due semi-annually in June and December, with principal payments due annually in June, and matures in June 2039. The issuance of the Series 2017 bonds generated a premium of \$386,217. The bond proceeds, including the premium, together with funds from the debt service reserve account for the Series 2010 bonds were deposited into an escrow account which will be used to pay down the balance of the Series 2010 bonds, and ultimately retired those bonds when those bonds matured in June 2020. The advance refunding resulted in a deferred loss on refunding of \$84,695. The premium and deferred loss on refunding will be amortized over the life of the bonds.

The annual debt service requirements to maturity as of June 30, 2021 are as follows:

<u>Water Revenue Bonds, Series 2017</u>			
<u>Year Ending June 30,</u>	<u>Principal</u>	<u>Interest</u>	<u>Total</u>
2021	\$ 100,000	\$ 131,750	\$ 231,750
2022	100,000	127,500	227,500
2023	100,000	123,000	223,000
2024	100,000	118,500	218,500
2025	110,000	114,700	224,700
2026-2030	625,000	502,700	1,127,700
2031-2035	785,000	345,750	1,130,750
2036-2039	<u>605,000</u>	<u>133,750</u>	<u>738,750</u>
Total	<u>\$ 2,525,000</u>	<u>\$ 1,597,650</u>	<u>\$ 4,122,650</u>

Fund Descriptions

South Weber utilizes nine different funds to assist in tracking the allocation and use of resources based upon revenue collected within each fund. The nine funds are: General, capital projects, recreation, transportation utility, fleet management, water utility, sewer utility, sanitation utility, and storm drain. Descriptions of each fund are below, which will identify which funds are major and which funds are non-major. Major funds are those that constitute over 10% of total expenditures.

Fund balance is a crucial measure for understanding the financial health of any organization. Each fund starts the year with the previous year's ending fund balance. After revenues are added and expenditures are subtracted, the fund is left with an ending fund balance that is then used for the beginning fund balance next year. Fund balance is tracked for each individual fund and as a sum of the funds of the whole city. The general fund balance is dictated by state law that it remains between 5% and 35% of revenues. It was previously a maximum of 25% until legislation passed in 2021 allowed the increase.



General Fund

The general fund of the City is the main operating fund and is divided into seven major categories of operation, overseen by the City Manager and four directors. Inside those areas are smaller areas, headed by a manager under the supervision of the director. The directors report to the City Manager. The general fund of South Weber City is established to manage the operation and maintenance of all governmental services with the exception of public safety. Specific dollars items can be found in the respective departments.



South Weber Budget

GENERAL FUND SUMMARY

Dept.	Department Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
"10-41	Legislative	52,408	40,063	43,492	49,893	62,000	82,000
"10-42	Judicial	85,681	89,135	86,877	87,732	100,000	46,000
"10-43	Administrative	1,004,964	1,057,952	1,293,537	852,558	963,000	1,104,000
"10-54	Public Safety	165,820	247,649	260,500	283,832	333,000	355,000
"10-57	Fire	564,994	603,363	675,048	805,221	751,000	1,047,000
"10-58	Community Services	321,941	418,515	364,835	490,058	496,000	70,000
"10-60	Streets	235,396	226,299	234,183	238,183	314,000	314,000
"10-70	Parks	219,230	247,741	302,976	316,329	345,000	228,000
		2,650,434	2,930,718	3,261,447	3,123,806	3,364,000	3,882,000

South Weber Budget

Account No.	Account Title	2018-19 Actual	2019-20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
GENERAL FUND REVENUES							
TAXES							
10-31-100	Current Year Property Taxes	321,861	747,054	771,140	1,521,764	933,000	1,000,000
10-31-120	Prior Year Property Taxes	20,866	6,668	10,056	6,724	10,000	10,000
10-31-200	Fee in Lieu - Vehicle Reg	32,779	47,592	52,057	24,670	30,000	50,000
10-31-300	Sales and Use Taxes	641,287	339,002	838,624	1,108,323	900,000	1,100,000
10-31-305	Transportation - Local Option	0	0	0	0	0	0
10-31-309	RAP Tax	0	0	0	0	0	0
10-31-310	Franchise/Other	386,795	422,985	417,268	418,289	412,000	420,000
Total Taxes:		1,403,587	1,563,302	2,089,145	3,079,771	2,285,000	2,580,000
LICENSES AND PERMITS							
10-32-100	Business Licenses and Permits	8,949	9,119	8,399	7,674	8,000	8,000
10-32-210	Building Permits	353,882	354,243	239,858	239,651	330,000	240,000
10-32-310	Excavation Permits	2,219	94	1,876	94	0	0
Total Licenses and Permits:		365,050	363,456	250,133	247,419	338,000	248,000
INTERGOVERNMENTAL REVENUE							
10-33-400	State Grants	0	1,500	0	0	5,000	0
10-33-500	Federal Grant Revenue	0	145,870	221,046	19,000	50,000	78,000
10-33-550	Wildland Firefighting	0	0	3,525	2,778	0	214,000
10-33-560	Class "C" Road Fund Allotment	283,851	94,000	236,028	(2,907)	100,000	110,000
10-33-580	State Liquor Fund Allotment	5,579	5,922	7,123	11,713	7,000	7,000
Total Intergovernmental Revenue:		289,430	247,292	467,722	30,584	162,000	409,000
CHARGES FOR SERVICES							
10-34-100	Zoning & Subdivision Fees	17,679	14,787	25,364	14,267	10,000	15,000
10-34-105	Subdivision Review Fee	66,443	55,944	64,406	59,491	60,000	60,000
10-34-250	Bldg. Rental/Park Use (bowery)	1,640	1,427	1,370	1,113	0	0
10-34-270	Developer Pmts for Improveme	0	26,484	0	10,000	30,000	5,000
10-32-290	Plan Check and Other Fees	26,218	107,982	75,520	55,500	60,000	44,000
10-34-560	Ambulance Service	0	69,410	52,978	69,343	70,000	63,000
Total Charges for Services:		111,979	276,034	219,638	209,713	230,000	187,000
FINES AND FORFEITURES							
10-35-100	Fines	90,779	90,215	100,504	106,596	90,000	100,000
Total Fines and Forfeitures:		90,779	90,215	100,504	106,596	90,000	100,000
MISCELLANEOUS REVENUE							
10-36-100	Interest Earnings	50,497	24,263	5,407	6,236	10,000	11,000
10-36-400	Sale of Assets	2,457	0	4,500	0	0	0
10-36-900	Sundry Revenues	21,913	22,859	36,389	30,577	30,500	31,500
Total Miscellaneous Revenue:		74,867	47,122	46,296	36,813	40,500	42,500
CONTRIBUTIONS AND TRANSFERS							
10-39-100	Fire Agreement/Job Corps	0	17,900	7,160	3,500	3,500	3,500
10-39-110	Fire Agreement/County	1,481	1,422	1,744	3,580	1,000	1,000
10-34-910	Transfer for Administrative	162,000	167,100	167,100	202,000	202,000	277,000
10-39-800	Transfer from Impact Fees	12,636	14,996	10,494	12,000	12,000	12,000
Total Contributions and Transfers:		176,117	201,418	186,498	221,080	218,500	293,500
		2,511,810	2,788,837	3,359,936	3,931,976	3,364,000	3,860,000

Capital Projects Fund

A capital project is a large, expensive, one-time project. Because they represent such a large cost, they are often considered “lumpy” in a budget and are therefore put in their own budget section. Separating capital projects ensures more stability when tracking other revenues and expenditures over time.

The Capital Projects Fund is a major fund and was created as a mechanism to provide for the purchase or construction of capital assets valued at \$10,000.00 or more where the asset life is more than 3 years, and the item is capitalized or depreciated. The most common types of capital projects are infrastructural: parks, streets, facilities, heavy equipment, and/or the purchase of land. Capital projects are financed by public funds, bonds, grants, loans, existing cash reserves, and impact fees as determined and directed by the South Weber City Council.

The next coming year South Weber Capital Projects include vehicle replacement to ensure safety and effective services, other projects include updating city hall and the new public works facility.



South Weber Budget

Account No.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021- 22 Estimate	2021- 22 Budget	2022- 23 Budget
CAPITAL PROJECTS							
45-43-730	Admin. - Improv. Other than Bldgs.	0	0	115,159	49,530	50,000	50,000
45-43-740	Admin. - Purchase of Equipment	10,950	0	48,282	28,791	26,000	35,000
45-57-720	Fire - Buildings	0	22,825	936	11,971	0	0
45-57-730	Fire - Improvements Other than Bldgs.	0	0	0	110,964	125,000	0
45-57-740	Fire - Purchase of Equipment	270,009	15,000	112,937	115,000	115,000	145,000
45-58-740	Community Svs - Purchase of Equipment	0	0	0	5,000	5,000	7,000
45-60-710	Streets - Land	0	63	601,683	6,685	0	0
45-60-720	Streets - Buildings	5,150	1,887	0	0	0	0
45-60-730	Streets - Improv. Other than Bldgs.	501,868	1,664,979	212,256	234,119	240,000	50,000
45-70-710	Parks - Land	0	0	0	0		
45-60-740	Streets - Purchase of Equipment	261,372	32,778	59,298	66,238	77,000	47,000
45-70-730	Parks - Improv. Other than Bldgs.	11,772	72,919	48,694	1,244,641	1,244,000	0
45-70-740	Parks - Purchase of Equipment	95,245	98,231	0	38,000	38,000	61,000
45-90-900	Contribution to Fund Balance			0	0	0	121,000
		1,156,365	1,908,682	1,199,245	1,910,939	1,920,000	516,000

Account No.	Account Title	2017-18 Actual	2018-19 Actual	2019 - 20 Actual	2020 - 21 Estimate	2020 - 21 Budget	Amended Budget	2021 - 22 Budget
CAPITAL PROJECTS								
REVENUES								
45-31-300	Sales Tax	600,000	330,000	770,000	244,001	171,000	200,000	275,000
45-33-400	State Grants	0	0	366,852	0	0	0	0
45-33-500	Federal Grant Revenue - CARES	0	0	0	241,250	0	0	0
45-34-270	Developer Pmts for Improvements	0	0	307,300	110,000	110,000	0	0
45-34-440	Contributions	0	0	25,000	0	0	0	0
45-34-445	Contributions - Restricted	1,079	0	0	0	0	0	0
45-36-100	Interest Income	18,132	25,154	8,776	8,472	10,000	5,000	5,000
45-36-110	Gain on Sale of Assets	0	1,890	0	0	0	0	0
45-39-900	Fund Balance to be Appropriated	0	0	0	1,014,000	999,000	632,000	115,000
45-39-470	Transfer from General Fund	8,500	0	0	360,000	0	0	0
45-39-800	Transfer from Impact Fees	22,623	0	518,058	884,000	717,000	1,083,000	121,000
45-39-810	Transfer from Class "C"	0	377,334	234,338	0	0	0	0
		650,334	734,378	2,230,325	2,861,723	2,007,000	1,920,000	516,000

CAPITAL PROJECTS

45-43-730	Administration - Improvements Other than Buildings City Hall Carpet and Paint	50,000	50,000
45-43-740	Administration - Equipment City Hall Generator (rebudget)	35,000	35,000
45-57-730	Fire - Improvements Other than Bldgs.	0	0
45-57-740	Fire - Purchase of Equipment Vehicle Replacement Wildland	115,000 30,000	145,000
45-58-740	Planning - Purchase of Equipment Vehicle Replacement	7,000	7,000
45-60-710	Streets - Land		0
45-60-730	Streets - Improvements Other than Buildings Streetlight Replacement Program Public Works Facility	50,000 ?	50,000
45-60-740	Streets - Purchase of Equipment Vehicle Replacement	47,000	47,000
45-70-730	Parks - Improvements Other than Buildings Cherry Farms Ballfield (rebudgeted)	?	0
45-70-740	Parks - Purchase of Equipment mower lease (2) Vehicle Replacement	36,000 25,000	61,000

Recreation Fund



The recreation fund is considered a major fund. Its mission is to enrich the lives of the residents of South Weber City by promoting, developing, and maintaining recreational activities that afford children and adults with opportunities for growth, health, happiness, and personal development. The Recreation Department offers welcoming facilities, exercise equipment, and a variety of indoor and outdoor athletic programs for all ages. The South Weber City Recreation Department values citizen involvement and continues to establish a strong sense of community through the development of the social, cultural, and physical well-being of the city's residents and their visitors.

The Recreation Department maintains eight athletic fields that are used for soccer, flag football, lacrosse, t-ball, and softball, and six baseball diamonds. The Family Activity Center offers an indoor track, weight room, full size basketball court, and auxiliary programs of yoga, jump rope, tumbling, karate, hula dancing, and zumba classes to meet the interests and desires of the citizens of the community and their visitors. These programs offer a wide range of activities for all ages.



South Weber Budget

Account No.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
RECREATION							
20-71-110	Full-Time Employee Salaries	50,837	56,618	54,171	52,871	56,000	57,000
20-71-120	Part-time Employees Salaries	33,601	32,152	46,068	40,480	47,000	54,000
20-71-130	Employee Benefit - Retirement	9,273	9,722	10,589	10,337	12,000	11,000
20-71-131	Employee Benefit-Employer FICA	6,497	6,849	8,138	8,207	7,900	8,000
20-71-133	Employee Benefit - Work. Comp.	2,232	935	1,551	3,435	3,000	3,000
20-71-134	Employee Benefit - Unemployment Ins.	0	0	0	0	0	0
20-71-135	Employee Benefit - Health Ins.	8,594	5,696	6,680	6,096	12,000	11,000
20-71-137	Employee Testing	410	242	356	40	500	500
20-71-230	Travel & training	1,183	1,211	128	750	1,500	1,500
20-71-240	Office Supplies and Expense	751	566	1,009	823	1,100	1,000
20-71-241	Materials & Supplies	1,583	1,710	2,511	3,086	2,000	3,000
20-71-250	Equipment Supplies & Maint.	1,459	1,642	802	5,111	1,000	1,000
20-71-256	Fuel Expense	295	416	419	100	200	200
20-71-262	General Government Buildings	330	231	0	11,500	12,000	12,000
20-71-270	Utilities	4,002	6,049	5,336	9,877	6,000	10,000
20-71-280	Telephone	3,571	3,081	3,301	3,272	4,000	4,000
20-71-331	Community Events	1,106	966	190	2,390	3,500	3,500
20-71-350	Software Maintenance	641	738	763	659	800	1,000
20-71-480	Basketball	10,804	11,092	8,205	10,580	11,000	11,500
20-71-481	Baseball & Softball	6,781	508	6,627	6,564	7,000	7,500
20-71-482	Soccer	5,035	1,753	4,815	4,124	4,500	4,500
20-71-483	Flag Football	2,817	1,402	2,449	2,767	2,500	3,000
20-71-484	Volleyball	935	949	674	1,688	1,500	2,000
20-71-485	Summer Fun	1,792	2,388	150	1,926	2,000	2,000
20-71-486	Sr Luncheon	1,280	1,028	0	500	1,500	2,000
20-71-488	Competition Basketball	7,883	5,574	10,126	7,122	9,000	12,000
20-71-489	Competition Baseball	167	0	0	0	300	300
20-71-491	Fly Fishing	0	0	0	0	0	0
20-71-492	Wrestling	0	901	0	0	2,000	2,000
20-71-530	Interest Expense	20,236	18,326	16,505	12,595	12,600	16,000
20-71-550	Banking Charges	1,236	1,232	1,094	989	800	1,500
20-71-610	Miscellaneous	503	858	815	417	700	1,000
20-71-625	Cash Over and Short	0	0	0	0	0	0
20-71-740	Equipment	501	0	1,336	6,000	7,000	40,000
20-71-811	Bond Principal	63,360	62,640	65,520	68,400	68,400	65,000
20-71-915	Transfer to Admin Svs	15,500	16,000	16,000	25,000	25,000	35,000
		265,194	253,473	276,328	307,705	326,300	387,000

South Weber Budget

Account No.	Account Title	2018-19 Actual	2019-20 Actual	2020-21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
RECREATION							
RECREATION REVENUE							
20-34-720	Rental - Activity Center	9,905	8,519	0	9,340	9,000	11000
20-34-750	Recreation Fees	0	0	0	0	0	0
20-34-751	Membership Fees	21,249	16,709	17,160	17,380	19,000	21000
20-34-752	Competition Basketball	16,685	12,070	21,610	20,840	21,000	22500
20-34-753	Misc. Revenue	4,026	2,106	621	1,402	1,000	2000
20-34-754	Competition Baseball	300	280	140	400	500	500
20-34-755	Basketball	14,250	13,871	11,944	13,014	13,000	14000
20-34-756	Baseball & Softball	8,024	1,012	9,003	7,500	7,500	8000
20-34-757	Soccer	11,990	6,838	14,217	8,595	8,000	9000
20-34-758	Flag Football	5,001	3,450	3,587	2,920	3,500	4000
20-34-759	Volleyball	1,065	1,365	1,455	1,690	1,500	2000
20-34-760	Wrestling	0	1,010	0	0	2,000	2000
20-34-841	Gravel Pit Fees	66,246	55,397	125,365	96,048	70,000	95000
20-36-895	Rental of Uniforms and Equip	0	0	0	0	0	0
Total Recreation Fee Revenue:		158,741	122,627	205,102	179,129	156,000	191,000
20-37-100	Interest Earnings	8,330	6,197	2,088	1,497	4,000	4,000
Contributions & Transfers							
20-39-470	Transfer from General Fund	0	97,500	70,000	75,000	75,000	83,000
20-39-800	Transfer from Recreation Impact Fees	94,465	93,818	59,869	48,000	66,000 *	48,000
	Contribution from Fund Balance				0	9,000	61,000
Total Contributions & Transfers:		94,465	191,318	129,869	123,000	150,000	192,000
Total Fund Revenues		261,535	320,142	337,059	303,626	310,000	387,000

* Shortfall in impact fees (\$34,000)

RECREATION FUND

RECREATION EXPENDITURES

20-71-110	Full-time Salaries <i>Recreation Director</i>	57,000
20-71-120	Part-time Salaries - 1.6 FTE <i>5 Employees</i>	54,000
20-71-130	Employee Benefit - Retirement	11,000
20-71-131	Employee Benefit-Employer FICA	8,000
20-71-133	Employee Benefit - Work. Comp.	3,000
20-71-134	Employee Benefit - UI	0
20-71-135	Employee Benefit - Health Ins.	11,000
20-71-137	Employee Testing	500
20-71-230	Travel and Training <i>Charges for conferences, educational materials, & employee travel</i>	1,500
	Utah Rec & Parks Association Conference	1,000
	ULCT Conferences	300
	Other	200
20-71-240	Office Supplies and Expense <i>Copier Supplies, Postage, and general office supplies</i>	1,000
20-71-241	Materials & Supplies <i>Towel Service</i>	3,000
20-71-250	Equipment Supplies & Maint. <i>Upkeep or repair of equipment and operating supplies</i>	1,000
	Weight Equipment	
20-71-256	Fuel Expense	200
20-71-262	General Government Buildings <i>Upkeep of building and floor resurfacing</i>	12,000
	<i>Painting</i>	10,000
20-71-270	Utilities <i>Electricity and Natural Gas expenses</i>	7,000

South Weber Budget

20-71-280	Telephone	4,000
20-71-331	Community Events Daddy/Daughter Halloween Breakfast with Santa	3,500
20-71-350	Software Maintenance <i>Software maintenance contracts</i>	1,000
20-71-480	Basketball <i>Jr. Jazz program - 300 participants</i>	11,500
20-71-481	Baseball & Softball <i>T-ball, Coach Pitch, Machine Pitch, baseball & softball - 250 participants</i>	7,500
20-71-482	Soccer <i>Pre-kindergarten to 4th grade; 300 participants</i>	4,500
20-71-483	Flag Football <i>1st to 9th grade, co-educational - 110 participants</i>	3,000
20-71-484	Volleyball <i>Girls 3rd to 9th grade - 70 participants</i>	2,000
20-71-485	Summer Fun <i>Citizen participation at Roy City Aquatics Center - 1200 participants</i>	2,000
20-71-486	Sr Luncheon <i>Held 6 times a year - 21 Participant per luncheon</i>	2,000
20-71-488	Competition Basketball	12,000
20-71-489	Competition Baseball	300
20-71-491	Fly Fishing	0
20-71-492	Wrestling	2,000
20-71-530	Interest Expense - Bond 28% Fire, 72% Recreation	16,000
20-71-550	Banking Charges <i>Bank charges and fees and credit card transaction fees</i>	1,500
20-71-610	Miscellaneous	1,000
20-71-625	Cash Over and Short	0
20-71-740	Equipment	40,000

South Weber Budget

Rental of Exercise Equipment	5,000
Fleet Management Program Charge	3,000
8 Pear Fans	32,000

20-71-811	Sales Tax Rev Bond - Principal 28% Fire, 72% Recreation	65,000
20-71-900	Increase in Fund Balance	0
20-71-915	Transfer to Admin Services	35,000

Account No.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
RECREATION IMPACT FEE FUND							
Revenue							
27-37-200	Recreation Impact Fees	76,442	93,408	59,214	48,186	65,000	48,000
	Total Source: 34:	76,442	93,408	59,214	48,186	65,000	48,000
27-37-100	Interest Earnings	850	1,006	59	54	1,000	0
	Total Revenue	77,292	94,414	59,273	48,240	66,000	48,000
Contributions and Transfers							
27-39-500	Contribution From Fund Balance	0	0	0	0	0	0
	Total Contributions and Transfers	0	0	0	0	0	0
Expenditures							
27-80-800	Transfers	94,465	93,818	59,869	48,000	66,000	48,000
	Total Expenditures	94,465	93,818	59,869	48,000	66,000	48,000
	Recreation Impact Fee Fun Revenue Tot	77,292	94,414	59,273	48,240	66,000	48,000
	Recreation Impact Fee Fund Expenditur	94,465	93,818	59,869	48,000	66,000	48,000
	Net Total Park Impact Fee Fund	-17,173	596	-596	240	0	0

Transportation Utility Fund

In 1937, The Utah State Legislature established a funding program called Class “B” (counties) & “C” (municipalities) as a means of assisting counties and municipalities for the improvement of roads and streets throughout the state. These Funds differ from ordinary local revenues inasmuch as they are subject to administrative direction by the State in accordance with legislative provision. The Utah Department of Transportation (UDOT) B & C Regulations Document designates the regulations which are acceptable to the Utah Department of Transportation (UDOT) in the administration of funds for counties, cities, and towns provided for by the Utah Legislature.



In 2016, the State Legislature passed House Bill 362 that provided an increase to the Class “B” & “C” funds called the Proposition 1 Local Option Sales [Gas] Tax. This additional funding authorized counties to enact a 0.25% general sales tax from the sales of fuel. Roads and streets that are eligible for Class “B” and “C”, including Proposition 1 funding, must be under the jurisdiction and control of a county or municipality. In order to qualify for Class “B” & “C”, including Proposition 1 road money, maintenance eligible roads and streets must be maintained to a minimum standard or higher.

Recognizing the current condition of the City’s roads and the need for continual maintenance and preservation, on June 20, 2017, the Mayor and City Council adopted a Transportation Utility Fee. The City Council also created this Transportation Utility Fund, which is a major fund. The Transportation Utility Fee funds are restricted monies to be used for the sole purpose of the preservation, maintenance, and operations of South Weber City owned public roads. Funds originating from the Transportation Utility Fee shall be expended in accordance with the priorities indicated in the South Weber City Streets Capital Facilities Plan, the current remaining service life of roads, and/or as directed by the South Weber City Council.



South Weber Budget

Account No.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
TRANSPORTATION UTILITY							
56-76-312	Professional & Tech. - Enginr	35,348	25,125	27,158	10,513	18,000	18,000
56-76-410	Special Highway Supplies		0	0	0	0	0
56-76-424	Curb & Gutter Restoration	4,073	0	14,000	0	85,000	100,000
56-76-425	Street Sealing	106,949	0	0	0	0	0
56-76-730	Street Projects	206,290	604,422	507,919	769,058	789,000	694,000
56-76-990	Contribution to Fund Balance	0	0	0	0	0	0
		352,659	629,547	549,077	779,571	892,000	812,000

Account No.	Account Title	2018-19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
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TRANSPORTATION UTILITY**MISCELLANEOUS REVENUE**

56-36-100	Interest Earnings	3,289	5,040	1,738	975	2,000	2,000
Total Miscellaneous Revenue:		3,289	5,040	1,738	975	2,000	2,000

TRANSPORTATION UTILITY REVENUE

56-31-305	Transportation - Local Option	75,784	102,489	124,807	122,763	80,000	110,000
56-33-560	Class "C" Road Fund Allotment	0	245,277	80,000	80,000	80,000	80,000
56-34-270	Developer Pmts for Improv	0	46,666	76,228	10,000	10,000	10,000
56-37-800	Transportation Utility Fee	258,091	407,293	430,315	439,059	420,000 *	430,000
Total Transportation Utility Revenue:		333,875	801,726	711,350	651,822	590,000	630,000

CONTRIBUTIONS AND TRANSFERS

	Contribution From Fund Balance	0	0	0	130,000	300,000	180,000
56-39-500	Contribution From Fund Bal - Class C	0	0	0	0	0	0
Total Contributions and Transfers		0	0	0	130,000	300,000	180,000
		337,164	806,766	713,088	782,796	892,000	812,000

South Weber Budget

Transportation Utility Fund

56-76-312	Professional & Tech. - Engineer	18,000
56-76-424	Curb & Gutter Restoration	100,000
56-76-425	Street Maintenance	0
56-76-730	Street Projects	694,000
	City Projects	642,000
	New Subdivision chip seal (paid by developers)	10,000
	CFP/IFFP/IFA	25,000
	Street Scan software for streets and sidewalks - yearly maint	17,000

2022 Streets Mainenance Projects (TBD)

Fleet Management Fund



New this year is the Fleet Management Fund. It is an Internal Service Fund and is a non-major fund. Equipment and vehicles are an integral part of the day-to-day operations of the City. They are also a major operational expense, especially as they age, and maintenance costs increase. The City Council has adopted a new policy which establishes a long-term funding source for this expense and addresses the several challenges all cities face with these capital expenditures. This policy is designed to create a consistent, year to year budget program with level payments that can be anticipated and planned for. This

fund will purchase/lease all vehicles and major equipment according to specific, predetermined schedules. The fund will be supported by yearly transfers from the various city departments paying their relative portion of the vehicle/equipment costs. The cash assets of the fund will be used annually for municipal leases and accumulate until there is enough to acquire the larger, longer-term replacement vehicles/equipment. This new expenditure can be seen in most departments under "Fleet Management Program".



South Weber Budget

Account No.	Account Title	2018-19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
FLEET MANAGEMENT							
FLEET MANAGEMENT REVENUE							
60-34-981	Interfund Charge - Admin	0	0	0	0	0	0
60-34-982	Interfund Charge - Fire	0	0	0	115,000	115,000	115,000
60-34-983	Interfund Charge - Comm. Svs.	0	0	0	7,000	7,000	7,000
60-34-984	Interfund Charge - Streets	0	0	0	47,000	47,000	47,000
60-34-985	Interfund Charge - Parks	0	0	0	25,000	25,000	61,000
60-34-986	Interfund Charge - Recreation	0	0	0	3,000	3,000	3,000
60-34-987	Interfund Charge - Water	0	0	0	58,000	58,000	58,000
60-34-988	Interfund Charge - Sewer	0	0	0	6,000	6,000	6,000
60-34-989	Interfund Charge - Storm Drain	0	0	0	6,000	6,000	6,000
Total Transportation Utility Revenue:		0	0	0	267,000	267,000	303,000
CONTRIBUTIONS AND TRANSFERS							
60-37-450	Transfer from Capital Projects - Fire	0	0	0	255,000	255,000	0
60-37-510	Transfer from Water - Vehicles	0	0	0	25,000	25,000	0
60-37-520	Transfer from Sewer - Vehicles	0	0	0	10,000	10,000	0
60-37-540	Transfer from Storm Drain - Vehicles	0	0	0	10,000	10,000	0
	Contribution From Fund Balance	0	0	0	0	0	0
Total Contributions and Transfers		0	0	0	300,000	300,000	0
MISCELLANEOUS REVENUE							
60-36-400	Sale of Assets	0	0	0	80,000	80,000	0
60-36-100	Interest Earnings	0	0	0	1,000	1,000	1,000
Total Miscellaneous Revenue:		0	0	0	81,000	81,000	1,000
		0	0	0	648,000	648,000	304,000

FLEET MANAGEMENT NARRATIVE

60-60-740	Machinery & Equipment	0
	Fire Brush Truck	0
60-60-960	Capital Leases - Equipment	158,000
	Recreation Vehicle	3,000
	City Hall Vehicle	2,000
	Fire - Brush Trucks	60,000
	Public Works Director - Truck	4,000
	Public Works Director - Truck	4,000
	Parks - 3/4-ton Truck and plow	7,000
	Parks - 3/4-ton Truck and plow	7,000
	Parks - 1.5-ton Truck and plow	15,000
	Water 1 ton Truck w/ utility bed	8,000
	Sewer - 1.5-ton Truck and plow	15,000
	Public Works - Dump Truck and plow	33,000
60-60-990	Contribution to Fund Balance	146,000

Account No.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2019 - 20 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
FLEET MANAGEMENT							
60-60-740	Machinery & Equipment	0	0	0	150,000	150,000	0
60-60-960	Capital Leases - Equipemnt		0	0	101,000	101,000	158,000
60-60-990	Contribution to Fund Balance	0	0	0	397,000	397,000	146,000
		0	0	0	648,000	648,000	304,000

Water Utility Fund

The South Weber City Water Utility Fund is a major fund that is comprised of three fundamental areas of service: 1) Supply: administer water samples for safe consumption, manage reserves, and facility storage; 2) Distribution: maintain the appropriate quality, quantity, and pressure of the water system, including pipes and valves; and 3) Utility: meter reading, billing, and leak detection. The planning and engineering personnel oversee the long-range planning, design, and construction management of the water system improvements and extensions.



The City currently maintains 43.5 miles of pipe, 2,200 existing residential connections (ERC's), 4 water reservoirs, over 700 water valves, over 350 fire hydrants and conducts an average of 30 water samples per month to ensure the quality of safe drinking water. South Weber City progressively and continuously researches and implements the most efficient and effective methods for constructing and maintaining the City's culinary water system to meet the requirements of the Utah Clean Water Act (UCWA) and the Federal Safe Drinking Water Act (FSDWA).

Secondary water is provided by four third-party agencies based on the geographical location of a residence or commercial development. Secondary water is not provided by the City and is not considered a part of South Weber City's water infrastructure.



South Weber Budget

Account No.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021- 22 Estimate	2021- 22 Budget	2022- 23 Budget
WATER							
51-40-110	Full-Time Employee Salaries	85,241	108,789	97,266	88,858	97,000	121,000
51-40-120	Part-time Employee Salaries	0	0	0	0	0	0
51-40-130	Employee Benefit - Retirement	17,859	8,924	4,883	14,898	23,000	30,000
51-40-131	Employee Benefit-Employer FICA	6,686	9,306	7,189	6,638	8,000	10,000
51-40-133	Employee Benefit - Work. Comp.	2,527	1,499	2,458	3,410	3,000	5,000
51-40-134	Employee Benefit - UI	0	0	0	0	0	0
51-40-135	Employee Benefit - Health Ins.	23,915	27,792	10,437	5,958 *	19,000	34,000
51-40-137	Employee Testing	291	115	103	0	0	0
51-40-140	Uniforms	1,084	1,169	1,020	1,249	2,000	2,000
51-40-210	Books/Subscriptions/Membership	1,760	1,295	1,195	1,000	3,000	3,000
51-40-230	Travel & Training	3,146	654	3,419	2,075	4,000	4,000
51-40-240	Office Supplies & Expense	958	859	1,097	3,282	1,000	1,000
51-40-250	Equipment Supplies & Maint.	11,501	3,302	19,669	9,815	10,000	10,000
51-40-255	Vehicle Lease	0	0	0	0	0	0
51-40-256	Fuel Expense	2,892	4,000	4,913	5,947	5,000	9,000
51-40-260	Buildings & Grounds	0	130	0	2,000	5,000	5,000
51-40-270	Utilities	11,404	16,246	19,416	19,905	14,000	20,000
51-40-280	Telephone	2,060	2,778	2,915	4,140	3,000	4,000
51-40-312	Professional/Technical-Engineering	19,069	3,170	7,643	11,039	10,000	10,000
51-40-315	Professional & Tech. - Auditor	0	0	0	0	0	0
51-40-318	Professional/Technical	576	576	0	2,000	2,000	2,000
51-40-325	GIS/ Mapping	0	6,297	8,765	11,058	5,000	5,000
51-40-350	Software Maintenance	16,593	6,144	5,548	9,976	8,000	10,000
51-40-370	Utility Billing Services	11,490	12,998	14,030	12,633	14,000	14,000
51-40-480	Special Water Supplies	4,520	3,451	5,228	4,173	3,000	5,000
51-40-481	Water Purchases	277,632	302,865	333,392	367,138	363,000	370,000
51-40-485	Fire Hydrant Update	0	0	0	50,000	50,000	50,000
51-40-490	O & M Charge	51,963	113,411	64,359	79,575	100,000	100,000
51-40-495	Meter Replacements	39,848	41,749	90,650	103,237	100,000	200,000
51-40-540	Customer Assistance Program	0	0	0	0	0	0
51-40-530	Interest Expense	105,222	102,757	106,270	121,000	121,000	121,000
51-40-550	Banking Charges	5,075	4,978	7,055	2,761	4,000	4,000
51-40-650	Depreciation	217,883	229,913	271,838	235,000	235,000	275,000
51-40-811	Bond - Principal	95,000	95,000	95,000	95,000	95,000	95,000
51-80-512	Contributions	0	0	0	0	0	0
51-40-730	Improv. Other than Buildings	246,420	2,220	2,411,016	54,106	1,800,000	1,000,000
51-40-740	Equipment	94,750	9,564	4,621	0	0	0
51-40-750	Capital Outlay - Vehicles	0	0	0	58,000	58,000	58,000
51-40-915	Transfer to Admin Svs	59,000	61,000	61,000	72,000	72,000	101,000
	Transfer to Reserve for Replacement						
		1,416,364	1,182,952	3,662,395	1,457,870	3,237,000	2,678,000

South Weber Budget

Account No.	Account Title	2018-19 Actual	2019-20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
	WATER UTILITY FUND						
	WATER UTILITIES REVENUE						
51-37-100	Water Sales	1,434,772	1,454,649	1,562,224	1,581,675	1,515,000	1,600,000
51-37-105	Water Connection Fee	24,910	29,680	21,225	15,685	20,000	20,000
51-37-130	Penalties	40,940	34,205	41,065	39,960	40,000	40,000
	Total Water Utilities Revenue:	1,500,622	1,518,534	1,624,513	1,637,320	1,575,000	1,660,000
	MISCELLANEOUS						
51-34-270	Developer Payments for Improvements	0	85,321	2,512,451	0	0	0
51-36-100	Interest Earnings	50,055	43,257	11,915	5,776	25,000	7,000
51-36-300	Misc. Utility	0	0	25	0	0	0
51-38-900	Sundry Revenue	3,050	3,079	328	0	0	0
51-38-920	Gain Loss Sale of Assets	24,000	18,050	-9,428	0	0	0
	Total Miscellaneous	77,105	149,708	2,515,291	5,776	25,000	7,000
	CONTRIBUTIONS AND TRANSFERS						
51-38-820	Transfer from Water Impact Fd	0	195,872	56,432	95,000	95,000	115,000
51-38-910	Capital Contributions	44,119	246,080	111,668	0	0	0
51-39-900	Contribution from Fund Balance	0	0	0	0	1,542,000	896,000
	Total Contributions and Transfers:	44,119	441,952	168,100	95,000	1,637,000	1,011,000
		1,621,845	2,110,194	4,307,904	1,738,096	3,237,000	2,678,000

WATER UTILITY

51-40-110	Full-Time Employee Salaries - 2.0 FTE	121,000
51-40-120	Part-time Employee Salaries	0
51-40-130	Employee Benefit - Retirement	30,000
51-40-131	Employee Benefit-Employer FICA	10,000
51-40-133	Employee Benefit - Work. Comp.	5,000
51-40-134	Employee Benefit - UI	0
51-40-135	Employee Benefit - Health Ins.	34,000
51-40-140	Uniforms	2,000
	2.0FTE Public Works Uniform and Cleaning costs	

South Weber Budget

51-40-210	Books/Subscriptions/Membership	3,000	
	<i>Memberships in Professional Organizations and Subscriptions</i>		
	Rural Water Users of Utah		
	APWA		
	AWWA		
	Cross-Control Certification		
51-40-230	Travel	4,000	
	<i>Charges for conferences, educational materials, & employee travel</i>		
	Rural Water Conference	1,500	
	Backflow Technician Certification	1,000	
	Other local classes	1,500	
51-40-240	Office Supplies & Expense	1,000	
	<i>Copier Supplies, Postage, and general office supplies</i>		
51-40-250	Equipment Supplies & Maint.	10,000	
	<i>Upkeep or repair of equip. and oper. Supplies</i>		
51-40-255	Vehicle Lease	0	
51-40-256	Fuel Expense	9,000	
51-40-260	Buildings & Grounds	5,000	
	<i>33% of Shop building and grounds maintenance</i>		
51-40-270	Water - Power & Pumping	20,000	
51-40-280	Telephone and wireless	4,000	
51-40-311	Professional/Technical	2,000	
	<i>Bond disclosure preparation and submission</i>		
51-40-312	Professional/Technical-Engineering	10,000	
	<i>Engineering Services including GIS</i>		
	<i>General</i>		
51-40-315	Professional/Technical - Auditor	0	
51-40-325	GIS/ Mapping	5,000	5,000

South Weber Budget

51-40-350	Software Maintenance	10,000
	<i>Software maintenance contracts</i>	
	Master Meter	2,500
	IWorQ	3,000
	Caselle	3,500
	Win-911	500
	LogMeIn	500
51-40-370	Utility Billing Services	14,000
	<i>% of services associated with the billing and collection of utility accounts</i>	
51-40-480	Special Water Supplies	5,000
	<i>Testing supplies and costs to ensure water quality</i>	
	Chemtech-Ford	4,000
	Davis County Health	1,000
51-40-481	Water Purchases	370,000
	<i>Culinary water purchased from Weber Basin</i>	
51-40-485	Fire Hydrant Update	50,000
	<i>Replace 6 per year for the next 3 years.</i>	
51-40-490	Water O & M Charge	100,000
	<i>Water system supplies and maintenance.</i>	
51-40-530	Interest Expense	121,000
	<i>Interest payment on Bond</i>	
51-40-550	Banking Charges	4,000
	<i>Bank charges and fees and credit card transaction fees</i>	
51-40-650	Depreciation	275,000
51-40-720	Meter Replacements	200,000
	<i>Replace 400 meters</i>	
51-40-811	Bond - Principal	95,000
	<i>Principal payment on bond</i>	
51-80-512	Contributions	0
51-40-730	Improvements other than Buildings	1,000,000
	East Bench Transmission Line (Re-budgeted from 2022)	1,000,000
	CIP #2 - Upsize 8" Pipes (2024)	0

South Weber Budget

51-40-740	Equipment	0
		0
51-40-750	Vehicles	58,000
51-40-900	Contribution to Fund Balance	0
51-40-915	Transfer to Admin Services	101,000

WATER IMPACT FEE FUND

Bond Payment	75,000
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Account No.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
WATER IMPACT FEE FUND							
Revenue							
26-37-100	Interest Earnings	1,934	3,653	522	508	1,000	1,000
26-37-200	Water Impact Fees	126,604	138,860	93,302	100,466	120,000	120,000
	Total Revenue	128,538	142,513	93,824	100,974	121,000	121,000
Contributions and Transfers							
26-39-500	Contribution From Fund Balance	0	0	0	69,000	4,000	4,000
Expenditures							
26-40-760	Projects	0	195,872	56,432	0	0	0
26-80-800	Transfers	71,579	195,873	0	95,000	95,000	115,000
	Contribution to Fund Balance	0	0	0	0	30,000	10,000
	Water Impact Fee Fund Revenue Total	128,538	142,513	93,824	169,974	170,000	125,000
	Water Impact Fee Fund Expenditure Total	71,579	391,745	56,432	95,000	170,000	125,000
	Net Total Water Impact Fee Fund	56,959	-249,232	37,392	74,974	0	0

South Weber Budget

Name	South Weber	Fiscal year Ended		6/30/2023
Part VII	Enterprise Fund: Water			
	Description (a)	Prior year Actual (b)	Current year Estimate (c)	Ensuing year Approved Budget Appropriation (d)
	Operating Revenue			
	Charge for Services	1,562,224	1,581,675	1,600,000
	Connection Fees	21,225	15,685	20,000
	Other: Fees	41,065	39,960	40,000
	Other: Misc. Utility Fees	25	0	0
	Other: Charges for Construction Services - DOL	2,512,451	0	0
	Other: Federal Grants	0	0	0
	TOTAL OPERATING REVENUE	4,136,989	1,637,320	1,660,000
	Operating Expense			
	Personnel Services	123,356	121,011	202,000
	Contractual Services	43,040	49,467	45,000
	Material and Supplies	217,483	285,149	411,000
	Depreciation	271,838	235,000	275,000
	Purchase of Water	333,392	367,138	370,000
	Administrative Services	61,000	72,000	101,000
	Other: Construction Services - DOL	2,411,016	0	0
	TOTAL OPERATING EXPENSE	3,461,125	1,129,764	1,404,000
	NET OPERATING INCOME (LOSS)	675,864	507,556	256,000
	Non-Operating Revenue (Expense) and Transfers			
	Interest Expense	(106,270)	(121,000)	(121,000)
	Other: Developer Payments For Improv.	0	0	0
	Other: Gain Loss Sale of Assets	(9,428)	0	0
	Interest Income	11,915	5,776	7,000
	Sundry Revenue	328	0	0
	Operating Transfers From:			
	Impact Fee Spent			
	Operating Transfers To:			
	Operating Transfers To:			
	Operating Transfers To:			
	Operating Transfers To:			
	Other:			
	NET INCOME (LOSS)	572,410	392,332	142,000
	Cash Operating Needs			
	Net Income (Loss)	572,410	392,332	142,000
	Plus: Depreciation	271,838	235,000	275,000
	Plus: Capital Transfers From Water Impact Fee fund	56,432	95,000	115,000
	Capital Contributions From Outside Sources	111,668	0	0
	Plus:			
	Plus:			
	Less: Major Improvements and Capital Outlaw	0	112,106	1,058,000
	Less: Bond Principal Payments	95,000	95,000	95,000
	Less:			
	Less:			
	Less:			
	TOTAL CASH PROVIDED (REQUIRED)	917,348	515,226	(621,000)
	Source of Cash Required			
	Cash Balance at Beginning of year	2,090,290	1,496,229	2,011,455
	Sale of Investment and Other Current Assets			
	Issuance of Bonds and Other Debt			
	Loans from Other Funds			
	Other:			
	Other:			
	TOTAL CASH PROVIDED (REQUIRED)	2,090,290	1,496,229	2,011,455

Sewer Utility Fund



The South Weber City Sewer Utility Fund is a major fund and supports the maintenance, operations, and infrastructure needs of the sewer system. The planning and engineering personnel oversee the long-range planning, design, and construction management of the sewer system improvements and extensions. South Weber City is contracted with the Central Weber Sewer Improvement District for the treatment of wastewater.

South Weber City maintains 2,295 sewer laterals, 924 manholes, and 36.81 miles of sewer main lines. The City is progressively and continuously researching and implementing the most efficient and effective methods for constructing and maintaining the City's sanitary sewer system in accordance with the Utah Sewer Management Program (USMP).



South Weber Budget

Account No.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
SEWER UTILITY							
52-40-110	Full-Time Employee Salaries	41,205	51,276	74,090	73,558	47,000	61,000
52-40-120	Part-time Employee Salaries	0	0	0	0	0	0
52-40-130	Employee Benefit - Retirement	8,857	(1,941)	11,743	16,353	12,000	15,000
52-40-131	Employee Benefit-Employer FICA	3,224	4,836	5,727	5,807	4,000	5,000
52-40-133	Employee Benefit - Work. Comp.	1,018	556	1,999	3,756	2,000	3,000
52-40-134	Employee Benefit - UI	0	0	0	0	0	0
52-40-135	Employee Benefit - Health Ins.	6,508	5,901	12,171	13,577	12,000	27,000
52-40-140	Uniforms	357	513	510	624	900	1,000
52-40-230	Travel & Training	2,488	1,893	1,118	1,000	4,000	4,000
52-40-240	Office Supplies & Expense	819	859	1,104	2,963	1,000	3,000
52-40-250	Equipment Supplies & Maint.	2,790	1,313	1,652	4,141	5,000	5,000
52-40-256	Fuel Expense	0	255	1,282	1,331	1,000	2,000
52-40-270	Utilities	317	477	612	740	600	1,000
52-40-312	Professional/Technical-Engin	6,987	2,559	6,801	62	21,000	21,000
52-40-325	GIS/ Mapping	0	0	2,351	1,887	1,000	2,000
52-40-350	Software Maintenance	1,924	2,885	2,289	1,976	4,000	3,000
52-40-370	Utility Billing Services	8,023	9,080	9,800	8,826	9,000	9,000
52-40-490	O & M Charge	16,620	21,501	18,942	33,052	35,000	50,000
52-40-491	Sewer Treatment Fees	453,185	462,340	478,308	490,786	536,000	536,000
52-40-550	Banking Charges	3,035	3,226	3,615	1,728	3,500	3,000
52-40-650	Depreciation	129,395	130,374	146,802	147,000	143,000	150,000
52-40-690	Projects	133,358	0	15,000	12,000	1,090,000	1,121,000
52-40-915	Transfer to Admin Svs	40,500	41,600	41,600	43,000	43,000	61,000
	Transfer to Reserve for Replacement						
		860,612	739,503	837,516	864,165	1,975,000	2,083,000

South Weber Budget

Account No.	Account Title	2018-19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
SEWER UTILITY FUND							
MISCELLANEOUS REVENUE							
52-36-100	Interest Earnings	57,231	52,169	15,409	11,616	20,000	13,000
Total Miscellaneous Revenue:		57,231	52,169	15,409	11,616	20,000	13,000
SEWER UTILITIES REVENUE							
52-37-300	Sewer Sales	909,221	951,848	1,001,420	1,031,104	1,050,000	1,030,000
52-37-360	CWDIS 5% Retainage	11,782	13,406	12,271	14,039	10,000	15,000
Total Sewer Utilities Revenue:		921,002	965,254	1,013,691	1,045,143	1,060,000	1,045,000
CONTRIBUTIONS & TRANSFERS							
52-38-820	Transfer from Sewer Impact	55,410	170,872	41,497	0	400,000	215,000
52-38-910	Capital Contributions	25,880	265,616	38,398	0	0	0
52-38-920	Gain Loss Sale of Assets	0	0	0	0	0	0
52-39-500	Contribution from Fund Balance	0	0	0	0	495,000	810,000
Total Contributions:		81,290	436,488	79,895	0	895,000	1,025,000
		1,059,523	1,453,910	1,108,995	1,056,760	1,975,000	2,083,000

SEWER UTILITY**EXPENDITURES**

52-40-110	Full-Time Employee Salaries - 1 FTE	61,000
52-40-120	Part-time Employee Salaries	0
52-40-130	Employee Benefit - Retirement	15,000
52-40-131	Employee Benefit-Employer FICA	5,000
52-40-133	Employee Benefit - Work. Comp.	3,000
52-40-134	Employee Benefit - UI	0
52-40-135	Employee Benefit - Health Ins.	27,000

South Weber Budget

52-40-140	Uniforms		1,000
	.85 FTE Public Works Uniform and Cleaning costs		
52-40-230	Travel and Training		4,000
	<i>Charges for conferences, educational materials, & employee travel</i>		
52-40-240	Office Supplies & Expense		3,000
	<i>Copier Supplies, Postage, and general office supplies</i>		
52-40-250	Equipment Supplies & Maint.		5,000
	<i>Upkeep or repair of equip. and oper. supplies, including pump repair</i>		
52-40-255	Vehicle Lease		0
52-40-256	Fuel Expense		2,000
52-40-270	Utilities		1,000
52-40-312	Professional/Technical-Engineering		21,000
	Engineering	6,000	
	DWQ Exception	10,000	
	SSMP Update	5,000	
52-40-325	GIS/ Mapping		2,000
52-40-350	Software Maintenance		
	<i>Software maintenance contracts</i>		3,000
	<i>Caselle</i>	3,000	
52-40-370	Utility Billing Services		9,000
	<i>% of services associated with the billing and collection of utility accounts</i>		
52-40-490	Sewer O & M Charge		50,000
	<i>Sewer system supplies and maintenance.</i>		
	<i>increase cleaning+15000</i>		
52-40-491	Sewer Treatment Fee		536,000
	<i>Central Weber Sewer Improvement District charges - 4% increase</i>		
52-40-550	Banking Charges		3,000
	<i>Bank charges and fees and credit card transaction fees</i>		
52-40-650	Depreciation		150,000
52-40-690	Projects		1,121,000
			0
	CIP Projects (Rebudgeted from FY 2021)	1,000,000	0

South Weber Budget

CFP/IFFP/IFA/Rate Study	50,000
Lift Station Generator (rebudgeted)	45,000
Confined Space Entry	20,000
Vehicles	6,000

52-40-915 Transfer to Admin Services 61,000

Account No.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
SEWER IMPACT FEE FUND							
Revenue							
21-37-100	Interest Earnings	7,125	10,894	3,296	2,269	0	0
21-37-200	Sewer Impact Fees	301,512	328,496	214,110	380,000	400,000	400,000
	Total Revenue	308,637	339,390	217,406	382,269	400,000	400,000
Contributions and Transfers							
21-39-500	Contribution From Fund Balance	0	0	0	0	0	0
	Total Contributions and Transfers	0	0	0	0	0	0
Expenditures							
21-40-490	Sewer Impact Fee Projects	0	0	0	0	0	0
21-40-760	Transfer to Sewer Fund	55,410	170,872	41,497	0	237,500 *	215,000
	Contribution to Fund Balance						185,000
	Total Expenditures	55,410	170,872	41,497	0	237,500	400,000
	Sewer Impact Fee Fund Revenue Total	308,637	339,390	217,406	382,269	400,000	400,000
	Sewer Impact Fee Fund Expenditure Tot	55,410	170,872	41,497	0	237,500	400,000
	Net Total Sewer Impact Fee Fund	253,227	168,519	175,909	382,269	162,500	0

Name South Weber		Fiscal Year Ended		6/30/2023
Part VII Enterprise Fund: Sewer				
Description (a)	Prior Year Actual (b)	Current Year Estimate (c)	Ensuing Year Approved Budget Appropriation (d)	
Operating Revenue				
Charge for Services	1,013,691	1,045,143	1,045,000	
Interest Earned	15,409	11,616	13,000	
Other:				
Other:				
Other:				
TOTAL OPERATING REVENUE	1,029,100	1,056,760	1,058,000	
Operating Expense				
Personnel Services	106,240	113,674	112,000	
Contractual Services	24,856	14,478	38,000	
Material and Supplies	26,297	43,227	65,000	
Depreciation	24,710	147,000	150,000	
Other: Sewer Treatment Fees	478,308	490,786	536,000	
Other: Administrative Services	41,600	43,000	61,000	
Other:				
TOTAL OPERATING EXPENSE	702,011	852,165	962,000	
Non-Operating Revenue (Expense) and Transfers				
Connection Fees				
Interest Expense				
Capital Contributions From Outside Sources	38,398	0	0	
Impact Fee Collected				
Other:				
NET INCOME (LOSS)	365,487	204,595	96,000	
Cash Operating Needs				
Net Income (Loss)	365,487	204,595	96,000	
Plus: Depreciation	130,374	130,000	143,000	
Plus: Capital Transfers From Sewer Impact Fee Fund	41,497	0	215,000	
Plus:				
Less: Major Improvements and Capital Outlay	15,000	12,000	1,121,000	
Less: Bond Principal Payments				
TOTAL CASH PROVIDED (REQUIRED)	522,358	322,595	(667,000)	
Source of Cash Required				
Cash Balance at Beginning of Year	2,902,934	3,345,572	3,668,167	
Sale of Investment and Other Current Assets				
Issuance of Bonds and Other Debt				
Loans from Other Funds				
Other:				
Other:				
TOTAL CASH PROVIDED (REQUIRED)	2,902,934	3,345,572	3,668,167	

Sanitation Utility Fund

The Sanitation Utility Fund is a major fund. It has been created to aid in improving and confirming the service delivery of solid waste sanitation. The City is progressively and continuously researching and implementing the most efficient and effective methods for constructing and maintaining the City's solid waste sanitation system; to include: (1) the prevention and spread of disease; (2) the deterrence of nuisances and damage to property; and (3) the minimizing of environmental pollution. South Weber City has contracted with Robinson Waste Services, Inc. for its solid waste sanitation removal service. However, the City's personnel manage and maintain the supply and distribution of all solid waste receptacles in the city.



South Weber Budget

Account No.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
SANITATION UTILITY							
53-40-110	Full-Time Employee Salaries	9,373	11,123	3,895	2,017	16,000	0
53-40-120	Part-time Employee Salaries	0	0	0	0	0	0
53-40-130	Employee Benefit - Retirement	2,040	(1,719)	(985)	367	4,000	0
53-40-131	Employee Benefit-Employer FICA	751	859	323	163	1,200	0
53-40-133	Employee Benefit - Work. Comp.	290	155	88	86	500	0
53-40-134	Employee Benefit - UI	0	0	0	0	0	0
53-40-135	Employee Benefit - Health Ins.	2,247	2,666	887	449	6,000	0
53-40-140	Uniforms	0	0	0	0	100	0
53-40-250	Equipment Supplies & Maint.	12,247	32,917	106	53,865	42,000	46,000
53-40-350	Software Maintenance	1,924	2,215	2,289	1,976	2,400	3,000
53-40-370	Utility Billing Services	3,544	3,985	4,306	3,866	4,300	4,000
53-40-492	Sanitation Fee Charges	299,500	380,441	377,257	427,379	410,000	435,000
53-40-550	Banking Charges	1,318	1,546	1,728	838	1,000	1,000
53-40-915	Transfer to Admin Services	26,500	27,500	27,500	36,000	36,500	38,000
53-40-900	Contribution to Fund Balance	0	0	0	0	0	0
		359,734	461,690	417,395	527,005	524,000	527,000

Account No.	Account Title	2018-19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
SANITATION UTILITY FUND							
MISCELLANEOUS REVENUE							
53-36-100	Interest Earnings	9,079	8,405	2,244	1,759	2,000	2,000
	Total Miscellaneous Revenue:	9,079	8,405	2,244	1,759	2,000	2,000
SANITATION UTILITIES REVENUE							
53-37-700	Sanitation Fees	359,362	469,449	500,257	518,585	496,000	525,000
	Total Sanitation Utilities Revenue:	359,362	469,449	500,257	518,585	496,000	525,000
MISCELLANEOUS							
53-38-920	Gain Loss Sale of Assets	0	0	0	0	0	0
53-39-500	Contribution from Fund Balance	0	0	0	0	26,000	0
	Total Miscellaneous:	0	0	0	0	26,000	0
		368,441	477,854	502,501	520,343	524,000	527,000

SANITATION UTILITY

53-40-110	Full-Time Employee Salaries - 0 FTE	0
53-40-120	Part-time Employee Salaries	0
53-40-130	Employee Benefit - Retirement	0
53-40-131	Employee Benefit-Employer FICA	0
53-40-133	Employee Benefit - Work. Comp.	0
53-40-134	Employee Benefit - UI	0
53-40-135	Employee Benefit - Health Ins.	0
53-40-140	Uniforms	0
53-40-240	Office Supplies & Expense	0
53-40-250	Equipment Supplies & Maint. <i>Purchase of 650 garbage cans</i>	46,000
53-40-255	Vehicle Lease	0
53-40-350	Software Maintenance <i>Software maintenance contracts</i>	3,000
53-40-370	Utility Billing Services <i>% of services associated with the billing and collection of utility accounts</i>	4,000
53-40-492	Sanitation Fee Charges <i>Collection and disposal fees</i>	435,000
53-40-550	Banking Charges Bank charges and fees and credit card transaction fees	1,000
53-40-650	Depreciation	0
53-40-915	Transfer to Admin Services	38,000

Storm Drain Utility Fund



Picture created by Racheal Stahlman and Sabra Morin in Vancouver

The Storm Drain Utility Fund is a major fund and certifies that the discharge of storm water pollutants is eliminated. The City is progressively and continuously researching and implementing the most efficient and effective methods for constructing and maintaining the City's storm water system in accordance with Utah Pollutant Discharge Elimination System (UPDES), National Pollutant Discharge Elimination System (NPDES), and the execution of the City's Municipal Storm Water System (MS4) permit.

The planning and engineering personnel oversee the long-range planning, design, and construction management of the storm water system improvements and extensions. South Weber City maintains 10 detention basins, 621 manhole covers, 530 storm drain grates, and 22.30 miles of storm drain pipe in the ground. Many of the city's detention basins have a joint use where they are also utilized for recreation and athletic programs.

The Public Works Department's mission is to aid in improving the quality of life for the residents of South Weber by working proactively as a team. This is also accomplished through research and implementation of the most efficient and effective methods for constructing and maintaining the storm drain system.

South Weber Budget

Account No.	Account Title	2017-18 Actual	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Estimate	2021 - 22 Budget	2021 - 22 Budget
STORM DRAIN							
54-40-110	Full-Time Employee Salaries	22,864	25,567	27,831	25,715	21,000	55,000
54-40-120	Part-time Employee Salaries	0	0	0	0	0	0
54-40-130	Employee Benefit - Retirement	4,857	5,068	737	5,882	5,000	11,000
54-40-131	Employee Benefit-Employer FICA	2,019	1,881	1,957	1,992	2,000	5,000
54-40-133	Employee Benefit - Work. Comp.	638	669	846	1,513	1,000	2,000
54-40-134	Employee Benefit - UI	300	0	0	0	0	0
54-40-135	Employee Benefit - Health Ins.	7,029	7,790	10,312	13,280	11,000	27,000
54-40-140	Uniforms	247	357	510	712	500	1,000
54-40-230	Travel and Training	1,430	42	1,250	1,500	2,000	2,000
54-40-250	Equipment Supplies & Maintenance	135	100	510	1,000	1,200	1,200
54-40-256	Fuel Expense	310	613	935	942	500	1,500
54-40-260	Grounds Maintenance	0	0	0	0	0	80,000
54-40-270	Utilities	0	0	0	150	300	300
54-40-312	Professional/Technical-Enginr	13,953	8,296	28,046	8,904	8,000	8,000
54-40-325	GIS/ Mapping	0	0	6,121	3,403	15,000	10,000
54-40-331	Promotions	1,155	1,155	0	1,200	1,200	1,200
54-40-350	Software Maintenance	1,569	1,924	4,689	2,188	5,300	4,800
54-40-370	Utility Billing Services	1,667	1,755	2,144	1,965	2,000	2,000
54-40-493	Storm Drain O & M	4,932	15,214	506	25,000	30,000	30,000
54-40-550	Banking Charges	862	665	824	453	1,000	1,000
54-40-650	Depreciation	121,724	142,728	188,991	190,000	150,000	200,000
54-40-690	Projects	379,973	221,902	20,343	26,174	26,000	6,000
54-40-900	Addition to Fund Balance	0	0	0	0	0	149,000
54-40-915	Transfer to Admin Services	6,200	20,500	21,000	26,000	26,000	43,000
		571,863	456,226	317,551	337,972	309,000	641,000

South Weber Budget

Account No.	Account Title	2018-19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
STORM DRAIN							
MISCELLANEOUS REVENUE							
54-33-400	State Grants	0	0	0	0	0	0
54-36-100	Interest Earnings	11,010	8,799	1,379	1,275	1,000	1,000
Total Miscellaneous Revenue:		11,010	8,799	1,379	1,275	1,000	1,000
STORM DRAIN UTILITIES REVENUE							
54-37-450	Storm Drain Revenue	178,843	189,131	199,398	201,522	239,000	640,000
Total Storm Drain Utilities Revenue:		178,843	189,131	199,398	201,522	239,000	640,000
54-34-270	Developer Pmts for Improvements	0	275,198	506	0	0	0
54-38-910	Capital Contributions	0	617,814	472,016	0	0	0
Total Contributions:		0	893,013	472,522	0	0	0
CONTRIBUTIONS AND TRANSFERS							
54-38-600	Transfer from Impact Fees	0	0	0	40,000	40,000	0
54-39-500	Contribution From Fund Bal	0	0	0	55,000	29,000	0
Total Contributions and Transfers		0	0	0	95,000	69,000	0
		189,852	1,090,942	673,300	297,797	309,000	641,000

STORM Drain**EXPENDITURE**

54-40-110	Full-time Employee Salaries - 1.5 FTE	55,000
54-40-120	Part-time Employee Salaries	0
54-40-130	Employee Benefit - Retirement	11,000
54-40-131	Employee Benefit-Employer FICA	5,000
54-40-133	Employee Benefit - Work. Comp.	2,000
54-40-134	Employee Benefit - UI	0
54-40-135	Employee Benefit - Health Ins.	27,000

South Weber Budget

54-40-140	Uniforms	
	.5 FTE Public Works Uniform and Cleaning costs	1,000
54-40-230	Travel and Training	
	<i>Charges for conferences, educational materials, & employee travel</i>	2,000
	State Certifications	500
	Training on new regulations	1,500
54-40-250	Equipment Supplies & Maint.	1,200
	<i>Upkeep or repair of equip. and oper. Supplies</i>	
54-40-255	Vehicle Lease	0
54-40-256	Fuel Expense	1,500
54-40-260	Grounds Maintenance	80,000
	<i>Maintenance of Detention Basins by Parks Dept.</i>	
54-40-270	Storm Drain - Power & Pumping	300
54-40-312	Professional/Technical-Engineering	8,000
	<i>Engineering Services</i>	
54-40-315	Professional/Technical - Auditor	0
54-40-325	GIS/ Mapping	10,000
54-40-331	Promotion - Storm Drain	1,200
	<i>Payment to Davis County Storm Drain for education of communication</i>	
54-40-350	Software Maintenance	4,800
	<i>Software maintenance contracts</i>	
54-40-370	Utility Billing Services	2,000
	<i>% of services associated with the billing and collection of utility accounts</i>	
54-40-493	Storm Drain O & M	30,000
	<i>Cleaning of drains, ponds, and boxes</i>	
54-40-550	Banking Charges	1,000
	<i>Bank charges and fees and credit card transaction fees</i>	
54-40-650	Depreciation	200,000
54-40-690	Projects	6,000

South Weber Budget

Vehicles

6,000

54-40-900 Addition to Fund Balance 150,000

54-40-915 Transfer to Admin Services 43,000

Name	South Weber	Fiscal Year Ended		6/30/2023
Part VII	Enterprise Fund: Storm Water			
Description (a)		Prior Year Actual (b)	Current Year Estimate (c)	Ensuing Year Approved Budget Appropriation (d)
	Operating Revenue			
	Charge for Services	199,398	201,522	640,000
	Interest Earned	1,379	1,275	1,000
	Other:			
	TOTAL OPERATING REVENUE	200,778	202,797	641,000
	Operating Expense			
	Personnel Services	42,192	49,094	101,000
	Contractual Services	41,824	18,113	27,000
	Material and Supplies	28,592	28,592	115,000
	Depreciation	188,991	190,000	200,000
	Other: Administrative Services	21,000	26,000	43,000
	Other:			
	Other:			
	TOTAL OPERATING EXPENSE	322,598	311,798	486,000
	Non-Operating Revenue (Expense) and Transfers			
	Connection Fees			
	Interest Expense			
	Capital Contributions From Outside Sources	506	0	0
	Other:			
	NET INCOME (LOSS)	(121,314)	(109,001)	155,000
	Cash Operating Needs			
	Net Income (Loss)	(121,314)	(109,001)	155,000
	Plus: Depreciation	188,991	190,000	200,000
	Plus: Capital Transfers From Impact Fee Fund	0	40,000	0
	Less: Major Improvements and Capital Outlay	20,343	26,174	6,000
	Less: Bond Principal Payments			
	TOTAL CASH PROVIDED (REQUIRED)	47,334	94,825	349,000
	Source of Cash Required			
	Cash Balance at Beginning of Year	265,949	383,580	478,405
	Sale of Investment and Other Current Assets			
	Issuance of Bonds and Other Debt			
	Loans from Other Funds			
	Other:			
	TOTAL CASH PROVIDED (REQUIRED)	265,949	383,580	478,405

South Weber Budget

Account No.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
STORM DRAIN IMPACT FEE							
Revenue							
22-37-100	Interest Earnings	378	1,016	1,016	93	0	0
22-37-200	Storm Drain Impact Fees	31,063	33,915	33,915	50,270	40,000	50,000
	Total Revenue	31,441	34,931	34,931	50,363	40,000	50,000
Contributions and Transfers							
22-39-500	Contribution From Fund Balance	0	0	0	0	0	0
	Total Contributions and Transfers	0	0	0	0	0	0
Expenditures							
22-40-690	Projects	0	0	0	0	0	0
22-80-800	Transfers	0	70,329	55,726	50,000	40,000 *	0
	Contribution to Fund Balance						50,000
	Total Expenditures	0	70,329	55,726	50,000	40,000	50,000
	Storm Drain Impact Fee Fund Revenue T	31,441	34,931	34,931	50,363	40,000	50,000
	Storm Drain Impact Fee Fund Expenditu	0	70,329	55,726	50,000	40,000	50,000
	Net Total Storm Drain Impact Fee Fund	31,441	(35,398)	(20,795)	363	0	0

Department Breakdowns

Legislative Department

The legislative authority of the City is held within a six-member Council, with one Council Member serving as Mayor, with no legislative voting power. The mission of the Legislative Services Department is to enact ordinances and resolutions, approve an annual budget and make other financial policy decisions, direct and supervise the City Manager, ensure that services are provided in a cost-effective manner, provide nominal compensation, as well as training and education for elected officials and Planning Commission members, and provide policy direction for the benefit of the City, its residents, and businesses. To accomplish these important objectives, it is acknowledged that ongoing preparation and planning is realized, relationship development with neighboring public officials is attained, and that private individuals and groups are encouraged to participate in the future growth of the City.

Furthermore, the Mayor and City Council are committed to providing for a Youth City Council in order to provide leadership training and service opportunities for the youth who reside in the City, as well as to the Planning Commission which provides recommendations and decisions regarding all land use ordinances and applications. The Youth City Council is comprised of up to 11 youth. The Planning Commission is made up of five Commissioners appointed by the Mayor with advice and consent of the City Council.

Annually, the City Council establishes strategic priorities which are outlined in the City's strategic plan. The City's goals and action plans are established within the five strategic objectives of public safety; infrastructure, equipment, and municipal services; fiscal sustainability and planning; community engagement; and employees. Regular evaluation and reporting take place among City staff and elected officials on the progress made within each strategic objective, including an annual report to the full City Council at the annual planning and budget retreat held each January. Specifically, one strategic goal is promoting water conservation through code by May 2022.



South Weber Budget

Account No.	Account Title	2018-19	2019 - 20	2020 - 21	2021 - 22	2021 - 22	2022 - 23
		Actual	Actual	Actual	Estimate	Budget	Budget
LEGISLATIVE							
10-41-005	Salaries - Council & Commissions	26,400	22,756	24,189	24,000	28,000	42,000
10-41-131	Employee Benefit-Employer FICA	2,020	1,741	1,850	1,836	2,200	3,300
10-41-133	Employee Benefit - Work. Comp.	657	263	599	998	700	2,000
10-41-140	Uniforms	43	0	0	0	300	0
10-41-210	Books, Subscriptions, Memberships	4,157	4,423	3,848	0	4,000	4,000
10-41-230	Travel & Training	7,206	2,038	6,224	885	12,600	13,000
10-41-240	Office Supplies and Expenses	178	49	7	90	200	200
10-41-494	Youth City Council	2,788	1,222	617	4,954	5,000	5,000
10-41-620	Miscellaneous	8,961	2,571	1,158	7,073	4,000	5,000
10-41-740	Equipment	0	0	0	5,055	0	0
10-41-925	Country Fair Days Donation	0	5,000	5,000	5,000	5,000	7,500
		52,408	40,063	43,492	49,893	62,000	82,000

LEGISLATIVE

10-41-005	Salaries - Council & Commissions <i>Mayor & City Council</i>	42,000
10-41-131	Employee Benefit-Employer FICA	3,300
10-41-133	Employee Benefit - Work. Comp.	2,000
10-41-140	Uniforms Councilmember shirts	0
10-41-210	Books, Subscriptions, Memberships ULCT Annual Membership Davis County Chamber of Commerce Membership	4,000 3,500 500
10-41-230	Travel and Training <i>Charges for conferences, educational materials, & employee travel</i> ULCT Fall Conference (6 councilmembers) Newly Elected Official Training ULCT St. George Conference (6 Council Members) Spring Retreat Misc.	13,000 2,500 500 6,000 2,000 2,000

South Weber Budget

10-41-240	Office Supplies and Expenses		200
10-41-370	Professional/Technical Service		0
10-41-494	Youth Council		5,000
	<i>11 members with Council Advisors</i>		
	ULCT Legislative Day		
	Youth Council Annual Conference		
	Community Events		
10-41-620	Miscellaneous		5,000
	Donation to Sunset Jr. High	200	
	Donation to Northridge	200	
	South Weber Elementary	200	
	Highmark	200	
	City Holiday Season Event	3,500	
	Other unclassified	700	
10-41-740	Equipment		0
10-41-925	Country Fair Days Donation		7,500

Judicial Department



The South Weber Justice Court was established in 1971 when the town changed into a City. Its mission is to improve the quality of life for the residents and non-residents who frequent the city. The Court has jurisdiction to adjudicate infractions and misdemeanors (Class B & C) when the violation occurred within city boundaries. Several law enforcement agencies issue citations into the South Weber Justice Court including Utah Highway Patrol, Davis County Sheriff's Office, and the Division of Wildlife Resources. Small claims cases which either occurred in the city or where the defendant resides in the city may also be heard if the suit is \$15,000 or under.

The South Weber Justice Court is dedicated to serving the public with respect and professionalism. The Judge is assisted in his duties by one court clerk and one assistant clerk. In order to ensure that the court is in compliance the State evaluates the Judge and staff by surveying the public, lawyers, and defendants. This occurs every four years. The latest re-certification took effect in 2020 and will continue till 2024. The Administrative Office of the Courts oversees Utah judicial matters and has found this court to be in full compliance with all standards, regulations, and guidelines. The court is a Class III Justice Court based on the volume of citations processed.

To provide consistent services the courts goal is to hold court twice a month. Due to COVID19, the court had to go from in person to video. The court still maintains court twice a month. The court will return to in person court based on direction from the Administrative Office of the Courts.



South Weber Budget

Account NO.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
JUDICIAL							
10-42-004	Judge Salary	13,735	9,648	14,923	13,647	15,000	16,000
10-42-110	Employee Salaries	30,216	32,812	33,524	31,500	35,000	0
10-42-130	Employee Benefit - Retirement	8,446	7,928	8,757	9,173	11,000	4,000
10-42-131	Employee Benefit-Employer FICA	3,327	3,138	3,600	3,670	4,000	2,000
10-42-133	Employee Benefit - Work. Comp.	82	182	378	649	500	500
10-42-134	Employee Benefit - UI	0	0	0	0	0	0
10-42-135	Employee Benefit - Health Ins.	11,067	11,726	11,147	12,162	13,000	0
10-42-210	Books/Subscriptions/Membership	493	644	20	508	600	700
10-42-230	Travel & Training	142	982	508	3,135	3,100	5,000
10-42-240	Office Supplies & Expense	560	858	1,013	1,538	600	600
10-42-280	Telephone	898	720	500	440	500	500
10-42-313	Professional/Tech. - Attorney	8,319	12,219	9,225	8,450	10,000	10,000
10-42-317	Professional/Technical-Bailiff	3,482	3,241	0	0	4,000	4,000
10-42-350	Software Maintenance	641	738	763	659	800	800
10-42-550	Banking charges	1,677	1,302	2,064	926	600	900
10-42-610	Miscellaneous	77	313	464	1,274	1,300	1,000
10-42-740	Equipment	0	2,684	0	0	0	0
10-42-980	State Treasurer Surcharge	2,519	0	0	0	0	0
		85,681	89,135	86,877	87,732	100,000	46,000

JUDICIAL

10-42-004	Judge Salary .1 FTE	16,000
10-42-120	Full-time Employee Salaries 0 FTE	0
10-42-130	Employee Benefit - Retirement	4,000
10-42-131	Employee Benefit-Employer FICA	2,000
10-42-133	Employee Benefit - Work. Comp.	500
10-42-134	Employee Benefit - UI	0
10-42-135	Employee Benefit - Health Ins.	0

South Weber Budget

10-42-210	Books/Subscriptions/Membership <i>Utah State Code books</i>	700
10-42-230	Travel and Training <i>Charges for conferences, educational materials, & employee travel</i>	5,000
	Admin. Office of Courts - Fall	2,400
	Admin. Office of Courts - Spring	1,400
	BCI Conference	700
	Judge	400
	Local training	100
10-42-240	Office Supplies & Expense Normal office supplies, postage and copying	600
10-42-243	Court Refunds	0
10-42-280	Telephone	500
10-42-313	Professional/Tech. - Attorney <i>Contracted Service for City Prosecutor & Public Defenders</i>	10,000
10-42-317	Professional/Technical-Bailiff <i>Contracted Service with County Sheriff's Office</i>	4,000
10-42-350	Software Maintenance <i>Software maintenance contracts</i>	800
10-42-550	Banking Charges <i>Bank charges and fees and credit card transaction fees</i>	900
10-42-610	Miscellaneous Interpreter and other miscellaneous	1,000
10-42-740	Equipment	0

Administrative Department



The Administrative Department's mission is to serve as the focal point of the City's day-to-day operations, provide support to all other City departments, and administer the programs and services of the City while implementing and enacting the policies of the Mayor and Council, carrying out directives of the City Manager through employee and contract relationships, and provide quality services to its residents and the businesses in South Weber City. The Administrative department is comprised of four full time and two part time employees and with assistance from other departments, the Administrative Department assures City services are provided efficiently within the budget adopted by the City Council. The administrative department created a new section of the city called Community Services. This department was up and running by July 2021.



South Weber Budget

Account No.	Account Title	2018 - 19	2019 - 20	2020 - 21	2021 - 22	2021 - 22	2022 - 23
		Actual	Actual	Actual	Estimate	Budget	Budget
ADMINISTRATIVE							
10-43-110	Full Time Employee Salaries	276,483	302,304	326,820	300,993	325,000	351,000
10-43-120	Part-time Employee Wages	36,551	35,720	59,703	34,577	73,000	64,000
10-43-130	Employee Benefit - Retirement	49,506	58,120	61,105	63,565	84,000	97,000
10-43-131	Employee Benefit-Employer FICA	23,374	25,206	28,678	28,315	31,000	32,000
10-43-133	Employee Benefit - Work. Comp.	2,535	1,524	3,539	5,082	3,200	7,000
10-43-134	Employee Benefit - UI	0	31	0	0	0	0
10-43-135	Employee Benefit - Health Ins.	67,864	68,910	65,324	64,024	68,000	74,500
10-43-136	HRA Reimbursement - Health Ins	3,300	3,300	3,300	3,150	3,500	3,500
10-43-137	Employee Testing	94	178	112	173	0	0
10-43-140	Uniforms	591	460	683	1,000	1,000	0
10-43-210	Books/Subscriptions/Membership	5,550	2,288	4,285	3,542	3,500	3,500
10-43-220	Public Notices	3,658	5,595	6,069	6,908	5,000	6,000
10-43-230	Travel and Training	9,637	6,473	3,725	17,738	20,000	20,000
10-43-240	Office Supplies & Expense	6,707	8,113	6,403	9,615	8,000	8,500
10-43-250	Equipment - Oper. Supplies and Maint.	2,876	4,933	3,629	4,586	5,500	6,500
10-43-256	Fuel Expense	87	39	189	147	300	0
10-43-262	General Government Buildings	9,012	6,897	7,093	7,420	7,500	7,500
10-43-270	Utilities	4,252	5,431	4,403	5,312	6,000	6,000
10-43-280	Telephone	10,055	13,377	16,673	16,435	18,000	18,000
10-43-308	Professional & Tech. - I.T.	11,299	12,643	13,079	13,707	13,000	33,000
10-43-309	Professional & Tech. - Auditor	10,000	10,000	12,500	24,000	12,000	15,000
10-43-312	Professional & Tech. - Engineer	149	89	0	258	0	0
10-43-313	Professional & Tech. - Attorney	16,238	29,205	129,640	53,327	100,000	70,000
10-43-314	Ordinance Codification	4,940	3,227	1,287	5,584	3,000	5,000
10-43-316	Elections	0	7,155	0	25,188	17,500	0
10-43-329	City Manager Fund	1,985	1,488	3,241	4,288	3,000	5,000
10-43-350	Software Maintenance	16,702	22,861	20,357	26,252	26,000	26,000
10-43-510	Insurance & Surety Bonds	41,331	40,993	43,495	45,773	44,000	46,000
10-43-550	Banking Charges	920	283	398	331	1,000	1,000
10-43-610	Miscellaneous	842	966	7,265	3,835	1,000	4,000
10-43-625	Cash over and short	3,661	-66	-98	0	0	0
10-43-740	Equipment	7,433	11,678	30,639	5,765	5,000	10,000
10-43-841	Transfer to Recreation Fund	0	97,500	70,000	75,000	75,000	75,000
10-43-910	Transfer to Cap. Proj. Fund	377,334	271,032	360,000	0	0	0
10-43-900	Addition to Fund Balance	0	0	0	0	0	109,000
		1,004,964	1,057,952	1,293,537	855,890	963,000	1,104,000

South Weber Budget

ADMINISTRATIVE

10-43-110	Full Time Employee Salaries <i>City Mgr., Finance Dir., Treasurer, and Recorder -4 FTE</i>	351,000
10-43-120	Part-time Employee Wages <i>Front Office (2), Recording Sec. - 2.25 FTE</i>	64,000
10-43-130	Employee Benefit - Retirement	97,000
10-43-131	Employee Benefit-Employer FICA	32,000
10-43-133	Employee Benefit - Work. Comp.	7,000
10-43-134	Employee Benefit - UI	0
10-43-135	Employee Benefit- Health Ins	74,500
10-43-136	HRA Reimbursement - Health Ins	3,500
10-43-137	Employee Testing	0
10-43-140	Uniforms <i>Once a year all employees receive an article of clothing with city logo</i>	0
10-43-210	Books/Subscriptions/Membership <i>Memberships in Professional Organizations and Subscriptions</i> UCMA, ICMA, AICPA, ULCT, UGFOA, Standard Examiner, etc.	3,500
10-43-220	Public Notices <i>Notices published in the Standard Examiner</i>	6,000
10-43-230	Travel & Training <i>Charges for conferences, educational materials, & employee travel</i>	20,000
	ULCT Spring and Fall Conferences	2,000
	UCMA Conference	1,000
	UGFOA Conference	1,500
	GFOA Conference	1,800
	UMCA	1,000
	UAPT	1,000
	ICMA Conference	3,000
	Caselle Conference	2,000
	City Manager Vehicle Allowance	5,000
	Other trainings - 1-2 day local	1,700

South Weber Budget

10-43-240	Office Supplies & Expense <i>Copier Supplies, Postage, and general office supplies</i>	8,500
10-43-250	Equipment - Operating Supplies and Maintenance <i>Upkeep or repair of equipment and operating supplies</i>	6,500
10-43-256	Fuel Expense	0
10-43-262	General Government Buildings <i>Maintenance of City Hall</i>	7,500
	Janitorial Services	3,000
	Fire Ext., flags, misc.	2,000
	Other	2,500
10-43-270	Utilities <i>Electricity, Natural Gas and Recycling expenses for City Hall</i>	6,000
10-43-280	Telephone <i>Comcast services and Cellphone Allowances</i>	18,000
10-43-308	Professional & Tech. - I.T.	33,000
	Executech	9,000
	Cybersecurity	20,000
	Website Hosting	3,000
	Other	1,000
10-43-309	Professional & Tech. - Auditor	15,000
10-43-310	Professional & Tech. - Planner (Moved to Community Services Dept.)	0
10-43-311	Professional & Tech. - Eco Dev/ Comm Fundraising (Moved to Community Services Dept.)	0
10-43-312	Professional & Tech. - Engineer (Moved to Community Services Dept.)	0
10-43-313	Professional & Tech. - Attorney	70,000
10-43-314	Ordinance Codification	5,000
10-43-316	Elections <i>Municipal Election run by County</i>	0
10-43-329	City Manager Fund <i>Special activities at City Manager's discretion</i>	5,000
10-43-350	Software Maintenance <i>Software maintenance contracts</i>	26,000

South Weber Budget

	Caselle Software	3,000	
	Laserfiche	1,600	
	Strategic Plan Software	3,000	
	ArchiveSocial	2,400	
	Office 365/email/backup	15,000	
	Domain Name/ Misc.	1,000	
10-43-510	Insurance & Surety Bonds		46,000
	<i>General Liability and Property Insurance</i>		
10-43-550	Banking Charges		1,000
	<i>Bank charges and fees and credit card transaction fees</i>		
10-43-610	Miscellaneous		4,000
	<i>Unclassified unanticipated expenses</i>		
10-43-625	Cash over and short		0
10-43-740	Equipment Purchases		10,000
	<i>Computer upgrades and software</i>	10,000	
10-43-841	Transfer to Recreation Fund		75,000
10-43-910	Transfer to Capital Projects Fund		0
10-43-900	Addition to Fund Balance		109,000

Public Safety Department



South Weber City contracts for public safety services through an interlocal agreement with the Davis County Sheriff's Office (DCSO) for Law & Alcohol Enforcement, Animal Control, and other related public safety services. The DCSO also provides the City with emergency planning and management services. South Weber City and DCSO are continually seeking new methods of ingenuity and resourcefulness to maintain a level of service that will ensure a gratifying quality of life, safety, and security for our community.



South Weber Budget

Account No.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
PUBLIC SAFETY							
10-54-310	Sheriff's Department	140,714	227,622	227,622	232,682	230,000	266,000
10-54-311	Animal Control	19,289	20,027	20,787	20,950	22,000	25,000
10-54-320	Emergency Preparedness	238	0	4,969	25,000	74,000	57,000
10-54-321	Liquor Law (Narcotics)	5,579	0	7,123	5,200	7,000	7,000
		165,820	247,649	260,500	283,832	333,000	355,000

PUBLIC SAFETY

10-54-310	Sheriff's Department					266,000	
	Sheriff's office & Narcotics Strike Team						
	Sheriff Contract				260,000		
	Davis Metro Narcotics Strike Force				6,000		
10-54-311	Animal Control					25,000	
	Contracted Services with Davis Animal Control						
10-54-320	Emergency Preparedness					57,000	
	CERT Program				5,000		
	BRIC Grant Hazard Mitigation Plan				48,000		
	FEMA Grant Application				2,000		
	Miscellaneous				2,000		
10-54-321	Liquor Law (Narcotics)					7,000	
	<i>Liquor Funds Transferred to County for Enforcement</i>						

South Weber Budget

Account No.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
PUBLIC SAFETY IMPACT FEE FUND							
Revenue							
29-37-200	Public Safety Impact Fees	12,636	14,112	10,288	9,627	12,000	12,000
	Total Source: 34:	12,636	14,112	10,288	9,627	12,000	12,000
Revenue							
29-39-500	Contribution From Fund Balance	0	716	96	0	0	0
29-37-100	Interest Earnings	811	168	109	77	0	0
	Total Revenue	13,448	14,996	10,494	9,705	12,000	12,000
Contributions and Transfers							
29-80-800	Transfer to General Fund	12,636	14,996	10,494	9,700	12,000 *	12,000
	Total Contributions and Transfers	12,636	14,996	10,494	9,700	12,000	12,000
	Revenue Total	13,448	14,996	10,494	9,705	12,000	12,000
	Expenditure Total	12,636	14,996	10,494	9,700	12,000	12,000
	Net Total	812	0	(0)	5	0	0

* Fire Station Bond Payment \$12,000

Fire Department

The Mission of the South Weber City Fire Department is to protect lives, preserve property, and stabilize incidents involving fire, medical emergencies, and other dangerous conditions. The South Weber City Fire Department is dedicated to sustaining the health, safety, and wellness of the residents of South Weber City.

The Fire Departments Core Values are:

To **Prepare** effectively for Fire and Emergency Medical Response (EMS).

To **Engage** in bettering the community we serve.

To **Affect** the lives of those we serve in a positive manner.

To **Respond** professionally always.

To **Live** and uphold the oath of which we are sworn.

The South Weber City Fire Department is a full-time department operated by a part-time staff with a geographic response area of the city, that includes Highway 89, Interstate 84, and the Weber Basin Job Corps. The South Weber City Fire Department is committed to the assistance of neighboring cities, counties, and Hill Air Force Base through mutual aid agreements.



To ensure effective staffing, we measure performance. This is done in two main ways. The first is our response time requirements. Every month response times are reviewed to ensure the standards are being met. Second, the fire chief meets with the Medical Control Doctor and EMS Captains to review calls for the quality of care that is being received. We pull up records, evaluate them and make sure our staff is providing the best care possible.



Past years paramedic service has been contracted through Davis County. Beginning in 2021 the Fire department began bringing on paramedic service. This was fully implemented by the end of 2021. This will result in faster response time and will increase the service and safety of the community.

South Weber Budget

Account No.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
FIRE							
10-57-110	Full-time Employee Wages	0	0	0	0	0	105,000
10-57-120	Part-time Employee Salaries	356,881	408,365	458,056	551,348	510,000	580,000
10-43-130	Employee Benefit - Retirement	0	0	0	0	0	22,000
10-57-131	Employee Benefit-Employer FICA	26,702	30,904	34,645	38,632	39,000	53,000
10-57-133	Employee Benefit - Work. Comp.	12,437	7,635	19,959	31,936	20,000	32,000
10-57-134	Employee Benefit - UI	0	0	0	0	0	0
10-58-135	Employee Benefit - Health Ins.	0	0	0	0	0	27,000
10-57-137	Employee Testing	336	450	451	866	1,000	1,000
10-57-140	Uniforms	3,493	8,634	2,969	10,147	8,500	12,000
10-57-210	Books/Subscriptions/Membership	572	400	472	800	1,000	1,000
10-57-230	Travel and Training	10,217	5,296	4,100	8,601	8,500	37,000
10-57-240	Office Supplies & Expense	523	1,042	837	2,515	2,500	2,500
10-57-250	Equipment Supplies & Maint.	18,673	24,107	28,041	25,643	24,000	24,000
10-57-256	Fuel Expense	4,733	3,078	3,158	3,821	4,000	6,000
10-57-260	Building Supplies and Maint.	8,997	11,582	16,586	15,979	16,000	16,000
10-57-270	Utilities	8,066	8,917	9,069	5,797	7,000	7,000
10-57-280	Telephone	7,018	7,645	8,448	10,044	9,000	9,000
10-57-350	Software Maintenance	641	1,823	8,123	3,404	8,500	8,500
10-57-370	Professional & Tech. Services	19,141	21,911	17,829	21,865	18,000	35,000
10-57-450	Special Public Safety Supplies	53,608	24,722	27,117	31,563	30,000	30,000
10-57-530	Interest Expense - Bond	7,870	7,127	6,419	4,949	5,000	5,000
10-57-550	Banking Charges	317	273	270	222	500	500
10-57-622	Health & Wellness Expenses	131	0	0	89	1,500	1,500
10-57-740	Equipment Costing over \$500	0	5,092	3,018	10,000	10,000	5,000
10-57-811	Sales Tax Rev Bond - Principal	24,640	24,360	25,480	27,000	27,000	27,000
		564,994	603,363	675,048	805,221	751,000	1,047,000

FIRE

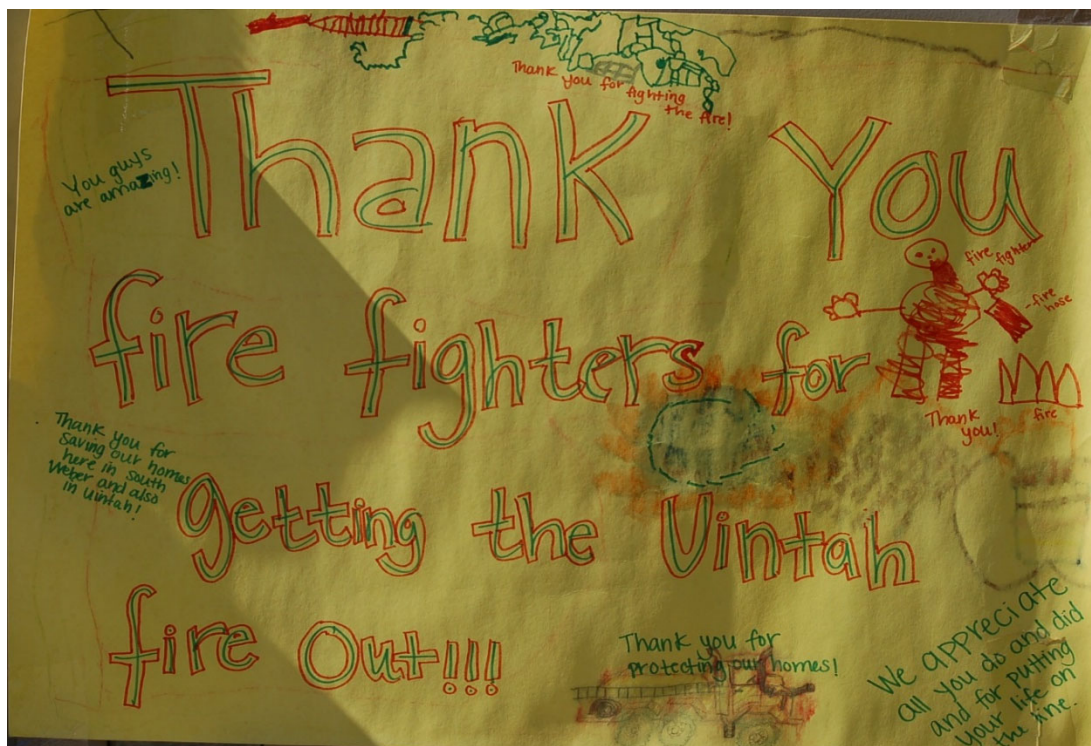
10-57-110	Full-time Employee Wages Chief	105,000
10-57-120	Part-time Employee Wages 6 Captains, Paramedics & Firefighters - 11 FTE	580,000

South Weber Budget

10-57-131	Employee Benefit-Employer FICA	53,000
10-43-130	Employee Benefit - Retirement	11,745
10-57-133	Employee Benefit - Work. Comp.	32,000
10-57-134	Employee Benefit - UI	0
10-58-135	Employee Benefit - Health Ins.	27,000
10-57-137	Employee Testing	1,000
10-57-140	Uniforms	12,000
10-57-210	Books, Subscriptions, and Memberships <i>Memberships in Professional Organizations and Subscriptions</i>	1,000
10-57-230	Travel and Training	37,000
	Winter Fire School	3,500
	Fire Certifications & Recertifications	1,500
	Fire Prevention	1,000
	Outside Fire Training	5,000
	Miscellaneous	1,000
	Wildlands - Reimbursable	25,000
10-57-240	Office Supplies & Expense <i>Copier Supplies, Postage, and general office supplies</i>	2,500
10-57-250	Equipment Supplies & Maint. <i>Upkeep or repair of equip. and oper. supplies, including fuel and oil</i>	24,000
10-57-256	Fuel Expense	6,000
10-57-260	Building Supplies and Maint. <i>Upkeep of Fire Station</i>	16,000
10-57-270	Utilities <i>Electricity and Natural Gas expenses</i>	7,000
10-57-280	Telecom Cable, air cards and cellphone expenses	9,000
10-57-350	Software Maintenance <i>Software maintenance contracts</i>	8,500

South Weber Budget

	Caselle Software	1,000	
	Image Trend (New NFIRS software & setup)	4,900	
	ISPYFire	500	
	Crewsense	2,100	
10-57-370	Professional & Tech. Services		35,000
	Medical Director	8,000	
	Dispatch Fees	10,000	
	Fire Boss	17000	
10-57-450	Special Public Safety Supplies		30,000
	Supplies purchased which are peculiar to the Fire department. <i>Includes turnouts, hoses, EMT supplies, etc.</i>		
10-57-530	Interest Expense - Bond		4,900
	28% Fire, 72% Recreation - (Impact Fees when available)		
10-57-550	Banking Charges		500
10-57-622	Health & Wellness Expenses		1,500
	Peer Support		
10-57-740	Equipment Costing Over \$500		5,000
10-57-811	Sales Tax Rev Bond - Principal		26,600
	28% Fire, 72% Recreation		



Community Services Department

(formerly Planning & Zoning)

South Weber City Community Services provides for the short and long-range planning of South Weber City. This department in prior years was called Planning and Zoning. This budget includes the creation of the Community Services Director position, the removal of the contracted planner position, and the transition of code enforcement, human resources, emergency management, crossing guard program, and risk management from the Administrative department. The department includes two full time and one part time employee. Zoning services are comprised of both full-time and contracted personnel. The South Weber City Building Official Officer is charged with assisting citizens and business groups with compliance to the City's code, standards, ordinances, and permitting process for the regulation of building construction; and working with developers and contractors through the development process for the successful achievement of their project goals. South Weber City has contracted with Jones & Associates Consulting Engineers for engineering services.



South Weber Budget

Account No.	Account Title	2018 - 19	2019 - 20	2020 - 21	2021 - 22	2021 - 22	2022 - 23
		Actual	Actual	Actual	Estimate	Budget	Budget
Community Services							
10-58-110	Full-time Employee Salaries	98,465	89,769	100,490	160,035	160,000	236,000
10-58-120	Part-time Employee Salaries	14,567	48,317	2,898	34,463	35,000	74,000
10-58-130	Employee Benefit - Retirement	19,608	24,362	18,901	38,889	40,000	64,000
10-58-131	Employee Benefit-Employer FICA	8,308	11,733	8,051	13,785	15,000	24,000
10-58-133	Employee Benefit - Work. Comp.	2,031	1,132	1,435	5,629	3,000	8,000
10-58-134	Employee Benefit - U.I.	0	0	0	0	0	0
10-58-135	Employee Benefit - Health Ins.	15,147	8,384	8,055	34,079	35,000	53,000
10-58-137	Employee Testing	228	230	142	23	0	0
10-58-140	Uniforms	1,522	1,026	1,019	1,274	1,200	3,200
10-58-210	Books/Subscriptions/Membership	40	3,338	205	532	500	1,000
10-58-230	Travel & Training	1,325	1,824	1,224	10,766	11,500	19,000
10-58-240	Office Supplies	0	0	0	500	0	8,000
10-58-250	Equipment Supplies & Maint.	6,730	4,564	8,415	4,926	4,000	5,000
10-58-255	Vehicle Lease	0	0	0	0	0	0
10-58-256	Fuel Expense	1,173	128	1,112	1,724	1,000	3,000
10-58-280	Telephone	1,085	2,230	1,440	1,350	1,800	1,800
10-58-310	Professional & Tech. - Planner	11,560	17,553	25,050	0	0	0
10-58-312	Professional & Tech. - Engineer	66,589	90,478	59,795	49,268	60,000	55,000
10-58-319	Professional & Tech. - Subd. Reviews	69,359	58,358	72,742	66,565	60,000	60,000
10-58-326	Professional & Tech. - Inspections	0	41,250	38,955	32,925	40,000	40,000
10-58-325	GIS/ Mapping	0	9,072	10,229	12,226	15,000	12,000
10-58-350	Software Maintenance	3,259	2,183	2,180	16,160	13,000	17,000
10-58-370	Professional & Tech. Services	946	12	50	0	0	0
10-58-380	Abatements	0	0	0	0	0	10,000
10-58-620	Miscellaneous	0	2,572	79	0	0	9,500
10-58-740	Equipment	0	0	202	4,954	0	2,500
		321,941	418,515	364,835	490,074	496,000	706,000

Community Services

10-58-110 Full-time Employee Salaries - 3 FTE 236,000
Community Services Director, Public Works Director, Development Coordinator

South Weber Budget

10-58-120	Part-time Employee Salaries 5 Planning Commission Members, Code Enforcement Officer, Community Relations Assistant	74,000
10-58-130	Employee Benefit - Retirement	64,000
10-58-131	Employee Benefit-Employer FICA	24,000
10-58-133	Employee Benefit - Work. Comp.	8,000
10-58-134	Employee Benefit - UI	0
10-58-135	Employee Benefit - Health Ins.	53,000
10-58-137	Employee Testing	0
10-58-140	Uniforms	3,200
	1 FTE Public Works Uniform and Cleaning costs	1,200
	Dec Shirts & New Employee	2,000
10-58-210	Books/Subscriptions/Membership <i>Memberships in Professional Organizations and Subscriptions</i> Building Code books (updated every three years) ICC memberships - National, State & local	1,000
10-58-230	Travel and Training <i>Charges for conferences, educational materials, & employee travel</i> ULCT fall conf - Planning commission Land Use Academy of Utah(LUAU) Utah Land Use Institute UCICC (2) Misc. Planning Commission & Director ICC Training - Dev. Coord. 3CMA & PIO Training IWorQ	19,000 1,500 800 2,000 2,000 5,000 5,000 2,500 200
10-58-240	Office Supplies City Mailers & Inserts	8,000 8,000
10-58-250	Equipment Supplies & Maint. <i>Upkeep or repair of equip. and oper. Supplies</i>	5,000
10-58-255	Vehicle Lease	0

South Weber Budget

Department share based on FTE

10-58-256	Fuel Expense		3,000
10-58-280	Telephone		1,800
10-58-310	Professional & Tech. - Planning BRIC		0
10-58-311	Professional & Tech. - Eco Dev/ Comm Fundraising (Moved from Administrative Dept.)		0
10-58-312	Professional & Tech. - Engineer (Moved from Administrative Dept.)		55,000
10-58-319	Professional & Tech. - Subd. Review (Moved from Administrative Dept.)		60,000
10-58-325	GIS/ Mapping		12,000
10-58-326	Professional & Tech. - inspections		40,000
10-58-350	Software Maintenance		17,000
	<i>Caselle</i>	5,000	
	<i>HR & Payroll</i>	12,000	
10-58-370	Professional & Tech.		0
10-58-380	Abatements		10,000
10-58-620	Miscellaneous		9,500
	Community Building Events	3,000	
	Social Media Boosts	2,000	
	Swag	3,000	
	Text Service	1,500	
10-58-740	Equipment		2,500
	Equipment	2,500	

Streets Department

The South Weber City Streets Department oversees the maintenance of city streets, public rights of way, and safeguards the streets to be free from hazards. The Streets Department is accountable for maintaining the specific street and roadway certification levels of city employees to ensure that contemporary best practices are implemented and observed for the delivery of safe transportation. The Streets Department provides motorists travelling in South Weber City with safe roadways by means of snow removal and hazard free rights of way. In the FY 2018–2019 Budget, the Transportation Utility Fund (TUF) was created for maintaining street infrastructure. Many of the previous costs associated with the Street Department and Class “C” budgets are now in the Transportation Utility Fund (TUF).

To ensure goals are being met the City tracks streets through a program called iWorQ. This program calculates how long the streets will last and when they will need to be replaced. This program also helps determine what needs to be maintained in order to push the replacement date back. This helps to decrease cost while keeping streets smooth. Currently, the City is working on a few road replacements. These roads are projected to get done by the end of the fiscal year.

Public Works oversees the streets department. They have one staff that monitors streets, fills potholes, puts up street signs and organizes snowplows. When needed, other staff from other areas assist.



South Weber Budget

Account No.	Account Title	2019 - 20 Actual	2020 - 21 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
STREETS							
10-60-110	Full-Time Employee Salaries	40,889	41,925	37,057	46,378	59,000	46,000
10-60-120	Part-Time Employee Salaries	14,868	11,820	16,022	17,403	24,000	31,000
10-60-130	Employee Benefit - Retirement	7,649	8,081	7,537	9,652	13,000	10,000
10-60-131	Employee Benefit-Employer FICA	4,171	4,025	4,115	5,025	6,400	6,000
10-60-133	Employee Benefit - Work. Comp.	708	1,378	2,382	2,820	2,400	3,000
10-60-134	Employee Benefit - UI	0	0	0	0	0	0
10-60-135	Employee Benefit - Health Ins.	6,623	2,640	3,994	4,916	10,000	0
10-60-137	Employee Testing	457	150	38	76	400	400
10-60-140	Uniforms	1,026	870	1,562	2,727	800	800
10-60-230	Travel & Training	465	160	415	915	2,000	2,000
10-60-250	Equipment Supplies & Maint.	9,484	9,616	3,557	5,336	6,000	6,000
10-60-255	Vehicle Lease	0	0	0	0	0	0
10-60-256	Fuel Expense	3,831	1,678	1,067	1,788	4,600	5,600
10-60-260	Buildings & Grounds - Shop	2,184	2,764	6,294	1,250	5,000	3,000
10-60-271	Utilities - Streetlights	48,659	40,446	19,495	35,946	60,000	45,000
10-60-312	Professional & Tech. - Engineer	16,006	8,965	5,683	15,450	20,000	20,000
10-60-325	GIS/ Mapping	6,530	8,965	331	2,331	10,000	5,000
10-60-350	Software Maintenance	738	763	395	1,329	3,000	3,000
10-60-370	Professional & Tech. Services	0	0	0	0	500	400
10-60-410	Special Highway Supplies	17,328	15,105	17,821	33,842	15,000	35,000
10-60-411	Snow Removal Supplies	31,394	25,489	19,249	27,512	35,000	45,000
10-60-415	Mailboxes and Street Signs	8,835	6,932	2,191	7,191	10,000	20,000
10-60-416	Streetlights	3,842	39,400	11,392	15,712	20,000	20,000
10-60-420	Weed Control	338	0	180	360	1,500	1,500
10-60-422	Crosswalk/Street Painting	0	2,742	0	0	5,000	5,000
10-60-424	Curb & Gutter Restoration	0	0	0	0	0	0
10-60-550	Banking Charges	273	270	130	222	400	300
10-60-740	Equipment	0	0	0	0	0	0
		226,299	234,183	160,907	238,183	314,000	314,000

South Weber Budget

STREETS

10-60-110	Full-Time Employee Salaries - 1 FTE	46,000
10-60-120	Part-Time Employee Salaries - .77 FTE	31,000
10-60-130	Employee Benefit - Retirement	10,000
10-60-131	Employee Benefit-Employer FICA	6,000
10-60-133	Employee Benefit - Work. Comp.	3,000
10-60-134	Employee Benefit - UI	0
10-60-135	Employee Benefit - Health Ins.	0
10-60-137	Employee Testing	400
10-60-140	Uniforms .75 FTE Public Works Uniform and Cleaning costs	800
10-60-230	Travel and Training <i>Charges for conferences, educational materials, & employee travel</i> Road School Misc.	2,000 1,500 500
10-60-250	Equipment Supplies & Maint. <i>Upkeep or repair of equip. and oper. Supplies</i>	6,000
10-60-255	Vehicle Lease <i>Department share based on FTE</i>	0
10-60-256	Fuel Expense	5,600
10-60-260	Buildings & Grounds - Shop <i>33% of Shop building and grounds maintenance</i>	3,000
10-60-271	Utilities - Street Lights <i>Power & Repair</i>	45,000
10-60-312	Professional & Tech. - Engineer New Development	20,000 20,000
10-60-325	GIS/ Mapping	5,000

South Weber Budget

10-60-350	Software Maintenance <i>Software maintenance contracts</i>	3,000
10-60-370	Professional & Tech. Services Other	400 400
10-60-410	Special Highway Supplies Sweeping (3 times a year) Barricades Repairs	35,000
10-60-411	Snow Removal	45,000
10-60-415	Mailboxes and Street Signs <i>Developer paid mailboxes and signs</i>	20,000
10-60-416	Streetlights <i>New streetlights - both city and developer paid</i>	20,000
10-60-420	Weed Control	1,500
10-60-422	Crosswalk/Street Painting	5,000
10-60-550	Banking Charges <i>Bank charges and fees and credit card transaction fees</i>	300
10-60-745	Equipment	0

South Weber Budget

Account No.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 0
ROAD IMPACT FEE FUND							
Revenue							
24-37-100	Interest Earnings	7,066	8,501	332	438		0
24-37-200	Road Impact Fees	69,865	195,104	250,762	209,740	140,000	140,000
	Total Revenue	76,931	203,606	251,094	210,178	140,000	140,000
Contributions and Transfers							
24-39-500	Contribution From Fund Balance	0	0	0	0	0	0
	Total Contributions and Transfers	0	0	0	0	0	0
Expenditures							
24-40-760	Transfers	0	518,058	234,338	140,000	140,000 *	140,000
	Total Expenditures	0	518,058	234,338	140,000	140,000	140,000
	Road Impact Fee Fund Revenue Total	76,931	203,606	251,094	210,178	140,000	140,000
	Road Impact Fee Fund Expenditure Total	0	518,058	234,338	140,000	140,000	140,000
	Net Road Impact Fee Fund	76,931	(314,452)	16,756	70,178	0	0

* Transfer to Reimburse Old Fort Road project Class 'C'

Parks Department



The South Weber City Parks department sustains the operations and maintenance of approximately 50 acres of parks throughout the city. The Parks Department is commissioned to beautifying park land by providing the citizens with quality parks, trails, and green open spaces. It is the goal of the Parks Department to enhance each park facility with amenities that are complimentary to the enjoyment of the community; and to enhance the personal, societal, recreational, and economical benefits that affect citizens and visitors in their pursuit of peaceful, enjoyable leisure. South Weber City continues to invest in safe trails, park play equipment, and improved recreational fields that will provide enriched recreational activities for people of all ages and abilities.

The measurement of success is done through state safety inspections, community feedback, and maintenance checks. To ensure these measurements public works teams up with recreation. Public works staffs for the maintenance with two full employees and two part time employees. Recreation provides the sports and activities as well as the feedback for what needs to be updated and changed.

Currently, the City is working with the community to install eight pickleball courts, a BMX track, and a basketball court. The City is projected to complete these projects in June 2022.



South Weber Budget

Account No.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
PARKS							
10-70-110	Full-Time Employee Salaries	53,177	74,815	116,560	131,879	108,000	96,000
10-70-120	Part-time Employee Salaries	3,040	3,828	16,548	7,563	14,000	9,000
10-70-130	Employee Benefit - Retirement	9,521	13,286	21,431	27,534	22,000	18,000
10-70-131	Employee Benefit-Employer FICA	4,089	5,803	10,311	11,618	10,000	8,000
10-70-133	Employee Benefit - Work. Comp.	1,380	885	3,355	6,035	4,000	4,000
10-70-134	Employee Benefit - UI	0	0	0	0	0	0
10-70-135	Employee Benefit - Health Ins.	17,201	17,668	22,060	37,842	60,000	37,000
10-70-137	Employee Testing	501	188	800	150	400	400
10-70-140	Uniforms	2,240	2,263	2,374	2,856	2,700	2,700
10-70-230	Travel & Training	52	1,585	757	3,305	4,000	4,000
10-70-250	Equipment Supplies & Maint.	11,978	15,774	12,276	12,011	15,000	15,000
10-70-255	Vehicle Lease	0	0	0	0	0	0
10-70-256	Fuel Expense	3,991	3,850	4,956	3,799	5,000	6,000
10-70-260	Buildings & Grounds - Shop	194	1,689	2,811	1,415	5,000	3,000
10-70-261	Grounds Supplies & Maintenance	34,148	37,530	46,439	30,411	39,000	39,000
10-70-270	Utilities	5,534	11,401	11,786	9,430	8,000	9,000
10-70-280	Telephone	308	1,008	801	1,563	1,600	1,600
10-70-312	Professional & Tech. - Engineer	19,835	38,910	23,156	12,597	20,000	19,000
10-70-350	Software Maintenance	641	738	763	829	1,000	1,000
10-70-430	Trail Maintenance	0	3,500	1,393	0	0	20,000
10-70-550	Banking Charges	198	273	270	211	300	300
10-70-626	UTA Park and Ride	17,639	11,109	4,128	5,280	15,000	15,000
10-70-740	Equipment	33,564	1,639	0	10,000	10,000	0
	Storm Drain Detention Reimbursement						(80,000)
		219,230	247,741	302,976	316,329	345,000	228,000

PARKS

10-70-110	Full-Time Employee Salaries - 2 FTE	96,000
10-70-120	Part-time Employee Salaries - .3 FTE	9,000
10-70-130	Employee Benefit - Retirement	18,000
10-70-131	Employee Benefit-Employer FICA	8,000
10-70-133	Employee Benefit - Work. Comp.	4,000

South Weber Budget

10-70-134	Employee Benefit - UI	0
10-70-135	Employee Benefit - Health Ins.	37,000
10-70-137	Employee Testing	400
10-70-140	Uniforms Uniform and Cleaning costs	2,700
10-70-230	Travel & Training <i>Charges for conferences, educational materials, & employee travel</i> Playground Equipment Certification (URPA) (2) Utah Recreation & Parks Assoc. Conference (2)	4,000 1,000 3,000
10-70-250	Equipment Supplies & Maint. <i>Upkeep or repair of equipment and operating supplies</i>	15,000
10-70-255	Vehicle Lease <i>Department share based on FTE</i>	0
10-70-256	Fuel Expense	6,000
10-70-260	Buildings & Grounds - Shop <i>33% of Shop building and grounds improvements</i>	3,000
10-70-261	Grounds Supplies & Maintenance <i>Upkeep and repair of park grounds and structures</i>	39,000
10-70-270	Utilities <i>Electricity and Secondary Water expenses</i> Electricity Water	9,000 6,000 3,000
10-70-280	Telephone	1,600
10-70-312	Professional & Tech. - Engineer	19,000
10-70-350	Software Maintenance <i>Software maintenance contracts</i>	1,000
10-70-430	Trail Maintenance Service maintenance (new)	20,000 20,000
10-70-435	Safety Incentive Program	0

South Weber Budget

10-70-550	Banking Charges	300
	<i>Bank charges and fees and credit card transaction fees</i>	
10-70-626	UTA Park and Ride	15,000
	Dumpsters and trash removal, lights, snow removal and repairs	
10-70-740	Equipment Purchases	0
	Storm Drain Detention Reimbursement	(80,000)

Account No.	Account Title	2018 - 19 Actual	2019 - 20 Actual	2020 - 21 Actual	2021 - 22 Estimate	2021 - 22 Budget	2022 - 23 Budget
PARK IMPACT FEE FUND							
Revenue							
23-37-100	Interest Earnings	7,561	10,579	3,628	3,314	1,000	1,000
23-37-200	Park Impact Fees	210,368	234,752	148,816	120,784	165,000	120,000
	Total Revenue	217,930	245,331	152,444	124,098	166,000	121,000
Contributions and Transfers							
23-39-900	Contribution From Fund Balance	0	0	0	760,000	777,000	0
	Total Contributions and Transfers	0	0	0	760,000	777,000	0
Expenditures							
23-40-760	Transfers	0	0	32,954	884,000	943,000	121,000
	Total Expenditures	0	0	32,954	884,000	943,000	121,000
	Park Impact Fee Fund Revenue Total	217,930	245,331	152,444	884,098	943,000	121,000
	Park Impact Fee Fund Expenditure Total	0	0	32,954	884,000	943,000	121,000
	Net Total Park Impact Fee Fund	217,930	245,331	119,490	98	0	0

Glossary

The Annual Budget contains specialized and technical terminology that is unique to public finance and budgeting. To assist the reader of the Annual Budget document in understanding these terms, a budget glossary has been included in the document.

<u>Accrual Basis:</u>	A method of accounting that recognizes revenues when earned and expenses when incurred, regardless of when cash is received or paid.
<u>Appropriation:</u>	An authorization made by the City Council which permits the City to incur obligations and to make expenditures of resources.
<u>Audit:</u>	A review of financial reports to determine compliance with applicable laws, regulations, and/or statements performed by an independent accounting firm.
<u>Balanced Budget:</u>	A financial plan of operation in which revenues (sources) equals expenditures (uses) for the fiscal year. All individual funds must have a balanced budget. Some funds may be balanced by using fund balance as a source of revenue. A balanced budget is required of municipalities by State Law (municipal code 10-6-110). 317
<u>Baseline Budget:</u>	Maintenance level budget adjusted for revenue constraints. Some service levels are adjusted.
<u>Benefits:</u>	Payments made on behalf of employees for such items as retirement and health insurance.
<u>Bonds:</u>	Governments issue bonds primarily to finance long term assets, such as buildings, roads, highways, and utility systems.
<u>Budget:</u>	Financial plan for a specified period of time (fiscal year) that matches all planned revenues and expenditures for various municipal services.
<u>Budget Adjustment:</u>	A legal procedure utilized by the City staff and City Council to revise a budget appropriation.
<u>Budget Calendar:</u>	The schedule of key dates or milestones which the City departments follow in the preparation, adoption, and administration of the budget.

<u>Budget Message:</u>	The opening section of the budget which provides the City Council and the public with a general summary of the most important aspects of the budget, changes from the current and previous fiscal years, and the views and recommendations of the Mayor and Council.
<u>Capital Expenditures:</u>	Expenditures to acquire fixed assets or to fund major capital improvements.
<u>Capital Improvement Program:</u>	A plan for capital expenditures to provide long-lasting physical improvements to be incurred over a fixed period of several future years.
<u>Capital Improvement Program Budget:</u>	A Capital Improvement Program (CIP) Budget is a separate budget from the operating budget. Items in the CIP are usually construction projects designed to improve the value of government assets. Examples of capital improvement projects include new roads, sewer lines, buildings, recreational facilities and large-scale remodeling.
<u>Capital Outlay:</u>	Expenditures to acquire fixed assets or to fund major capital improvements.
<u>Certified Tax Rate:</u>	The rate of tax to be levied and collected upon the assessed valuation of all property.
<u>Charges and Services:</u>	Expenditures for such items as utility costs and contractual agreements.
<u>CIP:</u>	Abbreviation for Capital Improvement Project.
<u>Contingent:</u>	Funds budgeted for unknown or unexpected expenditures during the budget year.
<u>Current Service Level:</u>	See Maintenance Level Budget.
<u>Data Processing:</u>	Expenditures for computer services or computer-oriented purchases such as hardware and software.
<u>Debt Service:</u>	The City's obligation to pay the principal and interest of all bonds and other debt instruments according to a pre-determined payment schedule.

<u>Department:</u>	A major administrative division of the City which indicates overall management responsibility for an operation or group of related operations within a functional area.
<u>Depreciation:</u>	The cost of a fixed asset that is allocated over several years depending on the estimated useful life of the asset.
<u>Disbursement:</u>	Payment for goods and services in cash or by check.
<u>Encumbrance:</u>	The commitment of appropriated funds to purchase an item or service. To encumber funds means to set aside or commit funds for a future expenditure.
<u>Enterprise Fund:</u>	A governmental accounting fund in which the services provided are financed and operated similarly to those of a private business. The rate schedules for these services are established to ensure that revenues are adequate to meet all necessary expenditures.
<u>Estimated Revenue:</u>	The amount of projected revenue to be collected during the fiscal year. The amount of revenue appropriated is the amount approved by Council.
<u>Expenditure:</u>	This term refers to the outflow of funds paid or to be paid for an asset obtained or goods and services obtained regardless of when the expense is actually paid. This term applies to all funds. Note: An encumbrance is not an expenditure. An encumbrance reserves funds to be expended.
<u>Expenses:</u>	Charges incurred (whether paid immediately or unpaid) for operation, maintenance, interest and other charges.
<u>Fiduciary Fund Type:</u>	This type of fund is used for activities performed by a governmental unit that are of a trustee nature. The functions can be either governmental or proprietary in nature and are accounted for on the basis of either activity.
<u>Fiscal Year:</u>	The twelve-month period designated by the State Code signifying the beginning and ending period for recording financial transactions.
<u>Fixed Assets:</u>	Assets of long-term character which are intended to continue to be held or used such as land, buildings, machinery, furniture, and other equipment.

<u>Full-Time Equivalent:</u>	One Full-Time Equivalent (FTE) is equal to one employee working full-time.
<u>Fund:</u>	An accounting entity that has a set of self-balancing accounts and that records all financial transactions for specific activities or government functions.
<u>Fund Balance:</u>	Fund balance is the excess of assets over liabilities.
<u>General Fund:</u>	The largest fund within the City, the General Fund accounts for most of the financial resources of the government. General Fund revenues include property taxes, licenses and permits, local taxes, service charges such as fire and police protection, finance, parks and recreation, public works, and general administration.
<u>Governmental Fund Type:</u>	This type of fund is used to account for activities usually associated with a typical state or local government's operations. The measurement of activity is on current financial resources for sources and uses of funds.
<u>Grant:</u>	A contribution by a government or other organization to support a particular function. Grants may be classified as either categorical or block depending upon the amount of discretion allowed the grantee.
<u>Interfund Transfers:</u>	Amounts transferred from one fund to another.
<u>Intergovernmental Revenue:</u>	Revenue received from another government for a specified purpose.
<u>Internal Service Fund:</u>	Funds used to account for the financing of goods or services provided by one department to another department on a cost reimbursement basis.
<u>Levy:</u>	To impose taxes, special assessments, or service charges for the support of City activities.
<u>Line-Item Budget:</u>	A budget that lists each expenditure category (salary, materials, services, travel, etc.) separately along with the dollar amount budgeted for each specified category.
<u>Major Fund:</u>	The general fund and any other governmental or enterprise fund whose revenue, expenditures/expenses, assets, or liabilities are at least 10% of the total for all governmental or enterprise funds in the appropriated budget.

<u>Maintenance Level Budget:</u>	Funds budgeted to maintain services and programs at present levels.
<u>Non-Departmental:</u>	Expenditure items in the General Fund that are not related to a specific department. The major items budgeted in this category include general obligation bond payments and transfers to other funds.
<u>Operating and Maintenance Supplies:</u>	Expenditures for goods and services used in day-to-day operations such as office supplies.
<u>Operating Budget:</u>	The portion of the budget that pertains to daily operations that provide basic governmental services. The operating budget contains appropriations for such expenditures as personnel, supplies, utilities, materials, travel, and fuel.
<u>Operating Expense:</u>	Expenditures incurred in day-to-day operations including operating and maintenance supplies, travel and education, charges and services, data processing, and other operating expense.
<u>Other:</u>	Miscellaneous expenditures not included in other categories of expense.
<u>Other Operating Expense:</u>	Other miscellaneous daily operating expenditures.
<u>Personnel Services:</u>	Salary and payroll benefits paid to employees.
<u>Program Budget:</u>	A budget that focuses upon the goals and objectives of an agency or jurisdiction rather than upon its organizational budget units or object classes of expenditure.
<u>Property Tax:</u>	Taxes levied on real and personal property according to the property's assessed value.
<u>Proprietary Fund Type:</u>	This type of fund is used to account for activities that emulate the private sector. The measurement of activity is on an economic basis which allows the reporting of all assets and liabilities associated with an activity.
<u>Range:</u>	The lower and upper limits of salary for each authorized employment position ranked according to difficulty of services performed. Advancement within a range occurs at periodic intervals (usually annual) based on merit.

<u>Reserve:</u>	An account used to indicate that portion of a fund's balance that is legally restricted for a specific purpose and is, therefore, not available for general appropriation.
<u>Revenue:</u>	Funds that the government receives as income. It includes such items as tax payments, fees from specific services, receipts from other governments, fines, forfeitures, grants, shared revenues, and interest income.
<u>Risk Management:</u>	An organized attempt to protect a government's assets against accidental loss in the most economical method.
<u>Salaries:</u>	Payments made to employees for services rendered.
<u>Source of Revenue:</u>	Revenues are classified according to their source of point of origin.
<u>Step:</u>	Within a salary range, the level of pay earned by an employee.
<u>Structurally Balanced Budget:</u>	For a budget to be structurally balanced, recurring revenues equal or exceed recurring expenditures rather than using non-recurring revenues to cover ongoing, recurring expenditures. A structurally balanced budget supports financial sustainability.
<u>Transfers to Other Funds:</u>	To move money to another fund in order to assist that fund in meeting operational or special project costs.
<u>Travel and Education:</u>	Expenditures incurred for training opportunities of elected officials and staff to improve their knowledge and skills for the betterment of the City.
<u>Unencumbered Balance:</u>	The amount of an appropriation that is neither expended nor encumbered. It is essentially the amount of money still available for future purchases.

CONSOLIDATED FEE SCHEDULE (rev 07 01 -2022)
of South Weber City

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CHAPTER 1: ADMINISTRATIVE CHARGES

1. Budget *	\$45 for bound copy; available for free in electronic format on City's website
2. Copies	\$0.25 per (8 ½" x 11") copy (black & white) \$0.75 per (11" x 17") copy (black & white) \$1.75 per (8 ½" x 11") copy (color) \$2.25 per (11" x 17") copy (color)
3. Fax Machine	\$5.00 up to five pages \$0.50 each additional page
4. Maps *	\$0.25 (8 ½" x 11") black & white \$0.75 (11" x 17") black & white \$2.25 (11" x 17") color
5. General Plan *	Available for free in electronic format on City's website
6. City Code Book *	Available for free in electronic format on City's website
7. Audio Recordings	\$5 per CD
8. General Research	\$15 per hour minimum for records research, payable in advance, plus \$.25 per each page copied, plus the cost of envelope and postage
9. Property Plat Research for Public Notice Mailing Labels	\$100
10. Public Works Standards *	Available for free in electronic format on the City website
11. Request for Special Meeting.	\$450
12. Use of City Chambers	No non-city activities shall be held at City Hall
13. Information or Forms on CD	\$5 per CD
14. Processing/Formatting of any records or requests not listed above	First 15 minutes free, additional time will be billed at \$15 per hour (UCA§ 63G-2-203).
15. Delivery of a record by electronic means such as e-mail or cloud services	Fee is based on time processing/formatting of the record before delivery, as described in #14 above.
16. Franchise Application	\$500 Non-refundable application fee

* Available for free in electronic format on City's website; a CD may be provided for \$5 per CD.

CHAPTER 2: PUBLIC SAFETY

Ambulance Rates and Charges	In accordance with Utah Administrative Code, Rule R426-8. Emergency Medical Services Ground Ambulance Rates and Charges.
Dog and Cat Licensing Fees	Animal Care Fees are set by Davis County
Violation Fees	In accordance with Davis County Animal Care fees.

CHAPTER 3: ANNEXATION

Application Fee:	\$50
Processing Fee:	\$900 (Minimum)

Any additional costs of processing, including reasonably necessary professional fees**, above \$900 will be charged to the applicant. Applicant will furnish Mylar and pay all associated recording costs.

**Professional services may include but are not limited to Engineering, Planning, and Legal services. Prior to granting final approval and/or a building permit all professional service fees incurred to date shall be paid in full. The City will bill the applicant for 100% of the City's actual professional service costs as said fees are incurred.

Applicants shall be responsible for all collection costs incurred including a collection fee of up to 40% pursuant to the provisions of Utah Code Ann 12-1-11.

CHAPTER 4: LAND USE APPEALS AND VARIANCE APPLICATIONS

1. **Appeals** \$100 per Appeal (Non-Refundable) plus third-party professional costs. This fee is for appeal of a single issue/action. Appeal of more than one issue/action may not be combined under one appeal fee and will be charged \$100 per issue/action under appeal.
2. **Variances** \$200 (Non-Refundable) plus 100% of professional services**

CHAPTER 5: BUSINESS LICENSES

1. **Home Occupations with patrons/employees** \$50 plus annual Fire Inspection Fee** per year
2. **Group Home** \$50 plus annual Fire Inspection Fee* per year

3. Short-Term or Vacation Rental	\$50 plus annual Fire Inspection Fee** per year
4. Internal Dwelling Unit	\$50 plus annual Fire Inspection Fee** per year
5. Commercial	\$50 plus annual Fire Inspection Fee (plus any other applicable fees)** per year
A. Alcoholic Beverage License (Retail)	
Single Event	\$250 per event
Off-Premise	\$350 per year
Full-Service Restaurant; Limited-Service Restaurant; On-Premise Banquet; Beer Only:	\$500 per year
B. Cabarets	
Class A -	\$200 per year
Class B -	\$100 per year
C. Sexually Oriented Businesses	
Businesses Other Than Outcall	\$250 per business per year
Outcall Service	\$400 per business per year
Employee Licenses	\$150 per employee per year
6. Mobile Businesses	
License	\$50 per year
Single Use Permit	\$30 per application
Recurring Operation Use Permit	\$50 per application
Special Event Permit	\$40 per event
7. Construction	\$50 plus annual Fire Inspection Fee** per year
8. Mining	\$1,377 plus annual Fire Inspection Fee** per year
9. Solicitors/Peddlers	\$50 per person valid for 1 year.
10. Vending Machine	\$40 per machine per year
11. Temporary Business	\$65 per application**
12. Fire Inspection	

A. Home Occupation/Group Home	\$20 per yearly inspection*
B. Light/Medium Commercial	\$40 per yearly inspection*
C. Large Commercial or Mining/Gravel Pit	\$70 per yearly inspection*
D. Short Term Rental/Internal Dwelling Units	\$40 per yearly inspection*
13. Amendment to Original Application/License	\$10 (Staff approval) \$25 (Planning Commission approval)
14. Additional Copy of Business License	\$5 each

*If a fire inspection is scheduled and not completed due to failure on the applicant's part, a \$20 fee will be assessed in addition to the completed inspection fee.

**If a Conditional Use Permit is required, see Chapter 8.

LATE PAYMENT ON BUSINESS LICENSE:

A 50% penalty shall be assessed to the fee for any business license fees which have not been paid by 1 February. A 100% penalty shall be assessed for any business license fees which have not been paid by 1 March. (SWC Code 3-1-4 E)

FILING FEE REFUNDS: (SWC Code 3-1-3 B)

If applicant decides to withdraw application before a license is issued, one-half of the fee shall be non-refundable.

If business license official denies application, the application shall be returned with one-half of the amount of fees deposited. If applicant appeals to City Council and the Council approves the application, the applicant will resubmit to the City the amount of fee that was refunded by the licensing official.

CHAPTER 6: BUILDING PERMIT FEES

Fees are based upon the current International Building Code, International Plumbing Code, International Mechanical Code, International Fire Code, National Electrical Code, and the NFPA Standards.

The building permit valuations shall be based on the tables found in the February 2021 ICC Building Valuation Data <https://www.iccsafe.org/products-and-services/i-codes/code-development-process/building-valuation-data/> Other fees include:

1. Permit Fees

A. Building Permit Fee	Based on ICC formula of Gross Area x Square Foot
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	Construction Cost x Permit Fee Multiplier
B. Plan Check Fee	30% of Building Fee or \$47 minimum, plus 100% of professional services fees**
C. State Fee	1% of Building Fee charged on all building permits
D. Elect/Mech	\$97.47 includes \$50 refundable completion bond; pay in full when submitted (Includes state fee)
E. Solar Panel, Wind Turbine, or any other alternative energy source	\$351.50 (includes \$200 refundable completion bond) plus \$47 plan check fee.
F. Fire Damage	\$47 per inspection plus plan check fee
G. Agricultural Building	Computed as a carport or garage.
H. Remodeling	\$351.50 (includes \$200 completion bond) plus \$47 plan check fee
I. Finish Basement	\$351.50 (includes \$200 completion bond). . . plus \$47 plan check fee
J. Swimming Pool	\$351.50 (includes \$200 completion bond) plus \$47 plan check fee
K. Wood Stoves	\$47 per inspection
L. Demolition	\$594 includes (\$500 completion bond) ; minimum two inspections at \$47 each
M. Roof (structure change only)	\$97.47 includes (\$50 Completion bond) plus plan check fee
N. Sign Permit (temp)	\$147.50; (includes \$50 completion bond). which is refundable when sign is taken down.
O. Parking Lots	Site Plan Review by Planning Commission. Cost of two inspections: (1) Completion (2) Compliance to PC requirements
P. Communication Tower	\$1,000

Q. After Hours Inspection	\$94 per inspection
R. Penalty Fee	i) \$50, charged after a second or subsequent "failed" inspection on the same item and/or inspection. Fee is payable prior to third or subsequent inspection being performed. ii) \$150, charged for failure to obtain a valid permit before work has commenced.
S. Owner Transfer Fee	\$25
T. Amendment to Approved Permit	\$100 for each plan check fee for single family dwellings \$47 for each plan check fee for all other types of permit
U. Credit Card Service Fee	3%

*A minimum fee of \$97.47 includes \$50 completion bond will be charged for any building permit: as well as electrical, mechanical, or plumbing permits.

**Professional services may include but are not limited to City Engineer review, or inspection and additional outside engineering including fire protection/sprinkling systems, legal services, structural engineering, or other services as required by the City. Prior to granting occupancy all professional service fees incurred to date shall be paid in full. The City will bill the applicant for 100% of the City's actual professional service costs as said fees are incurred.

Applicants shall be responsible for all collection costs incurred including a collection fee of up to 40% pursuant to the provisions of Utah Code Ann 12-1-11.

New residential and commercial building permits will also be charged impact fees, see Chapter 7.

2. Completion Bonds

A. Commercial

Commercial building permits for new construction, renewals, or additions will be charged based on the valuation of the permit from the presently used International Building Code:

Valuations \$10,000 and above.	\$1,500
Valuations below \$10,000	\$500

B. Residential

All New Home Construction.	\$500
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C. Remodeling Additions

Valuations \$10,000 and above.	\$200
Valuations below \$10,000	\$50

D. Miscellaneous Building Permits

All building permits will be charged a minimum completion bond of \$50.

CHAPTER 7: IMPACT FEES

Fees paid on new residential/commercial building permit. Calculations based on the summary of calculated impact fees:

1. Parks and Trails

Single Family Residential	\$2,096
Multi-Family Residential	\$1,787 per unit
Nonresidential	No fee

2. Public Safety Fire Station

Single Family Residential	\$126 / dwelling, Single Family residence = 1 dwelling
Multi-Unit Residential	\$56 / dwelling, each unit of multi-unit = 1 dwelling
Commercial	\$0.19 / sq. ft. of commercial building

3. Recreational Building

Single Family Residential	\$834 / dwelling, Single Family residence = 1 dwelling
Multi-Unit Residential	\$691 / dwelling, Each unit of multi-unit dev = 1 dwelling
Nonresidential	No fee

4. Water

(Fees based on Water Meter Size)

	Ratio	1/1/2020	1/1/2021	1/1/2022
Residential 1"	1	\$ 1,265	\$ 1,294	\$ 1,322
Commercial 1½ "	1.5	\$ 1,897	\$ 1,806	\$ 1,983
Commercial 2"	2	\$ 2,530	\$ 2,588	\$ 2,644
Commercial 3"	6.4	\$ 8,096	\$ 8,281	\$ 8,460
Commercial 4"	10	\$12,650	\$12,940	\$13,220

5. Sewer

	Ratio	Fee	Description
Residential	1	\$ 2,933	Single Family, Duplexes, Townhomes, Condos
Apartments	0.75	\$ 2,200	per unit, 3+ units per complex
Commercial 1½ "	1.5	\$ 4,400	Based on water meter size
Commercial 2"	2	\$ 5,867	Based on water meter size

Commercial 3"	6.4	\$18,776	Based on water meter size
Commercial 4"	10	\$29,338	Based on water meter size

6. Transportation

ITE Code	ITE Land Use	Unit	Trip Rate	Pass-by Reduction	Adjusted Trip Rate	Impact Fee
130	Industrial Park	1000 Sq. Feet Gross Floor Area	0.85		0.43	\$1,522.53
140	General Manufacturing	1000 Sq. Feet Gross Floor Area	0.73		0.37	\$1,307.58
151	Mini-Warehouse	1000 Sq. Feet Gross Floor Area	0.26		0.13	\$465.71
152	Warehouse / Distribution Center	1000 Sq. Feet Gross Floor Area	0.12		0.06	\$214.95
210	Single-Family Detached Housing	Dwelling Unit	1.00		0.50	\$1,791.21
220	Multi-Family / Apartment (Greater than 4 units)	Dwelling Unit	0.62		0.31	\$1,110.55
230	Multi-Family / Condo. Townhouse	Dwelling Unit	0.52		0.26	\$931.43
240	Mobile Home / RV Park	Occupied Dwelling Unit	0.59		0.30	\$1,056.81
254	Assisted Living Center	Bed	0.22		0.11	\$394.07
310	Hotel	Room	0.60		0.30	\$1,074.73
444	Movie Theater < 10 Screens	1000 Sq. Feet Gross Floor Area	3.80		1.90	\$6,806.60
445	Movie Theater ≥ 10 Screens	1000 Sq. Feet Gross Floor Area	4.91		2.46	\$8,794.84
492	Health/Fitness Club	1000 Sq. Feet Gross Floor Area	3.53		1.77	\$6,322.97
520	Elementary School	1000 Sq. Feet Gross Floor Area	1.21		0.61	\$2,167.36
522	Middle School / Junior High School	1000 Sq. Feet Gross Floor Area	1.19		0.60	\$2,131.54

ITE Code	ITE Land Use	Unit	Trip Rate	Pass-by Reduction	Adjusted Trip Rate	Impact Fee
530	High School	1000 Sq. Feet Gross Floor Area	0.97		0.49	\$1,737.47
534	Private School (K-8)	Students	0.60		0.30	\$1,074.73
560	Church	1000 Sq. Feet Gross Floor Area	0.55		0.28	\$985.17
565	Day Care Center	1000 Sq. Feet Gross Floor Area	12.34		6.17	\$22,103.53
590	Library	1000 Sq. Feet Gross Floor Area	7.30		3.65	\$13,075.83
610	Hospital	1000 Sq. Feet Gross Floor Area	0.93		0.47	\$1,665.82
710	General Office Building	1000 Sq. Feet Gross Floor Area	1.49		0.75	\$2,668.90
720	Medical-Dental Office Building	1000 Sq. Feet Gross Floor Area	3.57		1.79	\$6,394.62
770	Business Park	1000 Sq. Feet Gross Floor Area	1.26		0.63	\$2,256.92
812	Building Material and Lumber Store	1000 Sq. Feet Gross Floor Area	4.49		2.25	\$8,042.53
817	Nursery (Garden Center)	1000 Sq. Feet Gross Floor Area	6.94		3.47	\$12,430.99
820	Shopping Center / Strip Mall	1000 Sq. Feet Gross Leasable Area	3.71	34%	1.22	\$4,385.96
826	Specialty Retail Center	1000 Sq. Feet Gross Leasable Area	2.71		1.36	\$4,854.18
841	Automobile Sales	1000 Sq. Feet Gross Floor Area	5.98		2.99	\$10,711.43
848	Tire Store	1000 Sq. Feet Gross Floor Area	4.15	28%	1.49	\$5,352.13
850	Supermarket	1000 Sq. Feet Gross Floor Area	9.48	36%	3.03	\$10,867.63
851	Convenience Market	1000 Sq. Feet Gross Floor Area	52.41	61%	10.22	\$36,612.14

ITE Code	ITE Land Use	Unit	Trip Rate	Pass-by Reduction	Adjusted Trip Rate	Impact Fee
912	Drive-in Bank	1000 Sq. Feet Gross Floor Area	24.30	47%	6.44	\$23,068.99
918	Hair Salon	1000 Sq. Feet Gross Floor Area	1.45		0.73	\$2,597.25
932	Restaurant, Sit-Down (High Turnover)	1000 Sq. Feet Gross Floor Area	9.85	44%	2.76	\$9,880.31
933	Fast Food without Drive-Through Window	1000 Sq. Feet Gross Floor Area	26.15	43%	7.45	\$26,698.87
934	Restaurant with Drive Through Window	1000 Sq. Feet Gross Floor Area	32.65	50%	8.16	\$29,241.50
942	Auto Care Center	1000 Sq. Feet Gross Leasable Area	3.11		1.56	\$5,570.66
944	Gasoline/Service Station	Fueling Position	13.87	42%	4.02	\$14,409.56
945	Gasoline/Service Station with Convenience Store	1000 Sq. Feet Gross Leasable Area	97.47	56%	21.44	\$76,819.25
947	Self Service Car Wash	Wash Stall	5.54		2.77	\$9,923.30
948	Automated Car Wash	1000 Sq. Feet Gross Floor Area	14.12		7.06	\$25,291.88

If additional categories are desired, the City can use the ITE Trip Generation Manual, 10th ed., and multiply the total PM peak hour trips by 50 percent, by any reduction for pass-by trips, by the total cost per PM peak hour trip (\$3,582.42).

7. Weber Basin Water

	Ratio	Fee
Residential 1"	1	\$ 4,363
Commercial 1½ "	1.5	\$ 6,544
Commercial 2"	2	\$ 8,726
Commercial 3"	6.4	\$27,923
Commercial 4"	10	\$43,630

8. Central Weber Sewer *

7/1/2019	7/1/2020	7/1/2021	7/1/2022	7/1/2023
\$ 2,515	\$ 2,587	\$ 2,649	\$ 2,578	\$ 2,835

*This includes a 5% administrative fee.

There is an additional \$75.00 fee if connecting directly to the Central Weber Sewer Line. The City collects sewer service charges on behalf of Central Weber Sewer District. Any increase in Central Weber Sewer District's impact fee will be passed on to the consumer, with such increase to go into effect at the time Central Weber Sewer makes the increase effective.

9. Storm Sewer

Residential - Single Family, Duplexes, Townhouses, Condos = 1.0 ERU per lot/unit

Cost per ERU				
2022	2023	/2024	2025	2026
\$ 1,256	\$ 1,261	\$ 1,266	\$ 1,271	\$ 1,276

Residential - Apartments = .75 ERUs per unit

Nonresidential – Commercial, Industrial, Institutional, etc. = 1.0 ERU per 3,365 ft² of hard surface

CHAPTER 8: CONDITIONAL USE PERMITS**1. Non-Residential Zones**

- A. Concept Plan Review** (not required) \$200 (includes 1.5 hours of professional services)
- B. Sketch Plan** \$400 for the first meeting and \$300 for each subsequent meeting plus 100% of professional services**
- C. Preliminary** \$600 plus 100% of professional services**
- D. Final** \$700 plus 100% of professional services**
- E. Escrow Contingency** 15% of estimated approved total cost of required improvements, plus 100% of professional services
- F. Escrow Guarantee** 10% of estimated approved total cost of required improvements, plus 100 % of professional services

2. Residential Zones \$200 plus 100% of professional services** (includes one site plan meeting where applicable) Additional site plans see (4) below.

3. Amendment ½ of what original fee would be if it were a new application

plus 100% of professional services** (includes one site plan meeting). Additional site plans see (4) below.

4. Site Plan Meeting \$200 per meeting plus 100% of professional services**

**Professional services may include but are not limited to Engineering, Inspections, Planning, GPS surveying and mapping, recording fees, and Legal services. Prior to granting preliminary approval, final approval and/or a building permit all professional service fees incurred to date shall be paid in full. The City will bill the applicant for 100% of the City's actual professional service costs as said fees are incurred.

Applicants shall be responsible for all collection costs incurred including a collection fee of up to 40% pursuant to the provisions of Utah Code Ann 12-1-11.

CHAPTER 9: PLANNING & DEVELOPMENT FEES

1. Subdivisions: (Private & Public)

A. Minor Subdivision (1-10 Lots)

Concept Plan Review (not required)	\$200 (includes engineering and other professional services)
Sketch Plan Review	\$400 for first meeting and \$300 for each subsequent meeting plus 100% of professional services**
*Preliminary	\$600 plus 100% of professional services**
*Final	\$700 plus 100% of professional services**

*If preliminary and final are combined on a "Minor" subdivision and approved in the same meeting, the "final" fee will be charged; otherwise, both preliminary and final fees apply.

Amendments to Preliminary or Final prior to recording of original submission	1/2 of original fee, plus 100% of professional services**
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B. Major Subdivision (11 or more lots)

Concept Plan Review (not required)	\$400, includes engineering and other professional services
Sketch Plan Review	\$700 for first meeting and \$350 for each subsequent meeting, plus 100% of professional services**

Preliminary	\$900, plus 100% of professional services**
Final	\$1100, plus 100% of professional services**
Amendments to Preliminary or Final	1/2 of original fee (prior to recording of original submission), plus 100% of professional services**

In addition, every developer/builder for either minor or major subdivisions will pay the actual cost for all recording fees including any escrow & developer agreements or any other security agreements and any additional submittals requested by the City.

*Fees:	Sidewalk Curb & Gutter	\$30/ft. 6' sidewalk; \$20/ft. 4' sidewalk \$20/ft. standard curb and gutter
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*When approved by the City Council, a 1-2 lot subdivision may pay these fees in lieu of actually constructing the curb and gutter and/or sidewalk. This request can only be made if the subdivision is located in an area that does not have existing curb, gutter and sidewalk immediately adjacent to the property being developed. The City will use these fees to construct the improvements at a later date.

2. Escrow Agreement

A. Administrative Fee (assessed to all Escrow Agreements)	.005 of total escrow*, plus 100% of professional services
B. Escrow Contingency	15% of estimated approved total cost of required improvements, plus 100% of professional services
C. Escrow Guarantee	10% of estimated approved total cost of required improvements, plus 100% of professional services

*The Administrative Fee is calculated based on the total escrow amount but is not part of the escrow. This fee will be collected prior to the recording of the plat.

3. Street Lights, Street Signs, and Chip and Seal	as determined by the City Engineer
4. Vacation of Plat, Street or Easement or any Amendments to a Recorded Subdivision Plat	\$750, plus 100% of professional services**
5. Site Plan	\$700, plus 100% of professional services**; includes one site plan meeting where applicable; additional site plans are \$200 per meeting

**Professional services may include but are not limited to engineering, planning, inspections, GPS surveying and mapping of improvements, recording fees, and legal services. Prior to granting preliminary approval, final approval, issuing a building permit, and/or granting conditional or final acceptance, all professional service fees incurred to date shall be paid in full. The City will bill the applicant for 100% of the City's actual professional service costs as said fees are incurred.

Applicants shall be responsible for all collection costs incurred including a collection fee of up to 40% pursuant to the provisions of Utah Code Ann 12-1-11.

CHAPTER 10: ZONING/ORDINANCES

1. Application for Change in Zoning and/or Ordinances	\$300
2. Fee for Amending Zoning Map upon approval of Rezone	\$180
3. Zoning Re-submission by same owner of property	\$120 within 6 months

CHAPTER 11: EXCAVATION FEES (SWC Code 7-3-6)

1. Base Permit Fee (Two Inspections)	\$94
2. Additional Inspection Fee	\$47 each
3. Potholes 100 sq. ft. or less Roads less than 2 Years Old	\$112 each $(NPC * 100 \text{ s.f.} * L2F) / SSFF = (\$2.80 * 100 \text{ s.f.} * 0.4) / 0.045 = \112
4. Potholes 100 sq. ft. or less Roads more than 2 Years Old	\$70 each $(NPC * 100 \text{ s.f.} * M2F) / SSFF = (\$2.80 * 100 \text{ s.f.} * 0.25) / 0.045 = \70
5. Diminished Road Integrity Fee Roads less than 2 Years Old	Total Square Feet X \$1.12 $NPC * L2F * TSF = \$2.80 * 0.4 * TSF = \$1.12 * TSF$
6. Diminished Road Integrity Fee Roads Older than 2 Years	Total Square Feet X \$0.70 $NPC * M2F * TSF = \$2.80 * 0.25 * TSF = \$0.70 * TSF$
7. Escrow/Financial Guarantee	Total Square Feet X \$2.80 (*NPC)

NPC = New Pavement Cost = \$2.80/s.f.

SSFF = Small Square Footage Compensation Factor, less than 2' X 2' = 0.045

TSF = Total Square Footage of excavation site restoration

L2F = Roads less than 2 years old factor = 40% = 0.4

M2F = Roads more than 2 years old factor = 25% = 0.25

* City Engineer Approved - New Pavement Cost (3" asphalt, 8" road base) = NPC = \$2.80/s.f.

CHAPTER 12: COURT FEES FOR CITY ORDINANCE VIOLATIONS

Class B Misdemeanors	\$150 fine including state surcharges*
Class C Misdemeanors	\$80 fine including state surcharges*
Infractions	\$25 fine including state surcharges*
Credit Card Convenience Fee	\$3.00

*Subject to change based on state fine schedule

CHAPTER 13: FAMILY ACTIVITY CENTER - 1181 E. Lester Drive

1. Membership Fees*

A. Residents

Individual Pass	\$2 day	\$20 month	\$100 – 6 Months	\$180 – Year
Family Pass	\$5 day	\$30 month	\$150 – 6 Months	\$270 – Year
("Family" defined as occupants of the same household)				

B. Non-Residents

Individual Pass	\$3 day	\$25 month	\$125 – 6 Months	\$200 – Year
Family Pass	\$7 day	\$40 month	\$175 – 6 Months	\$300 – Year
("Family" defined as occupants of the same household)				

C. Discounted Membership Fees

Senior Citizens (Age 65 & up)	50% discount on all membership fees.
SW Firefighters**	Free, yearly individual pass as long as firefighter remains in good standing.

SW Employees**	Free, yearly individual pass (part-time)
	Free, yearly family pass (full-time)

Elected Officials	Free, yearly family pass while in office.
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**Part-time employees and firefighters may purchase family passes by paying the difference between the individual and family pass fee.

D. Corporate Membership Fees (Annual Only)

Corporate Membership (Company within SW City)	\$800 Annual
(List of members must be submitted)	up to 10 members

Corporate Membership (Company outside SW City) (List of members must be submitted)	\$1,000 Annual up to 10 members
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2. Rental Fees for Family Activity Center - Reservations made with Rec. Department

A. Multi-Purpose Room

- a. Residents \$30 for first hour and \$10 for each additional hour;
a. one hour minimum and four hours maximum rental
- b. Nonresidents \$50 for first hour and \$20 for each additional hour
a. one hour minimum and four hours maximum rental

B. Aerobics Room

- a. Residents \$20 for first hour & \$10 for each additional hour
- b. Nonresidents \$40 for first hour & \$20 for each additional hour

C. Gymnasium (Half-court only)

- a. Residents \$20 per hour - during hours of operation
- b. Nonresidents \$40 per hour – during hours of operation

D. Exempt City Sponsored Activities

E. Discounts Discounts apply to long term continuous rentals

After 1-year rental period in good standing, 20% on following 1-year rental
 After 2-year continuous rental period in good standing, 30% on following 1-year rental
 After 3-year continuous rental period in good standing, 40% on following 1-year rental

40% is the maximum discount for any continuous rental period.

No rentals shall be made for more than a one-month time period. All rentals are subject to availability as determined by the Recreation Department. The City reserves the right to refuse rental of the FAC facilities to any person or entity for any reason with or without cause.

CHAPTER 14: PARK FEES

Park Bowery and Other Reservable Area Fees

	<u>Resident</u>	<u>Non-Resident</u>
1. Cherry Farms Park Bowery*		
Mon-Thurs	\$20	\$35
Weekend	\$35	\$55
2. Central Park-Fire Station*		
Mon-Thurs	\$20	\$35
Weekend	\$35	\$55
3. Canyon Meadows*		
Mon-Thurs	\$20	\$35
Weekend	\$35	\$55

4. Posse Picnic Area

Mon-Thurs	\$15	\$30
Weekend	\$30	\$50

5. Posse Arena*Non-Reservable***6. Volleyball Courts*** (10-hour time limit) \$35 \$40**7. Ball Diamond*** \$35 \$40
(Canyon Meadows Park & Cherry Farms Park)**8. Stage*** \$50 \$60**9. Canyon Meadows Basketball Court** per hour \$10 \$10**10. Canyon Meadows Pickleball Court****A. Rental:** 2 hours/ per court (up to 4 courts) \$10 \$10**B. Tournament:** per hour (all courts) \$100 \$100**11. Canyon Meadows Concession Stand****A. Rental:** \$50 rental plus \$300 refundable deposit

B. Deposit Policy: A security deposit is required for all rentals. A \$50 payment is due at the time the reservation is made and the balance paid at the time the key is picked up. Deposits made via check will be cashed. The security deposit will not be refunded if the key is lost, if the facility is found to be in disrepair upon inspection, or any rules mandated by the Health Department are broken. If the key is lost a refund may be given less the cost incurred to rekey and purchase new keys for the facility. If the facility or any items therein is found to be damaged or in disrepair, a refund of the difference may be given if the cost of repair is less than the deposit. No refund will be given in the event the Health Department mandates are not followed.

C. Refunds: The Fee and security deposit may be refunded in full if the reservation is canceled three (3) weeks prior to use. A refund of 50% of the fee and 100% of the security deposit may be made if the reservation is canceled less than 3 weeks, but more than 48 hours prior to scheduled use.

Special rules apply which are listed on Rental Agreement.**South Weber City reserves the right to refuse rental to any person or entity for any reason with or without cause.**

*Reservations must be made and paid for at the Family Activity Center.

Fees are not refundable due to weather. No refunds for cancellations unless canceled two weeks in advance.

CHAPTER 15: RECREATION FEES

- 1. Refunds:**
- a) Prior to issuance of uniform/equipment: Refund less \$5 administrative fee
 - b) After issuance of uniform/equipment: 50% refund
 - c) No refund over 30 days after close of registration nor if registrant has participated in activity.

2. Activity Fees: (Non-residents charged an additional \$5 fee)

A. Basketball Jr. Jazz	\$49 Registration
B. Soccer	Pre-K and up \$35 without Shirt; \$45 with Shirt
C. Softball	\$49 Registration
D. Baseball	\$49 Registration
E. Tee-Ball	\$38 Registration
F. Coach Pitch	\$38 Registration
G. Machine Pitch	\$49 Registration
H. Volleyball	\$40 Registration
I. Flag Football	\$45 Registration
J. Miscellaneous Events	As determined by the Recreation Director

- 3. Late Registration Fee:** \$10 for each registration after the signup deadline.

CHAPTER 16: WATER FEES

- 1. Connection Fee** \$265 (.75") Standard Meter
For New Construction
 (Connection Fee includes cost of standard meter, delivery, inspection & administrative charges)
 Larger Meter (>1.00") - \$25 plus cost of meter

2. Rate**A. Per Month**

Gallon Allotment	Residential Using Secondary Water for Outdoor Needs	Residential w/Secondary Water Available	Residential w/o Secondary Water Available	Multi-Family Residential ¹	Non-Residential
Base Rate					

0	\$38.43	\$38.43	\$38.43	\$29.20	\$38.43
Usage Charges per 1,000 gallons					
1-2,000	2.00	2.00	2.00	2.00	2.00
2,001-4,000	2.20	2.20	2.20	2.20	2.20
4,001-6,000	2.50	2.50	2.50	2.50	2.50
6,001-8,000	3.00	3.00	3.00	3.00	3.00
8,001-10,000	3.50	3.50	3.50	3.50	3.50
10,001+	4.00		3.50	4.00	
10,001-15,000		6.00			
15,001-30,000		6.30			
30,001+		6.60			
10,001-30,000					3.75
30,001-60,000					4.00
60,001+					4.25

¹ \$29.20 determined by applying 17% census discount (percentage difference between number of persons per household of single versus multi-family units) and 7% administrative savings discount to rates for single family dwellings. Same discounts apply to sewer utility rates as well.

Definitions

Residential Using Secondary Water for Outdoor Needs shall mean property owners who have *access to a pressurized irrigation system and who choose to use pressurized irrigation system to water their property.

Residential w/Secondary Water Available shall mean property owners who have access to a pressurized irrigation system, but who choose to use culinary water to water their property.

Residential w/o Secondary Water Available shall mean property owners who do not have *access to a pressurized irrigation system and who choose to use culinary water to water their property.

Multi-Family Residential shall mean any structure with two (2) or more separate single-family dwellings within one structure.

Commercial shall mean any property whose primary use is commercial in nature and shall include both conforming as well as legal non-conforming uses.

*Access to Pressurized Irrigation shall mean a distance of ninety (90) feet or less exists between any property boundary (within a secondary service district) to a pressurized secondary irrigation system.

- | | |
|---|-------------------------------|
| B. Sign-Up Fee | \$25.00 |
| C. Re-establishment Fee | \$75.00 |
| Reestablish service after it has been shutoff at owner's request. | |
| D. After Hours Service Fee | \$50.00 |
| E. Late Fee if not paid by the 18th of the month | \$15.00 |
| In the event the 18 th falls on a Saturday, Sunday, or holiday, the late fee will be added if the bill is not paid by close of business on the next day of business. | |
| F. Shut-Off Fee for Non-Payment | \$50.00 per occurrence |
| After Posted Business Office Hours including weekends and holidays. Meters will not be turned back on until business hours (SWC Code 8-1-4 B). | |

Once a Shut-off Fee has been assessed, the fee shall be due and payable even if the water is not actually turned off.

G. Tamper Fee

Turning on/tampering with a water meter or using an illegal connection at any time is a class B misdemeanor (SWC Code 8-1-6 & 8-1-7) \$200.00

H. Fire Hydrant Meter

\$25.00 Rental Fee + \$500.00 deposit; deposit refunded upon return of meter in working condition

CHAPTER 17: SEWER FEES

1. Sanitary Sewer Fees (Wastewater)

		<u>City</u>	<u>CWSD**</u>
A. Monthly User Fees:			
i)	Residential	\$14.33	\$19.78
ii)	Commercial (Minimum)***	\$28.66	\$39.56
iii)	Church	\$29.56	\$42.16
iv)	School	\$113.90	\$166.11
v)	Job Corps	\$770.49	\$1,131.19
vi)	Non-City Residential	\$20.50	\$28.85
vii)	*Multi-Family Residential	\$10.89 per unit	\$15.03

* Multi-Family Residential shall mean any structure with two or more separate single-family dwellings within one structure. Fee is per unit.

** Central Weber Sewer District assesses their own fees that are then passed on to the consumer.

***Commercial use is based on a water usage with a 2 ERU minimum (up to 25,000 gal.); water usage over 25,000 gal. will be billed at \$1.15/1000 gallons (City) and \$1.52/1000 gal. (CWSD)

B. Basement Apartments Considered Multi-Family Residential

C. Duplexes/Twin Homes Considered Multi-Family Residential

D. Sewer Inspection Fee \$47

CHAPTER 18: STORM DRAIN

Monthly Utility Fee \$15.75 single family dwelling
\$15.75 Multi-family per unit
Non-residential/commercial based on ERUs

CHAPTER 19: GARBAGE COLLECTION FEES (Monthly):

1. Residential Container	\$14.85
Extra Container	\$ 8.81 (Four-month minimum)
2. Commercial Container	\$59.40 (300-gallon container)
Extra Container	\$35.24
3. County or Non-Resident	\$16.85 (90-gallon container)
Extra Container	\$10.81 (Four-month minimum)
4. Residential Container	\$65.00 (Replacement charge for each damaged, destroyed, or lost can).

*A business or resident may have two 90-gallon containers at the residential rate. Upon request of a third container, the commercial rate will then be charged in that the first two 90-gallon containers will be billed as one commercial 300-gallon container and the additional containers will be charged at the commercial extra container rate. All home occupations are considered residential - not residential and business.

5. Putting Utilities on Hold

The City agrees to not charge the above monthly utility fees for Water & Garbage Collection only under the following conditions:

- The resident must be out of town for a minimum of two full months, and
- Resident must notify South Weber City prior to the first day of the first month for which they desire the services be placed on hold, and
- Resident understands that these services will only be held in one-month increments and that the city will not prorate nor split monthly fees. For example, if resident leaves mid-month the resident will be required to pay the full monthly water and garbage fees for that month. Likewise, if the resident returns mid-month the resident will be required to pay the full monthly service fees for water and garbage for the month in which they returned.

Residents that do not meet the above established conditions who desire to have their water and garbage services be held will be charged a \$20 reconnect fee.

CHAPTER 20: TRANSPORTATION UTILITY FEES (Monthly)

1. Residential	\$15.00
2. Residential – Multi Unit	\$15.00 per ERU
3. Non-Residential	\$15.00 per ERU

CHAPTER 21: UTILITY BILLING

1. Standard Residential (minimum monthly charges)

Water	\$38.43 plus usage as stated in table in CFS Ch. 20.2
Garbage	\$14.85; extra container \$8.81
Storm Sewer	\$ 15.75
Central Weber Sewer	\$19.78
Sewer	\$14.33
Transportation Utility	<u>\$15.00</u>
TOTAL	\$118.14

2. Putting Utilities on Hold

The City will not charge the monthly utility fees for Water and Garbage only under the following conditions:

- The resident must be out of town for a minimum of two full months, and
- Resident must notify South Weber City prior to the first day of the first month for which they desire the services be placed on hold, and
- Resident understands that these services will only be held in one-month increments and that the city will not prorate nor split monthly fees. For example, if resident leaves midmonth the resident will be required to pay the full monthly water and garbage fees for that month. Likewise, if the resident returns mid-month the resident will be required to pay the full monthly service fees for water and garbage for the month in which they returned.

Residents that do not meet the above established conditions who desire to have their water and garbage services be held will be charged a \$20 reconnect fee.

CHAPTER 22: COLLECTION FEES

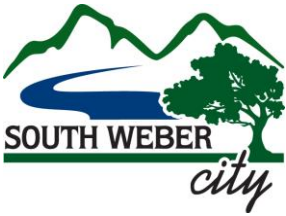
Collections and Attorney's Fees: All customers and applicants shall be responsible for all collection costs incurred including a collection fee of up to 40% pursuant to the provisions of Utah Code Ann 12-1-11. Accounts sent to the attorney for collection will be charged according to reasonable attorney fees as stated in the Code of Judicial Administration Rule 4.505.

Returned Check and Returned Electronic Fund Transfer Fee: \$25

These fees include/not limited to non-sufficient fund checks or electronic fund transfers (EFTs), stopped payment checks or canceled accounts where funds are not available.

If an individual's utility payment is returned from the bank on two separate occasions within a 12-month period, the City will be compelled to make this individual comply with the following procedures:

- Discontinue water service until payment has been paid with cash, cashier's check, or money order.
- Required to pay shut-off fee.
- Required to pay all fees associated with returned check or EFT.
- Hereinafter, all utility payments will then need to be paid with cashier's check, money order, or cash. No personal checks or EFTs will be accepted for a one-year period.



CITY COUNCIL MEETING STAFF REPORT

MEETING DATE

May 24, 2022

PREPARED BY

Trevor Cahoon
Community Service Dir

ITEM TYPE

Legislative Ordinance

ATTACHMENTS

Draft Ordinance

AGENDA ITEM

Ordinance 2022-06: Amend Title 10 Chapter 3 Section 4 Planning Commission Organization

PURPOSE

Consider approval of the recommended ordinance.

BACKGROUND

The City Council discussed in a previous meeting, amending City Ordinance regulating the number of consecutive terms a Planning Commission Chair-person can serve. The Council directed City Staff to amend the ordinance to allow the chair to be able to serve two consecutive 1 year terms.

The amendment simply made a minor text revision that makes this change. This would still require the commission to review the position yearly and make proposed changes if desired, or vote to retain the current chair for an additional term.

SAMPLE MOTION LANGUAGE

Approve – Move to approve Ordinance 2022-06: Amend Title 10 Chapter 3 Section 4 Planning Commission Organization

Deny – Move to deny Ordinance 2022-06: Amend Title 10 Chapter 3 Section 4 Planning Commission Organization

Continue – Move to continue Ordinance 2022-06: Amend Title 10 Chapter 3 Section 4 Planning Commission Organization

ORDINANCE 2022-06

**AN ORDINANCE OF THE SOUTH WEBER CITY COUNCIL
AMENDING TITLE 10 CHAPTER 3 SECTION 4**

WHEREAS, Mayor Westbroek raised the concern that one year may not be enough time for a Planning Chair to learn and become comfortable with all their duties; and

WHEREAS, Council held a discussion on the topic on April 12, 2022 in an open public meeting; and

WHEREAS, Council decided that code should be amended to allow for two consecutive terms;

NOW, THEREFORE, BE IT ORDAINED by the City Council of South Weber City, State of Utah:

Section 1. Chapter amended: 10-3-4: ORGANIZATION:

On or before February 28, but not before February 1, of each year, the planning commission shall elect one of its members to act as chairperson and another of its members to act as vice chairperson. The term of the chairperson and vice chairperson shall begin upon election and continue until a new or continuing chair and vice chair are elected the following year. No member shall be permitted to serve as chairperson or vice chairperson for more than two consecutive terms. The chairperson will preside at all meetings of the planning commission unless absent, in which case the vice chairperson will preside. The planning commission shall adopt such bylaws, policies, and procedures for its own organization and for the transaction of business not in conflict with city ordinances or state laws, which policies and procedures shall be approved by the city council before taking effect. The affirmative vote of three (3) or more members of the planning commission shall be required for any action or recommendation. Report of official acts and recommendations of the planning commission shall be made by conveyance of the meeting minutes to the city council, which shall indicate how each individual member of the planning commission voted with respect to such act or recommendation. A member of the planning commission may be requested to attend a city council meeting to make a verbal report on the planning commission's recommendations. (Ord. 13-02, 2-26-2013; amd. Ord. 2021-01, 2-23-2021)

Section 2. General Repealer. Ordinances in conflict with this ordinance are hereby repealed to the extent of such conflict.

Section 3. Effective Date. The City Council of South Weber City, State of Utah, has determined that the public health, safety, and welfare requires that this ordinance take effect immediately. Therefore, this ordinance shall become effective immediately upon passage and publication as required by law.

PASSED AND ADOPTED by the City Council of South Weber, Davis County, on the 24th day of May 2022.

MAYOR: Rod Westbroek

ATTEST: City Recorder, Lisa Smith

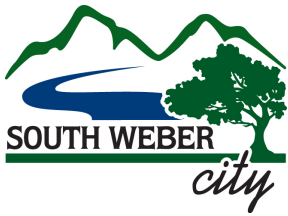
Roll call vote is as follows:		
Council Member Halverson	FOR	AGAINST
Council Member Petty	FOR	AGAINST
Council Member Soderquist	FOR	AGAINST
Council Member Alberts	FOR	AGAINST
Council Member Dills	FOR	AGAINST

CERTIFICATE OF POSTING

I hereby certify that Ordinance 2022-06 was passed and adopted the 24th day of May 2022 and that complete copies of the ordinance were posted in the following locations within the City this 25th day of May 2022.

- 1. South Weber Elementary, 1285 E. Lester Drive
- 2. South Weber Family Activity Center, 1181 E. Lester Drive
- 3. South Weber City Building, 1600 E. South Weber Drive

Lisa Smith, City Recorder



#9 Short-Term
CITY COUNCIL MEETING
STAFF REPORT

MEETING DATE

May 24, 2022

PREPARED BY

Trevor Cahoon
Community Service Dir

ITEM TYPE

Legislative Ordinance

ATTACHMENTS

Draft Ordinance

AGENDA ITEM

Ordinance 2022-08: AMENDING TITLE 10 CHAPTER 8 SHORT-TERM OR VACATION RENTALS

PURPOSE

Recommendation: Approve the Ordinance for Short-Term rental amendments.

BACKGROUND

In January 2022 the City Council initiated a review of the Short-Term Rental code within the City to make any amendments that need to be considered. The Short-Term Rental committee met and discussed potential amendments to code and made the following recommendations:

1. Must be a primary residence
2. Must possess the residence for more than 12 months
3. Clarify single family homes and single-family zones
4. Distance from schools – 2,000 feet
5. Cap # city wide – ½ % of residential units not exceeding 25

The Planning Commission discussed the topic at the April 14th meeting. The direction that was given was to continue with what was recommended. Staff worked with legal counsel to craft a draft ordinance for recommendation from the Planning Commission to the City Council with the following amendments:

1. Must be a primary residence & Must possess the residence for more than 12 months
 - a. 10-18-12: PRIMARY RESIDENCE:

Single-family homes that operate a short-term rental shall be the primary or principal place of residence of the property owner, as defined in Utah Code Annotated, Section 20-a-105.

Applications for a short-term rental shall not be accepted until which time the owner of the subject property has demonstrated ownership of no less than twelve (12) consecutive months.

2. Clarify single family homes and single-family zones
 - a. As staff reviewed the definition provided with legal counsel there was general consensus that the definition in code does make a clarification here.
 - i. SHORT-TERM OR VACATION RENTAL: Means a transient lodging facility in a single-family dwelling unit, in public lodging facilities as part of a planned unit development (PUD), or in an accessory dwelling unit (ADU), occupied by a single group on a temporary basis for less than thirty (30) consecutive days as an alternative to a hotel or motel.

3. Distance from schools – 2,000 feet
 - a. 10-18-11: PROXIMITY FROM SCHOOLS:

The location of a short-term rental shall not be nearer than two thousand (2,000) feet from primary or secondary school. Such distance shall be measured as a radius originating from the center point of the property of which the school resides.

4. Cap # city wide – ½ % of residential units not exceeding 25
 - a. 10-18-13: NUMBER OF AVAILABLE PERMITS

The number of available permits allowed shall be calculated at one-half percent (.5%) of the total number of residential units within city limits, not to exceed 25. Availability of permits shall be on a first-come-first-served basis according to a process established by the City Manager.

SAMPLE MOTION LANGUAGE

Approve – Move to approve Ordinance 2022-08 AMENDING TITLE 10 CHAPTER 8 SHORT-TERM OR VACATION RENTALS

Deny – Move to deny Ordinance 2022-08 AMENDING TITLE 10 CHAPTER 8 SHORT-TERM OR VACATION RENTALS

Continue – Move to continue Ordinance 2022-08 AMENDING TITLE 10 CHAPTER 8 SHORT-TERM OR VACATION RENTALS

ORDINANCE 2022-08

**AN ORDINANCE OF THE SOUTH WEBER CITY COUNCIL
AMENDING TITLE 10 CHAPTER 8 SHORT-TERM OR VACATION RENTALS**

WHEREAS, the South Weber City Council initiated a review of the Short-Term Rental code in January 2022; and

WHEREAS, the Short-Term Rental Committee met and discussed potential amendments making five recommendations; and

WHEREAS, Planning Commission met on April 14, 2022 and made additional recommendations; and

WHEREAS, staff drafted an ordinance to make all the changes including a cap on the number of permits allowed; and

WHEREAS, the City Manager was tasked with establishing a short-term rental permit process; and

WHEREAS, Council has agrees with the suggestions;

NOW, THEREFORE, BE IT ORDAINED by the City Council of South Weber City, State of Utah:

Section 1. Amendment: Title 10 Chapter 8 Short-Term or Vacation Rentals shall now read as follows:

10-18-1: PURPOSES:

The purposes of this chapter are to strengthen the City's values of community, family, and safety by permitting short-term or vacation rentals according to the standards of this chapter, to protect the integrity and characteristics of the land use districts, and to require that short-term or vacation rentals be conducted in a manner that neighbors, under normal conditions, would not be aware of their existence. (Ord. 19-12, 5-14-2019)

10-18-2: DEFINITIONS:

As used in this chapter:

OCCUPANTS: Mean the persons renting or residing in a short- term or vacation rental dwelling unit.

PETS: Mean dogs, cats, other domesticated animals, and any other animals that the occupants of a short-term or vacation rental bring onto the premises.

RESPONSIBLE PARTY: Means the owners and local representatives of the short-term or vacation rental property.

SHORT-TERM OR VACATION RENTAL: Means a transient lodging facility in a single-family dwelling unit, in public lodging facilities as part of a planned unit development (PUD), or in an accessory dwelling unit (ADU), occupied by a single group on a temporary basis for less than thirty (30) consecutive days as an alternative to a hotel or motel. (Ord. 19-12, 5-14-2019)

10-18-3: CONDITIONAL USE PERMITS REQUIRED:

A. Permits: A conditional use permit shall be required for each unit used as a short-term or vacation rental, regardless of the zone, type, or primary use of the property.

B. Application For Permit: The application for a conditional use permit shall be signed by the owner of the property on which the short-term or vacation rental is located and shall include:

1. The owner's daytime and evening phone contact numbers and email address;
2. A designated local responsible party with phone and email contact information if the short-term or vacation rental is not owner-occupied;
3. The number of off-street parking stalls available for occupants;
4. A checklist showing compliance with the other requirements of this chapter; and
5. The application fee established in the consolidated fee schedule.

C. Review: The Planning Commission shall review the complete application for a conditional use permit under this chapter and shall approve or deny the conditional use permit based on the criteria listed in this chapter.

D. Applicant Requirements: As a condition of receiving a conditional use permit and prior to conducting business, the applicant shall:

1. Register the business with the State of Utah and obtain a Utah State Sales Tax identification number;
2. Apply for and pay the annual City business license fee, with the license to be issued after the conditional use permit is granted; and
3. Ensure that no more than one short-term or vacation rental agreement per dwelling unit is in use at any one time. (Ord. 19-12, 5-14-2019)

10-18-4: TAX:

Each short-term or vacation rental owner shall collect and remit Sales, Resort, and Transient Room Taxes to the Utah State Tax Commission. (Ord. 19-12, 5-14-2019)

10-18-5: NOISE AND OCCUPANCY:

The responsible party shall regulate the occupancy of the short-term or vacation rental and ensure that:

- A. Occupants and their pets shall not create noise that by reason of time, nature, intensity or duration are out of character with noise customarily heard in the surrounding neighborhood;
- B. Occupants shall not disturb the peace of surrounding residents by engaging in outside recreational activities or other similar activities between ten o'clock (10:00) P.M. and seven o'clock (7:00) A.M.;
- C. Occupants and their pets shall not interfere with the privacy of surrounding residents or trespass onto surrounding properties;

D. Occupants shall not engage in disorderly or illegal conduct, including illegal consumption of drugs or alcohol; and

E. The rental complies with Utah Administrative Code Rule R392-502, Public Lodging Facility Sanitation. (Ord. 19-12, 5-14-2019)

10-18-6: PARKING:

An off-street parking stall shall be provided for each vehicle the occupants bring to the short-term or vacation rental. There shall be no more occupant vehicles allowed at any one time than the number of bedrooms available in the short-term or vacation rental. Vehicles parked at the short-term or vacation rental shall not block clear sight distances, create a nuisance or hazard, violate any City laws or winter-restricted parking requirement, or infringe on other property rights. (Ord. 19-12, 5-14-2019)

10-18-7: CAMPING:

No camp trailers, recreational vehicles, tents, yurts, or any similar non-permanent structures shall be allowed for short-term or vacation rentals under the conditional use permit, except those located in a private area licensed by the City for camping. Camps shall comply with Utah Administrative Code Rule R392-300, Recreation Camp Sanitation. (Ord. 19-12, 5-14-2019)

10-18-8: PETS:

Owners or keepers of any pets on short-term or vacation rental properties shall not allow the animals to create noise that could be considered disturbing, to run at large, or to create a mess that is not immediately cleaned up by the owner or keeper. It shall be unlawful for an owner or keeper of any pet to go upon the private property of any person without the permission of the owner or person entitled to the possession of such private property. (Ord. 19-12, 5-14-2019)

10-18-9: SIGNAGE:

Information shall be displayed in the interior of the dwelling unit listing twenty-four (24) hours seven (7) days a week contact information and the regulations addressing noise, parking, pets, trespassing, illegal activity, and conduct. Exterior signage shall not be allowed. (Ord. 19-12, 5-14-2019)

10-18-10: MAINTENANCE AND STANDARDS:

Any property that contains a dwelling which is licensed as a short-term or vacation rental shall conform to the following standards:

- A. Structures shall be properly maintained and kept in good repair.
- B. Grounds and landscaped areas shall be properly maintained in order that the use in no way detracts from the general appearance of the neighborhood or causes any hazard to the occupants.
- C. Each habitable space shall meet current Building Codes for size, egress, and be equipped with smoke and carbon monoxide detectors.
- D. Garbage shall not be allowed to accumulate on the property and shall be removed on regularly scheduled pick up days.
- E. A fire extinguisher shall be accessible.
- F. A fire exiting route plan shall be posted.
- G. An annual inspection shall be conducted by the Fire Marshal to ensure compliance with fire safety provisions and occupancy requirements. (Ord. 19-12, 5-14-2019)

10-18-11: PROXIMITY FROM SCHOOLS:

The location of a short-term rental shall not be nearer than two thousand (2,000) feet from primary or secondary school. Such distance shall be measured as a radius originating from the center point of the property of which the school resides.

10-18-12: PRIMARY RESIDENCE:

Single-family homes that operate a short-term rental shall be the primary or principal place of residence of the property owner, as defined in Utah Code Annotated, Section 20-a-105.

Applications for a short-term rental shall not be accepted until which time the owner of the subject property has demonstrated ownership of no less than twelve (12) consecutive months.

10-18-13: NUMBER OF AVAILABLE PERMITS

The number of available permits allowed shall be calculated at one-half percent (.5%) of the total number of residential units within city limits, not to exceed 25. Availability of permits shall be on a first-come-first-served basis according to a process established by the City Manager.

10-18-15: COMPLAINTS AND VIOLATIONS:

A. Complaints received by the City from any person alleging any violation of this chapter shall be handled as stated in this section.

B. Upon receiving a first complaint, the City shall call or email, and send a letter or notification to the property owner and responsible party explaining the nature of the complaint and requiring immediate correction.

C. A second complaint will result in the City sending second letter or notification to the property owner and responsible party, explaining the complaint and warning that the conditional use permit may be in jeopardy of being revoked.

D. A third complaint will result in written notification from the City to the property owner and responsible party requiring their attendance at a Planning Commission meeting to show cause why the conditional use permit should not be revoked. The show-cause hearing shall be held even if the owner or responsible party fails to appear.

E. Following a show-cause hearing and short of revoking the conditional use permit, the commission may add any conditions or make any other adjustments to the permit it deems reasonably necessary.

F. Following a show-cause hearing, the Planning Commission may revoke a conditional use permit issued under this chapter if it finds that:

1. The permittee failed to comply repeatedly with any condition set forth in this chapter or the conditional use permit;
2. The permittee engaged in a pattern of unlawful activity; or
3. The permittee violated State law or local ordinances.

G. Notwithstanding any other remedy in this section, violations of this Code or State law may be prosecuted as a criminal offense in the Justice Court. (Ord. 19-12, 5-14-2019)

Section 2. General Repealer. Ordinances in conflict with this ordinance are hereby repealed to the extent of such conflict.

Section 3. Effective Date. The City Council of South Weber City, State of Utah, has determined that the public health, safety, and welfare requires that this ordinance take effect immediately. Therefore, this ordinance shall become effective immediately upon passage and publication as required by law.

PASSED AND ADOPTED by the City Council of South Weber, Davis County, on the 24th day of May 2022.

MAYOR: Rod Westbroek

ATTEST: City Recorder, Lisa Smith

Roll call vote is as follows:

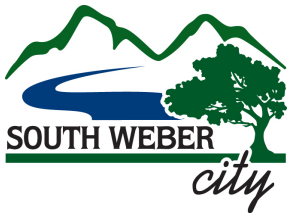
Council Member Halverson	FOR	AGAINST
Council Member Soderquist	FOR	AGAINST
Council Member Petty	FOR	AGAINST
Council Member Alberts	FOR	AGAINST
Council Member Dills	FOR	AGAINST

CERTIFICATE OF POSTING

I hereby certify that Ordinance 2022-08 was passed and adopted the 24th day of May 2022 and that complete copies of the ordinance were posted in the following locations within the City this 25th day of May 2022.

1. South Weber Elementary, 1285 E. Lester Drive
2. South Weber Family Activity Center, 1181 E. Lester Drive
3. South Weber City Building, 1600 E. South Weber Drive

Lisa Smith, City Recorder



CITY COUNCIL MEETING STAFF REPORT

MEETING DATE

Date 05-24-2022

PREPARED BY

City Recorder

Lisa Smith

ITEM TYPE

Administrative

ATTACHMENTS

MWPP

PRIOR DISCUSSION DATES

N/A

AGENDA ITEM

Resolution 22-24: Approve Municipal Wastewater Planning Program Annual Report

PURPOSE

Review the Wastewater Program

RECOMMENDATION

Adopt the Wastewater Planning Program Report

BACKGROUND

Department of Environmental Quality requires an annual survey so cities can evaluate the technical, operational, and financial conditions of their wastewater system. Dana Schuyler from Jones and Associates works with Sewer Manager Mark Johnson to complete and submit the report.

ANALYSIS

n/a

SAMPLE MOTION LANGUAGE

Approve – Move to approve Resolution 22-24: Approve Municipal Wastewater Planning Program Annual Report

Deny – Move to deny Resolution 22-24: Approve Municipal Wastewater Planning Program Annual Report

Continue – Move to continue Resolution 22-24: Approve Municipal Wastewater Planning Program Annual Report

RESOLUTION 22-24

**A RESOLUTION OF THE SOUTH WEBER CITY COUNCIL
ADOPTING THE 2021 MUNICIPAL WASTEWATER
PLANNING PROGRAM ANNUAL REPORT**

WHEREAS, the Utah Department of Environmental Quality has created a Municipal Wastewater Planning Program (MWPP); and

WHEREAS, MWPP issues a mandatory annual survey to assist municipalities in evaluating and summarizing the technical, operational, and financial conditions of these facilities; and

WHEREAS, Sewer Manager Mark Johnson completed and filed the report and presents it to Council for adoption;

NOW THEREFORE BE IT RESOLVED by the Council of South Weber City, Davis County, State of Utah, as follows:

Section 1. Adoption: The 2021 Municipal Wastewater Planning Program Annual Report attached as Exhibit 1 is hereby adopted by the city of South Weber.

Section 2: Repealer Clause: All ordinances or resolutions or parts thereof, which are in conflict herewith, are hereby repealed.

PASSED AND ADOPTED by the City Council of South Weber, Davis County, on the 24th day of May 2022.

Roll call vote is as follows:

Council Member Halverson	FOR	AGAINST
Council Member Petty	FOR	AGAINST
Council Member Soderquist	FOR	AGAINST
Council Member Alberts	FOR	AGAINST
Council Member Dills	FOR	AGAINST

Rod Westbroek, Mayor

Attest: Lisa Smith, Recorder

EXHIBIT 1

WASTEWATER PLANNING REPORT

Municipal Wastewater Planning Program (MWPP)
Annual Report
for the year ending 2021
SOUTH WEBER CITY

Thank you for filling out the requested information. Please let DWQ know when it is approved by the Council.

Please download a copy of your form by clicking "Download PDF" below.

Below is a summary of your responses

[Download PDF](#)

SUBMIT BY APRIL 15, 2022

Are you the person responsible for completing this report for your organization?

☒ **Yes**

☐ **No**

This is the current information recorded for your facility:

Facility Name:	SOUTH WEBER CITY
Contact - First Name:	Mark
Contact - Last Name:	Johnson
Contact - Title	Sewer Manager
Contact - Email:	mark.johnson@swcvt.com

Contact - Phone:	435-770-6098
Contact - Email:	mjohnson@southwebercity.com

#10 MWPP

Is this information above complete and correct?

☒ **Yes**

☐ No

Your wastewater system is described as Collection & Financial:

Classification: COLLECTION

Grade: II

(if applicable)

Classification: -

Grade: -

Is this correct?

WARNING: If you select 'no', you will no longer have access to this form upon clicking Save & Continue. DWQ will update the information and contact you again.

☒ **Yes**

☐ No

Click on a link below to view a previous year's examples of sections in the survey:

(Your wastewater system is described as Collection & Financial)

[MWPP Collection System.pdf](#)

[MWPP Discharging Lagoon.pdf](#)

[MWPP Financial Evaluation.pdf](#)

[MWPP Mechanical Plant.pdf](#)

[MWPP Non-Discharging Lagoon.pdf](#)

Will multiple people be required to fill out this form?

☒ Yes

#10 MWPP

☐ No

Please update the information for the person in charge of filling out each section.

	Email ex. john@email.com	Name (first and last)	Notes These notes will be sent in the invite email
Financial Evaluation	mmcrae@southwebercity.com	Mark McRae	Please help us by filling in the financials for the sewer system. Thanks, Mark J. and Dana
Collection System	mjohnson@southwebercity.com	Mark Johnson	N/A
Review, sign and submit	mjohnson@southwebercity.com	Mark Johnson	N/A

Click 'Yes' to send an email to each responsible person with the notes you've included (if any) with a link to the forms and to receive updates

☐ Yes, send the link to this form for the next person to fill out.

☒ **Continue filling out the form myself and send the link to others later.**

Financial Evaluation Section

Form completed by:

Mark Johnson

Part I: GENERAL QUESTIONS

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Yes

No

	Yes	No
Are sewer revenues maintained in a dedicated purpose enterprise/district account?	<input checked="" type="radio"/>	<input type="radio"/> #10 MWPP

	Yes	No
Are you collecting 95% or more of your anticipated sewer revenue?	<input checked="" type="radio"/>	<input type="radio"/>
Are Debt Service Reserve Fund ⁶ requirements being met?	<input checked="" type="radio"/>	<input type="radio"/>

What was the annual average User Charge¹⁶ for 2021?

14.33

Do you have a water and/or sewer customer assistance program* (CAP)?

☐ Yes

☒ No

Part II: OPERATING REVENUES AND RESERVES

	Yes	No
Are property taxes or other assessments applied to the sewer systems ¹⁵ ?	<input type="radio"/>	<input checked="" type="radio"/>

	Yes	No
Are sewer revenues ¹⁴ sufficient to cover operations & maintenance costs ⁹ , and repair & replacement costs ¹² (OM&R) at this time?	<input checked="" type="radio"/>	<input type="radio"/> 173 of 208

replacement costs (OM&R) at this time.

	Yes	No
Are projected sewer revenues sufficient to cover OM&R costs for the <i>next five years</i> ?	<input checked="" type="radio"/>	<input type="radio"/> #10 MWPP
Does the sewer system have sufficient staff to provide proper OM&R?	<input checked="" type="radio"/>	<input type="radio"/>
Has a repair and replacement sinking fund ¹³ been established for the sewer system?	<input type="radio"/>	<input checked="" type="radio"/>
Is the repair & replacement sinking fund sufficient to meet anticipated needs?	<input type="radio"/>	<input checked="" type="radio"/>

Part III: CAPITAL IMPROVEMENTS REVENUES AND RESERVES

	Yes	No
Are sewer revenues sufficient to cover all costs of current capital improvements ³ projects?	<input checked="" type="radio"/>	<input type="radio"/>
Has a Capital Improvements Reserve Fund ⁴ been established to provide for anticipated capital improvement projects?	<input type="radio"/>	<input checked="" type="radio"/>
Are projected Capital Improvements Reserve Funds sufficient for the <i>next five years</i> ?	<input type="radio"/>	<input checked="" type="radio"/>
Are projected Capital Improvements Reserve Funds sufficient for the <i>next ten years</i> ?	<input type="radio"/>	<input checked="" type="radio"/>
Are projected Capital Improvements Reserve Funds sufficient for the <i>next twenty years</i> ?	<input type="radio"/>	<input checked="" type="radio"/>

Part IV: FISCAL SUSTAINABILITY REVIEW

	Yes	No
Have you completed a Rate Study ¹¹ within the last five years?	<input checked="" type="radio"/>	<input type="radio"/>
Do you charge Impact fees ⁸ ?	<input checked="" type="radio"/>	<input type="radio"/>

Do you charge impact fees?

☒ Yes

☐ No

#10 MWPP

2021 Impact Fee (if not a flat fee, use average of all collected fees) =

2933

Yes

No

Have you completed an Impact Fee Study in accordance with UCA 11-36a-3 within the last five years?

☒

☐

Do you maintain a Plan of Operations¹⁰?

☐

☒

Have you updated your Capital Facility Plan² within the last five years?

☒

☐

Yes

No

Do you use an Asset Management¹ system for your sewer systems?

☐

☒

Yes

No

Do you know the total replacement cost of your sewer system capital assets?

☐

☒

Yes

175 of 208

No

Do you fund sewer system capital improvements annually with sewer revenues at 2% or more of the total replacement cost?

Yes
☐

No
☒ #10 MWPP

What is the sewer/treatment system annual asset renewal* cost as a percentage of its total replacement cost?

☐

☒

What is the sewer/treatment system annual asset renewal* cost as a percentage of its total replacement cost?

0

Part V: PROJECTED CAPITAL INVESTMENT COSTS

Cost of projected capital improvements

	Cost Please enter a valid numerical value	Purpose of Improvements		
		Replace/Restore	New Technology	Increase Capacity
2022	120000	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2022 thru 2026	1925000	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2027 thru 2031		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2032 thru 2036		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2037 thru 2041		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

This is the end of the Financial questions

To the best of my knowledge, the Financial section is completed and accurate.

☒ Yes

This is the end of the Financial section. What would you like to do next? #10 MWPP

This entire section is complete. Send the link to the next person in charge.

- ☐ *(Once you Save & Continue, you will no longer be able to use the same link to view/edit your responses).*
- ☒ **I will continue to fill out/review the next section myself.**

Collections System Section

Form completed by:

May Receive Continuing Education /units (CEUs)

Mark Johnson

Part I: SYSTEM DESCRIPTION

What is the largest diameter pipe in the collection system (diameter in inches)?

21

What is the average depth of the collection system (in feet)?

10

What is the total length of sewer pipe in the system (length in miles)?

36.81

How many lift/pump stations are in the collection system?

1

What is the largest capacity lift/pump station in the collection system (design capacity in gallons per minute)?

20

Do seasonal daily peak flows exceed the average peak daily flow by 100 percent or more?

☐ Yes

☒ No

What year was your collection system first constructed (approximately)?

1993

In what year was the largest diameter sewer pipe in the collection system constructed, replaced or renewed? (If more than one, cite the oldest)

2017

PART II: DISCHARGES

How many days last year was there a sewage bypass, overflow or basement flooding in the system due to rain or snowmelt?

0

How many days last year was there a sewage bypass, overflow or basement flooding due to equipment failure (except plugged laterals)?

0

The Utah Sewer Management Program defines two classes of sanitary sewer overflows (SSOs):

Class 1– a Significant SSO means a SSO or backup that is not caused by a private lateral obstruction or problem that:

- (a) affects more than five private structures;
- (b) affects one or more public, commercial or industrial structure(s);
- (c) may result in a public health risk to the general public;
- (d) has a spill volume that exceeds 5,000 gallons, excluding those in single private structures; or
- (e) discharges to Waters of the state.

Class 2 – a Non-Significant SSO means a SSO or backup that is not caused by a private lateral obstruction or problem that does not meet the Class 1 SSO criteria.

Below include the number of SSOs that occurred in year: 2021

Number

Number of Class 1 SSOs in Calendar year

0

Number of Class 2 SSOs in Calendar year

0

Please indicate what caused the SSO(s) in the previous question.

n/a

Please specify whether the SSOs were caused by contract or tributary community, etc.

n/a

Did an industry or other development enter the community or expand production in the past two years, such that flow or wastewater loadings to the sewerage system increased by 10% or more?

☐ Yes

☒ No

Are new developments (industrial, commercial, or residential) anticipated in the next 2 - 3 years that will increase flow or BOD5 loadings to the sewerage system by 25% or more?

☐ Yes

☒ No

Number of new commercial/industrial connections in the last year

0

Number of new residential sewer connections added in the last year

76

Equivalent residential connections⁷ served

2475

Part IV: OPERATOR CERTIFICATION


How many collection system operators do you employ?

Approximate population served

7867

State of Utah Administrative Rules requires all public system operators considered to be in Direct Responsible Charge (DRC) to be appropriately certified at least at the Facility's Grade.

List the designated Chief Operator/DRC for the Collection System below:

	Name First and Last Name	Grade	Email Please enter full email address
Chief Operator/DRC	Mark Johnson	II 	mjohnson@southwebercity.com

List all other Collection System operators with DRC responsibilities in the field, by certification grade, separate names by commas:

	Name separate by comma
SLS ¹⁷ Grade I:	<input type="text"/>
Collection Grade I:	<input type="text"/>
Collection Grade II:	<input type="text"/>
Collection Grade III:	<input type="text"/>
Collection Grade IV:	<input type="text"/>

List all other Collection System operators by certification grade, separate names by commas:

	Name
SLS ¹⁷ Grade I:	#10 MWPP separate by comma
Collection Grade I:	
Collection Grade II:	Mark Larsen
Collection Grade III:	
Collection Grade IV:	
No Current Collection Certification:	

Is/are your collection DRC operator(s) currently certified at the appropriate grade for this facility?

☒ Yes

☐ No

Part V: FACILITY MAINTENANCE

	Yes	No
Have you implemented a preventative maintenance program for your collection system?	<input checked="" type="radio"/>	<input type="radio"/>
Have you updated the collection system operations and maintenance manual within the past 5 years?	<input checked="" type="radio"/>	<input type="radio"/>
Do you have a written emergency response plan for sewer systems?	<input type="radio"/>	<input checked="" type="radio"/>
Do you have a written safety plan for sewer systems?	<input type="radio"/>	<input checked="" type="radio"/>
Is the entire collections system TV inspected at least every 5 years?	<input type="radio"/>	<input checked="" type="radio"/>
Is at least 85% of the collections system mapped in GIS?	<input checked="" type="radio"/>	<input type="radio"/>

Part VI: SSMP EVALUATION

#10 MWPP

Yes

No

Has your system completed a Sewer System Management Plan (SSMP)?

☒☐

Has the SSMP been adopted by the permittee's governing body at a public meeting?

☒☐

Has the completed SSMP been public noticed?

☒☐

During the annual assessment of the SSMP, were any adjustments needed based on the performance of the plan?

☐☒

Date of Public Notice

09/18/2015

During 2021, was any part of the SSMP audited as part of the five year audit?

☐ Yes

☒ No

Have you completed a System Evaluation and Capacity Assurance Plan (SECAP) as defined by the Utah Sewer Management Program?

☒ Yes

☐ No

Part VII: NARRATIVE EVALUATION

This section should be completed with the system operators.

183 of 208

Describe the physical condition of the sewerage system: (lift stations, etc. included)

in good overall condition, no major issues

What sewerage system capital improvements³ does the utility need to implement in the next 10 years?

replacement projects for capacity issues (upsizing projects)

What sewerage system problems, other than plugging, have you had over the last year?

none

Is your utility currently preparing or updating its capital facilities plan²?

☐ Yes

☒ No

Does the municipality/district pay for the continuing education expenses of operators?

☒ **100% Covered**

☐ Partially cover

☐ Does not pay

Is there a written policy regarding continuing education and training for wastewater operators?

☐ Yes

☒ No

Any additional comments?

#10 MWPP

none

This is the end of the Collections System questions

To the best of my knowledge, the Collections System section is completed and accurate.

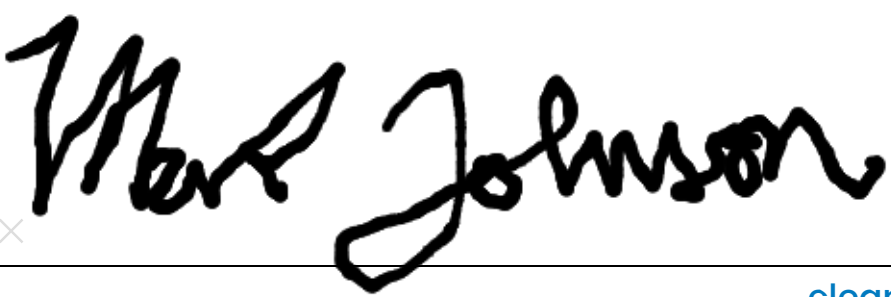
☒ Yes

This is the end of the Collection System section, what would you like to do next?

This entire section is complete. Send the link to the next person in charge.

- ☐ *(Once you Save & Continue, you will no longer be able to use the same link to view/edit your responses).*
- ☒ **I will continue to fill out/review the next section myself.**

I have reviewed this report and to the best of my knowledge the information provided in this report is correct.


clear

Has this been adopted by the council? If no, what date will it be presented to the council?

☐ Yes

What date will it be presented to the council?

Date format ex. mm/dd/yyyy

05/10/2022

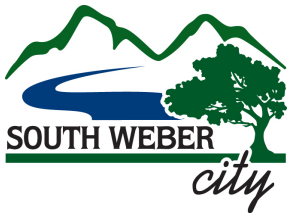
Please log in.

Email

PIN

NOTE: This questionnaire has been compiled for your benefit to assist you in evaluating the technical and financial needs of your wastewater systems. Completion of the collection section meets the annual reporting requirement for the USMP. If you received financial assistance from the Water Quality Board, annual submittal of this report is a condition of that assistance. Please answer questions as accurately as possible to give you the best evaluation of your facility. If you need assistance, please send an email to wqinfodata@utah.gov and we will contact you as soon as possible. You may also visit our [Frequently Asked Questions](#) page.

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CITY COUNCIL MEETING STAFF REPORT

MEETING DATE

May 24, 2022

PREPARED BY

Trevor Cahoon
Community Service Dir

ITEM TYPE

Administrative Approval

ATTACHMENTS

Draft Ordinance

AGENDA ITEM**RESOLUTION 22-25: DEVELOPMENT AGREEMENT FOR SOUTH WEBER GATEWAY**PURPOSE

Approve resolution for the South Weber Gateway Development Agreement.

BACKGROUND

The City Council in a special work session on April 28, 2022 discussed the South Weber Gateway project and the final application that is going forward to the City Council Policy Session. The conversation focused on the intent of the project to come forward without the phasing that was originally discussed in the development agreement that ultimately was not executed on the project, and the request for a single lot subdivision with multiple buildings.

Through this conversation the City Staff, Developer, and the City Council discussed the differences in ownership and the type of plats that could be executed for the development. Due to limitations found within South Weber City's code the City does not allow the use of a townhome plat as no provision exists for the creation of zero lot lines. A definition does exist within code to allow for a condominium plat. The developer at the preliminary stage of the project was presented with this option to allow for ownership, and the developer decided to not pursue this option, rather opting for a single lot subdivision and proceed with a for rent option, with the intent that if the City update code to then convert the plat into a townhome plat. The Council discussed with the developer whether they would consider using the condominium plat as this is allowed within city code, the developer declined stating that it is their desire to use a townhome plat for ownership. The developer did, however, agree to include within an administrative development agreement to pursue a townhome plat when the option is available.

Further conversation was had about the phasing of the project. Since the inception of the project included a phased approach to the development of the commercial property in relation to the residential portion of the project. While elements of this phasing existed up until the preliminary stage of the development, the developer opted to apply for final approval as one project without phasing. The intent of this was to allow more flexibility of development especially as the commercial tenants being pursued are given the option for a build to suit. In the discussion the Council expressed the desire for the project to maintain the previously purposed phasing. The developer agreed that they are open to including this in the administrative development agreement to facilitate the desires of the Council.

General conversation was given about the project and the developer made note of items that the council would like to see resolved. The other items that need attention are:

- The repositioning of the trail on the eastern portion of the commercial property to the very edge of the property. The developer suggested to include this in the agreement.
- Updating the plans to include a masonry wall instead of the berm on the buffer yard.
- Reaching out to the sanitation services to confirm garbage services can be provided.
- Discuss with the real estate team about the MLS status of a few of the units.
- Look at the landscape plan for the project to try and include as many plants as they can.
- Work with the City Engineer on the lighting requirements to ensure they meet the demands of the code.
- Propose a solution to fix the square footage discrepancy.

Staff and the Developer worked toward crafting a development agreement to establish terms of administration of the project. The development agreement includes the following elements:

- The agreement of the developer to apply for a replat of the property if and when the City amends its Land Use Ordinance to allow R-7 developments to be platted as townhomes.
- If the development meets the requirements of the amendments, then the City agrees to approve the application without requiring any material changes to the Site Plan.
- The developer agrees to develop the property in phases as originally demonstrated.
- The developer will extend the walking path to the eastern side of the property.

The City Council agreed to the Development Agreement on a 3-2 vote at the May 10, 2022 City Council meeting. The passage of this resolution is to ratify that decision that was made.

SAMPLE MOTION LANGUAGE

Approve – Move to approve Resolution 22-25: Development Agreement for South Weber Gateway.

Deny – Move to deny Resolution 22-25: Development Agreement for South Weber Gateway.

Continue – Move to continue Resolution 22-25: Development Agreement for South Weber Gateway.

RESOLUTION 22-25

A RESOLUTION OF THE SOUTH WEBER CITY COUNCIL APPROVING A DEVELOPMENT AGREEMENT FOR SOUTH WEBER GATEWAY

WHEREAS, Council has discussed the South Weber Gateway project repeatedly and finds the best way to proceed is with an administrative development agreement; and

WHEREAS, the agreement was reviewed in an open meeting on May 10, 2022; and

WHEREAS, the plat, improvement plans, and conditional use permit were approved on condition of the development agreement being fully executed;

NOW THEREFORE BE IT RESOLVED by the Council of South Weber City, Davis County, State of Utah, as follows:

Section 1. Approval: The Development Agreement for the South Weber Gateway Project between South Weber City and Farrell Poll and Steward Land Holdings LLC is hereby approved.

Section 2: Repealer Clause: All ordinances or resolutions or parts thereof, which are in conflict herewith, are hereby repealed.

PASSED AND ADOPTED by the City Council of South Weber, Davis County, on the 24th day of May 2022.

Roll call vote is as follows:

Council Member Halverson	FOR	AGAINST
Council Member Petty	FOR	AGAINST
Council Member Soderquist	FOR	AGAINST
Council Member Alberts	FOR	AGAINST
Council Member Dills	FOR	AGAINST

Rod Westbroek, Mayor

Attest: Lisa Smith, Recorder

DEVELOPMENT AGREEMENT

South Weber City, a Utah municipal corporation (the “**City**”), and Farrell Poll and Steward Land Holdings LLC, a Utah limited liability company (together, the “**Developer**”) enter into this Development Agreement (this “**Agreement**”) effective as of May 24, 2022 (the “Effective Date”) and agree as set forth below.

RECITALS:

A. The City, acting pursuant to its authority under Utah Code Annotated §§ 10-9a-101, et seq., as amended, and the Municipal Code for South Weber City (the “City Code”), and in furtherance of its land use policies, goals, objectives, ordinances, resolutions, and regulations, has made certain determinations with respect to the proposed development of the Property (defined in Recital B), in exercise of its legislative discretion and administrative authority, and has elected to enter into this Agreement.

B. Developer is the owner of certain real property located at approximately 2400 East South Weber Drive, in South Weber City, Davis County, Utah, and legally described in attached **Exhibit A** (the “Property”).

C. On July 20, 2021, the City passed Ordinance No. 2021-10 as set forth in attached **Exhibit B** (the “Rezone Ordinance”) approving the rezone of the Property from Agricultural to Commercial Highway and Residential R-7.

D. Developer desires to make improvements to the Property in conformity with this Agreement, the Rezone Ordinance, the requirements as outlined in City Code (the “Land Use Ordinance”), any future approvals, and in accordance with all other applicable provisions of the City Code.

E. Developer has submitted a Site Plan for approval by the City Council, which Site Plan is consistent with City Code, was approved by the City Council on May 10, 2022, and is attached to this Agreement as **Exhibit C** (the “Site Plan”).

F. The City will authorize execution of this Agreement by resolution within 30 days of the Effective Date, which resolution shall be attached to this Agreement as **Exhibit D**.

G. The City intends to amend its Land Use Ordinance to allow R-7 developments to be platted as townhomes that can be sold as individual units with zero lot line between such townhome units, and to make a minor amendment to the legal description of the Property covered by the Rezone Ordinance.

DEVELOPER AND THE CITY AGREE AS FOLLOWS:

1. **Recitals; Definitions.** The foregoing recitals are incorporated into and made a part of the terms of this Agreement. Any capitalized term used but not otherwise defined in this Agreement shall have the meaning ascribed to such term in the City Code.

2. Developer. Developer agrees the following terms and conditions apply to the development of the Property:

a. The Property shall be developed in accordance with the provisions of this Agreement, the Land Use Ordinance, and all other applicable provisions of the City Code in effect as of the date of the Rezone Ordinance. The parties agree that this Agreement does not conflict with the requirements of the Land Use Ordinance or the City Code.

b. Developer will proceed in good faith with development of the Property and submit site plan(s), plats, architectural designs, elevations, and concept renderings relative to the development of the Property (collectively, the "Developer Plans") as necessary to obtain the approval of the City in accordance with the City Code through its Planning Commission and City Council. The City agrees to process all further land use approval applications relating to the Project, including but not limited to administratively issued approvals like building permits, in conformance with all of the City's laws and without undue delay.

c. If and when the City amends its Land Use Ordinance to allow R-7 developments to be platted as townhomes, Developer agrees to apply to replat the Property as a townhome plat with individually platted units.

d. If Developer's application to replat the Property as a townhome plat is otherwise consistent with amendments to the City's Land Use Ordinance, the City agrees to approve such application without requiring any material changes to the Site Plan. For purposes of this agreement, new architectural requirements, changes to setbacks, landscaping requirements, or loss of control over individual units by the Developer would constitute a material change. Minor modifications necessary to accommodate utility access would not be considered material changes.

e. Developer agrees to develop the Property in phases as is described below and depicted in the Phasing Plan attached hereto as **Exhibit E**:

i. Phase One shall include a minimum of three retail pads constructed concurrently with no more than thirty (30) townhome units;

ii. Phase Two shall include a minimum of one additional retail pad with a building size approximately as drawn in the Site Plan, constructed concurrently with no more than thirty-one (31) townhome units.

iii. Phase Three shall include a final commercial pad constructed according to market demands.

f. The City shall not issue a Notice of Occupancy for any unit in phase two until Developer has completed and received Notice(s) of Occupancy for all structures in Phase One. Phase Three may be constructed and receive a Notice of Occupancy prior to the completion of Phases One and Two.

g. As part of the Final Site Plan approval, the City and Developer agree to amend the legal descriptions to reflect the updated dimensions of commercial and residential areas as depicted in the Site Plan.

h. To enhance pedestrian safety, Developer agrees to extend the walking path adjacent to unit 21 as indicated in the image attached hereto as **Exhibit F**.

3. **Term**. This Agreement shall be effective as of the date of recordation, shall run with the land and shall continue in full force and effect unless and until this Agreement is terminated by mutual consent of the parties.

4. **General Provisions**.

a. **Notices**. Any notice to be given by any party hereunder must be given in writing and delivered in person, or by reputable nationwide overnight courier, or forwarded by certified or registered mail, postage prepaid, return receipt requested, at the address indicated below, unless the party giving such notice has been notified, in writing, of a change of address. Notices are effective on the date of delivery (or refusal to accept delivery), if notice is given by personal delivery, on the next succeeding business day after deposit with an overnight courier for next day delivery, or if notice is sent through the United States mail, on the earlier of the date of actual delivery as shown by the addressee's receipt or the expiration of three (3) days following the date of mailing.

If to Developer:
Steward Land Holdings, LLC
Attn: Terrance Sky Hazlehurst
1708 E 5550 St. 18
South Ogden, UT 84403

If to City:
South Weber City
Attn: David Larson, City Manager
1600 E South Weber Drive
South Weber City, UT 84405

b. **Waiver**. No delay in exercising any right or remedy shall constitute a waiver thereof and no waiver by the parties of the breach of any provision of this Agreement shall be construed as a waiver of any preceding or succeeding breach by the same of any other provision of this Agreement.

c. **Headings**. The descriptive headings of the paragraphs of this Agreement are inserted for convenience only and shall not control or affect the meaning or construction of any provision this Agreement.

d. **Authority**. The parties to this Agreement represent to each other that they have full power and authority to enter into this Agreement, and that all necessary actions have been taken to give full force and effect to this Agreement. Developer represents and warrants it is fully formed and validly existing under the laws of the State of Utah, and that it is duly qualified to do business in the State of Utah and is in good standing under applicable state laws. Developer and the City warrant to each other that the individuals executing this Agreement on behalf of their respective parties are authorized and empowered to bind the parties on whose behalf each individual is signing.

e. Entire Agreement. This Agreement, including exhibits, constitutes the entire Agreement between the parties.

f. Assignment. Neither this Agreement, nor any of the provisions, terms or conditions hereof can be assigned by Developer to another party, individual or entity without assigning the rights as well as the obligations under this Agreement, and without the prior written consent of the City, which shall not be unreasonably withheld. Such assignments shall be subject to review by the City which is intended to provide assurances that the proposed assignee possesses sufficient ability to assume the provisions, terms, and conditions of this Agreement. The City shall review and approve, approve with conditions, or deny all proposed assignments by Developer to a subsequent fee owner, as required by this Section, within twenty-one (21) days of notice of proposed sale, assignment, or other transfer. If the City takes no action to either approve (with or without conditions) or deny a proposed assignment, the assignment shall be deemed approved by the City. If the City in good faith determines that the proposed assignee does not have sufficient financial ability to assume and carry out the affirmative provisions, terms and conditions of this Agreement, a portion of this Agreement may still be assigned but Developer shall remain responsible for the performance of all obligations of this Agreement. Notwithstanding the foregoing, the City hereby consents to the assignment by Developer of any or all its rights under this Agreement to its Lender, provided that notice of the assignment is given to the City of such assignment promptly after the transfer is accomplished. The rights of the City under this Agreement shall not be assigned.

g. Agreement to Run with the Land; Priority. This Agreement shall be recorded in the office of the Davis County Recorder against each Property and is intended to and shall be deemed to run with the land and shall be binding on all successors and assigns of Owner in the ownership or development of any portion of the Project, senior to any debt security instruments encumbering the Property. The benefits of this Agreement shall inure to successors-in-interest and/or subsequent owners of the Property only if the Agreement is transferred or assigned in accordance with the provisions of paragraph (4)(f) above.

h. Amendment of this Agreement. This Agreement may be amended in whole or in part with respect to all or any portion of the Property by the mutual written consent of the parties to this Agreement or by their successors-in-interest or assigns. Any such amendment of this Agreement shall be recorded in the official records of the Davis County Recorder's Office.

i. Severability. If any of the provisions of this Agreement are declared void or unenforceable, such provision shall be severed from this Agreement, which shall otherwise remain in full force and effect, provided that the fundamental purpose of this Agreement and Developer's ability to complete the development of the Property is not defeated by such severance.

j. Governing Law. The laws of the State of Utah shall govern the interpretation and enforcement of the Agreement. The parties shall agree that the venue for any action commenced in connection with this Agreement shall be proper only in a court of competent jurisdiction located in Davis County, Utah, and the Parties hereby waive any right to object to such venue.

k. Remedies. Without limiting any other provision of this Agreement, if any party to this Agreement breaches any provision of this Agreement, the non-breaching party shall be entitled to all remedies available at both law and in equity.

l. Attorney's Fee and Costs. If any party brings legal action either because of a breach of the Agreement or to enforce a provision of the Agreement, the prevailing party shall be entitled to reasonable attorney's fees and court costs.

m. Binding Effect. The benefits and burdens of this Agreement shall be binding upon and shall inure to the benefit of the parties hereto and their respective heirs, legal representatives, successors in interest and assigns. This Agreement shall be incorporated by reference in any instrument purporting to convey an interest in the Property.

n. Third Parties. There are no third-party beneficiaries to this Agreement, and no person or entity not a party hereto shall have any right or cause of action hereunder.

o. No Agency Created. Nothing contained in the Agreement shall create any partnership, joint venture, or agency relationship between the parties.

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement as of the date first written above.

DEVELOPER:
STEWARD LAND HOLDINGS, LLC
a Utah limited liability company

CITY:
SOUTH WEBER CITY, UTAH

By: _____
Terrance Sky Hazlehurst

By: _____
David Larson, City Manager

Date: _____

Date: _____

CITY ACKNOWLEDGEMENT

STATE OF UTAH)
 :ss.
COUNTY OF DAVIS)

On the day of , 2022, personally appeared before me David Larson who
being by me duly sworn did say that he is the City Manager of SOUTH WEBER CITY, and that
the foregoing instrument was signed on behalf of said City as given in City Code 1-3-4A 10

Notary Public

My Commission Expires:

Residing at:

DEVELOPER ACKNOWLEDGMENT

STATE OF UTAH)
 :ss.
COUNTY OF DAVIS)

On the day of , 2022, personally appeared before me TERRANCE SKY HAZLEHURST, Steward Land Holdings, LLC, known to me to be the signer of the foregoing instrument, who duly acknowledged to me that he executed the same on behalf of Steward Land Holdings, LLC, by authority of its Operating Agreement.

Notary Public

My Commission Expires:

Residing at:

EXHIBIT "A"
Legal Description

BOUNDARY DESCRIPTION

PART OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT, SAID POINT BEING S89°53'29"E 861.74 FEET FROM THE CENTER OF SAID SECTION 35; THENCE N20°47'47"E 70.49 FEET; THENCE N84°30'00"W 109.15 FEET; THENCE N82°15'00"W 102.46 FEET; THENCE S20°47'47"W 6.00 FEET TO THE NORTHERLY LINE OF ROYAL FARMS ESTATES PHASE 3; THENCE ALONG SAID NORTHERLY LINE THE FOLLOWING THREE (3) COURSES: (1) N65°50'02"W 176.78 FEET; (2) N53°09'46"W 82.36 FEET; AND (3) N52°25'32"W 101.91 FEET; THENCE N46°43'51"W 137.58 FEET TO THE NORTHERLY LINE OF CEDAR BLUFFS SUBDIVISION PHASE 2; THENCE N47°12'09"W ALONG SAID NORTHERLY LINE, 328.07 FEET; THENCE N00°09'16"E 34.93 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SOUTH WEBER DRIVE; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE THE FOLLOWING TWO (2) COURSES: (1) A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 1355.32 FEET, AN ARC LENGTH OF 423.56 FEET, A DELTA ANGLE OF 17°54'21", A CHORD BEARING OF S80°31'31"E, A RADIAL BEARING OF N18°25'39"E, AND A CHORD LENGTH OF 421.84 FEET; AND (2) S89°28'42"E 877.37 FEET; THENCE S00°06'41"W 544.02 FEET TO THE NORTHERLY LINE OF PEACHWOOD ESTATES SUBDIVISION – UNIT 1; THENCE N89°53'29"W ALONG SAID NORTHERLY LINE, 456.31 FEET TO THE POINT OF BEGINNING.

CONTAINING 507,182 SQUARE FEET OR 11.643 ACRES MORE OR LESS

ORDINANCE 2021-10

**AN ORDINANCE OF THE SOUTH WEBER CITY COUNCIL AMENDING
PROVISIONS OF THE CITY'S ZONING MAP AND CODE
REZONING PARCEL 13-034-0068**

WHEREAS, the South Weber City Council has received an application from the owner and agent of Parcel 13-034-0068, located at approximately 2301 East South Weber Drive, South Weber City ("the Property"); and

WHEREAS, the City Council is authorized by state statute and municipal ordinances to make such amendments; and

WHEREAS, the City Council has determined that the proposed amendment to the Property is in line with all applicable current land use ordinances and is in line with the duly adopted Projected Land Use Map of the South Weber City General Plan; and

WHEREAS, the South Weber City Planning Commission has made a favorable recommendation to the City Council that the Property be rezoned.

NOW, THEREFORE, BE IT ORDAINED by the City Council of South Weber City, Utah, as follows:

Section 1. Amendment. Parcel 13-034-0068 at approximately 2301 E South Weber Drive is rezoned as follows:

- a. 2.783 acres is hereby rezoned from Agricultural (A) to Highway Commercial (C-H) as included in Exhibit A.
- b. 8.861 acres is hereby rezoned from Agricultural (A) to Residential Multi-Family Seven (R-7) as referenced in Exhibit B.

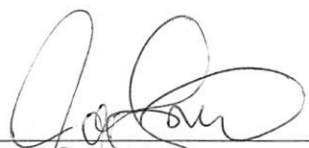
Section 2. Site Plan Condition. This Ordinance is specifically subject to and conditional upon the following:

- a. a Site Plan for the Property must be approved by the City within 18 months of the date of this Ordinance. In the event a Site Plan is not approved or ownership of the Property is transferred to someone other than the applicants for this re-zone, the zoning designation of the property shall revert to Agricultural (A).

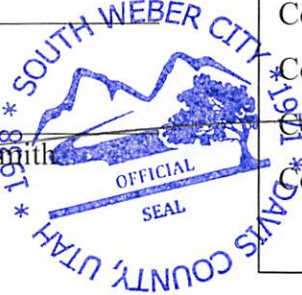
Section 3. Severability. If any section, part, or provision of this Ordinance is held invalid or unenforceable, such invalidity or unenforceability shall not affect any other portion of this Ordinance; and all sections, parts, and provisions of this Ordinance shall be severable.

Section 4. Effective Date. In accordance with Utah Code Ann. § 10-3-701 et seq. and Title 1, Chapter 2, Section 5 of South Weber City Code, this Ordinance shall take effect immediately upon adoption and recordation.

PASSED AND ADOPTED by the City Council of South Weber, Davis County, on the 20th day of July, 2021.


MAYOR: Jo Sjoblom


ATTEST: City Recorder, Lisa Smith



Roll call vote is as follows:

Council Member Winsor	FOR	AGAINST
Council Member Petty	FOR	AGAINST
Council Member Soderquist	FOR	AGAINST
Council Member Alberts	FOR	AGAINST
Council Member Halverson	FOR	AGAINST

EXHIBIT A HIGHWAY COMMERCIAL (C-H) LEGAL DESCRIPTION

PART OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT, SAID POINT BEING S89°53'29"E 1318.05 FEET AND N00°06'41"E 380.92 FEET FROM THE CENTER OF SAID SECTION 35; THENCE N89°53'19"W 486.17 FEET; THENCE N85°20'45"W 79.73 FEET; THENCE N66°36'51"W 93.73 FEET; THENCE N89°12'14"W 127.62 FEET; THENCE N00°31'18"E 123.80 FEET; THENCE S89°28'42"E 778.50 FEET; THENCE S00°06'41"W 163.10 FEET TO THE POINT OF BEGINNING.

CONTAINING 121,217 SQUARE FEET OR 2.783 ACRES MORE OR LESS.

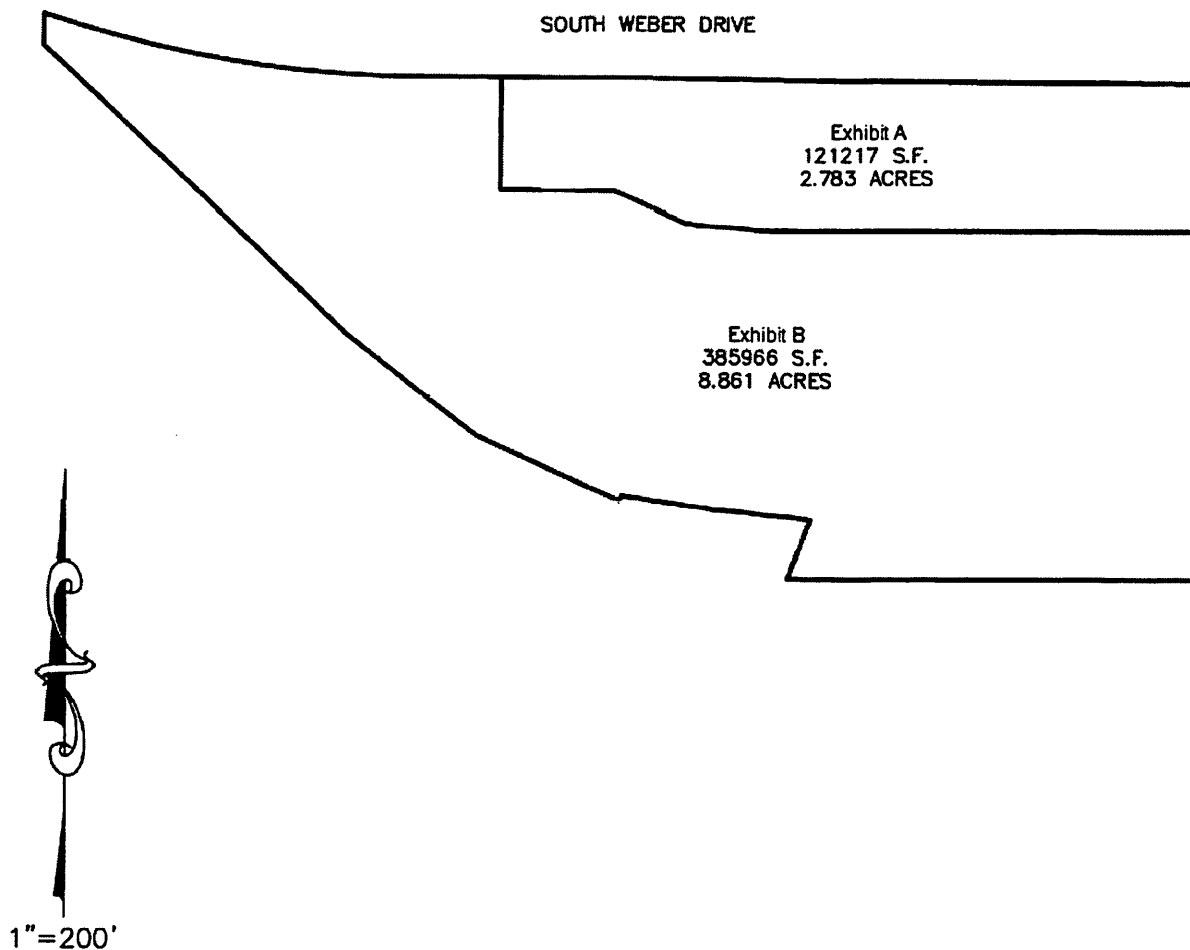


EXHIBIT B

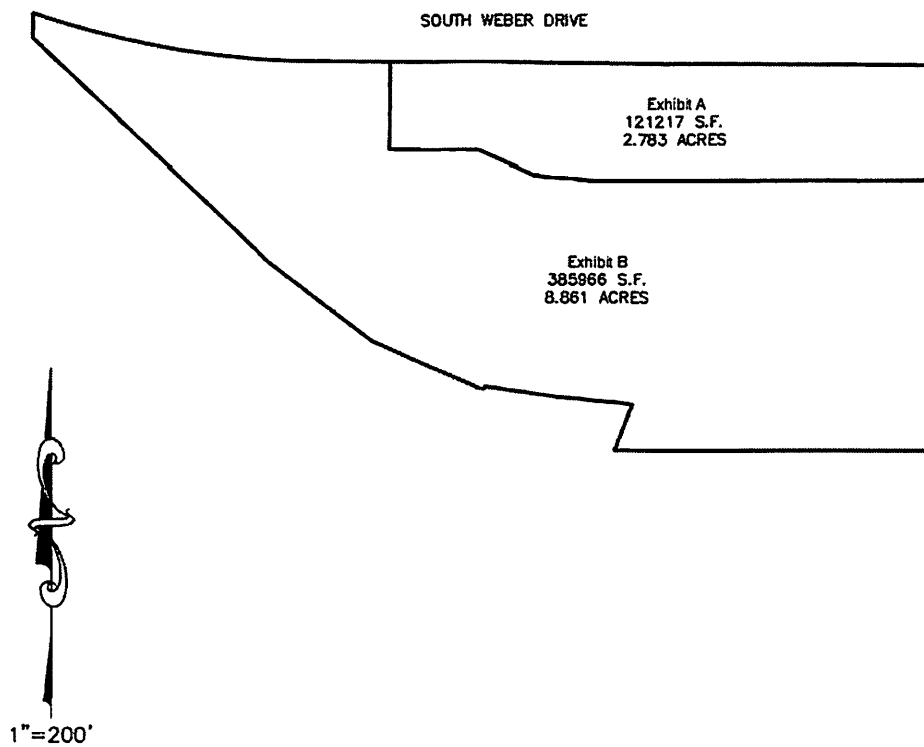
RESIDENTIAL MULTI-FAMILY SEVEN (R-7)

LEGAL DESCRIPTION

PART OF THE NORTHEAST QUARTER OF SECTION 35. TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT. SAID POINT BEING S89°53'29"E 861.74 FEET FROM THE CENTER OF SAID SECTION 35; THENCE N20°47'47"E 70.49 FEET; THENCE N84°30'00"W 109.15 FEET; THENCE N82°15'00"W 102.46 FEET; THENCE S20°47'47"W 6.00 FEET; THENCE N65°50'02"W 176.78 FEET; THENCE N53°09'46"W 82.36 FEET; THENCE N52°25'32"W 101.91 FEET; THENCE N46°43'51"W 137.58 FEET; THENCE N47°12'09"W 328.07 FEET; THENCE N00°09'16"E 34.93 FEET; THENCE ALONG A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 1355.32 FEET, AN ARC LENGTH OF 423.56 FEET, A DELTA ANGLE OF 17°54'21", A CHORD BEARING OF S80°31'31"E, AND A CHORD LENGTH OF 421.84 FEET; THENCE S89°28'42"E 98.87 FEET; THENCE S00°31'18"W 123.80 FEET; THENCE S89°12'14"E 127.62 FEET; THENCE S66°36'51"E 93.73 FEET; THENCE S85°20'45"E 79.73 FEET; THENCE S89°53'19"E 486.17 FEET; THENCE S00°06'41"W 380.92 FEET; THENCE N89°53'29"W 456.31 FEET TO THE POINT OF BEGINNING.

CONTAINING 385,966 SQUARE FEET OR 8.861 ACRES MORE OR LESS.

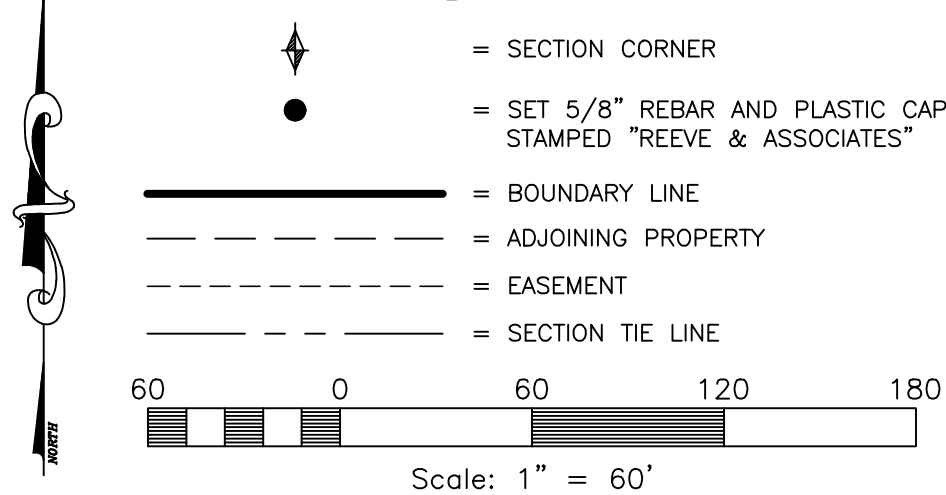


SHEET 1 OF 1

SOUTH WEBER GATEWAY SUBDIVISION

PART OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
CITY OF SOUTH WEBER, DAVIS COUNTY, UTAH
MARCH, 2022

LEGEND



BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS PLAT IS THE SECTION LINE BETWEEN THE CENTER AND THE EAST QUARTER CORNER OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, SHOWN HEREON AS: S89°53'29"E

NARRATIVE

THE BOUNDARY WAS DETERMINED BY DEED AND ADJACENT SUBDIVISIONS. THE EAST LINE WAS PLACED ALONG THE DEED LINE PER THE TITLE REPORT FOR THE SUBJECT PARCEL. MOST OF THE FENCING ALONG THIS LINE DOES NOT APPEAR TO BE BOUNDARY FENCING, BUT MORE FENCE OF CONVENIENCE OR NOT ANCIENT.

NOTE

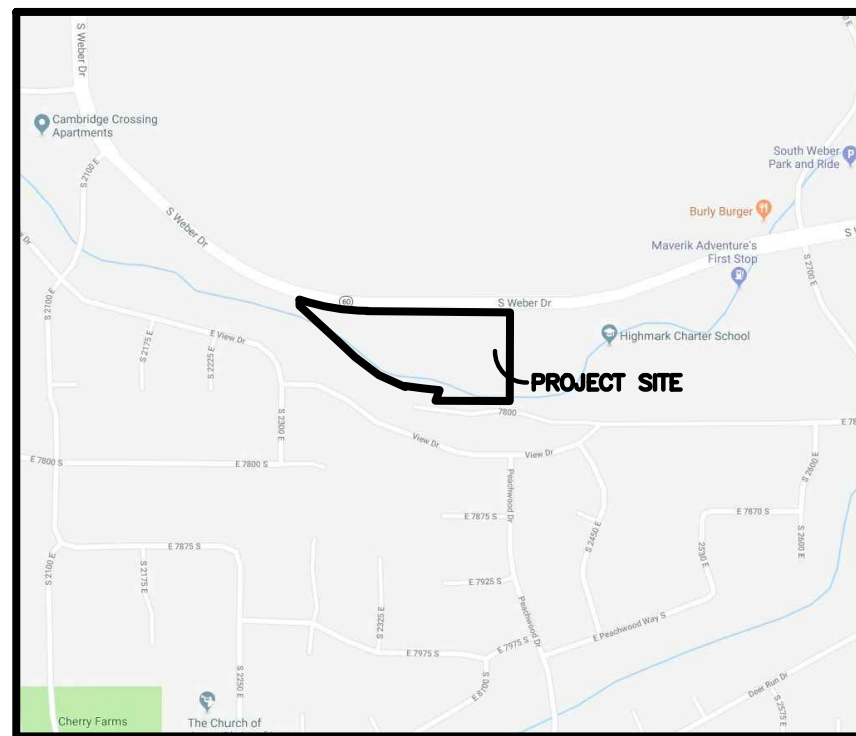
1. FIRE HYDRANTS SHALL BE ANNUALLY MAINTAINED AND A 5-YEAR FLOW TEST SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 24 AND 25.

BOUNDARY DESCRIPTION

PART OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:

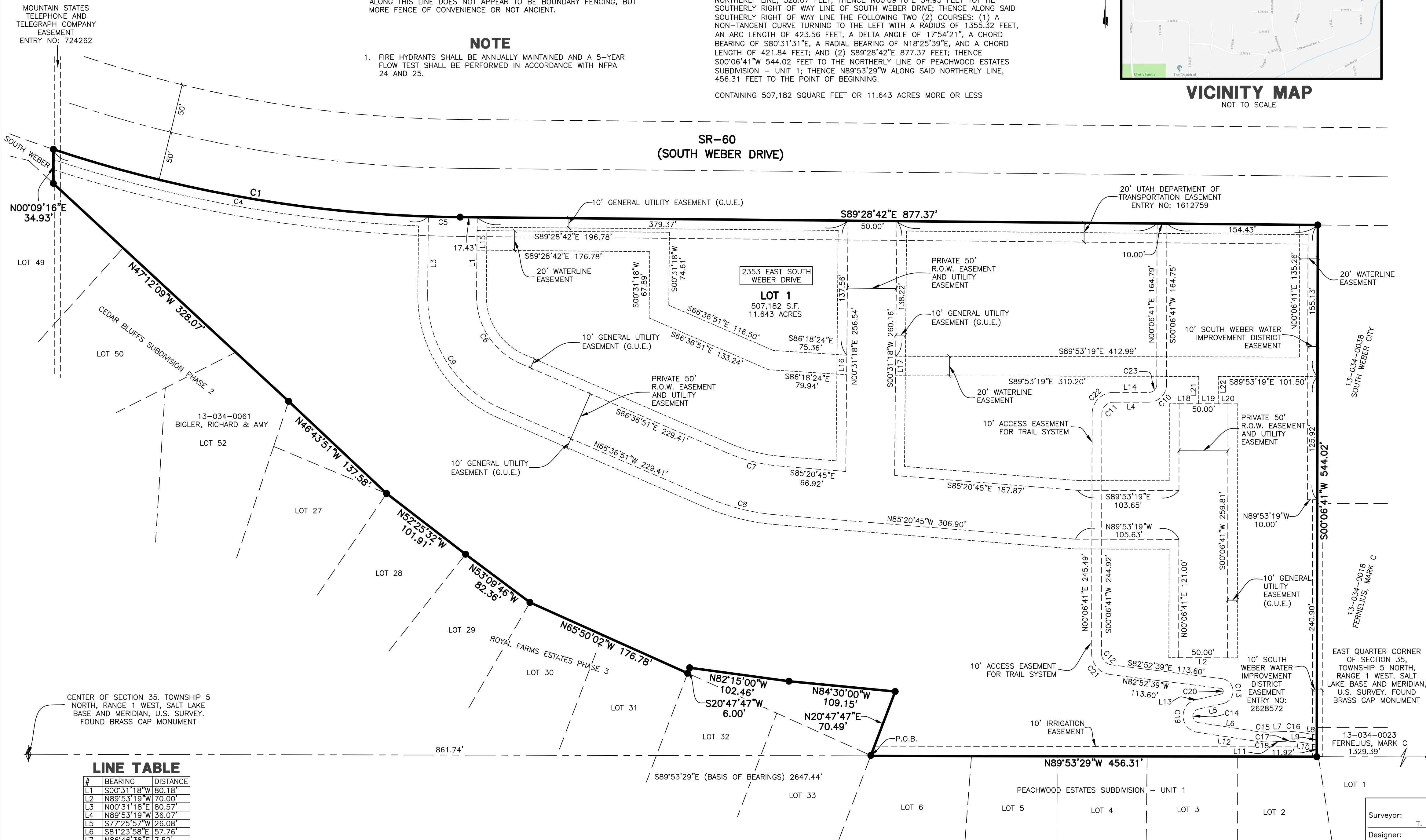
BEGINNING AT A POINT, SAID POINT BEING S89°53'29"E 861.74 FEET FROM THE CENTER OF SAID SECTION 35; THENCE N20°47'47"E 70.49 FEET; THENCE N84°30'00"W 109.15 FEET; THENCE N82°15'00"W 102.46 FEET; THENCE S20°47'47"W 6.00 FEET TO THE NORTHERLY LINE OF ROYAL FARMS ESTATES PHASE 3; THENCE ALONG SAID NORTHERLY LINE THE FOLLOWING THREE (3) COURSES: (1) N65°50'02"W 176.78 FEET; (2) N53°09'46"W 82.36 FEET; AND (3) N52°25'32"W 101.91 FEET; THENCE N46°43'51"W 137.58 FEET TO THE NORTHERLY LINE OF CEDAR BLUFFS SUBDIVISION PHASE 2; THENCE N47°12'09"W ALONG SAID NORTHERLY LINE, 328.07 FEET; THENCE N00°09'16"E 34.93 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SOUTH WEBER DRIVE; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE THE FOLLOWING TWO (2) COURSES: (1) A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 1355.32 FEET, AN ARC LENGTH OF 423.56 FEET, A DELTA ANGLE OF 17°54'21", A CHORD BEARING OF S80°31'31"E, A RADIAL BEARING OF N18°25'39"E, AND A CHORD LENGTH OF 421.84 FEET; AND (2) S89°28'42"E 877.37 FEET; THENCE S00°06'41"W 544.02 FEET TO THE NORTHERLY LINE OF PEACHWOOD ESTATES SUBDIVISION - UNIT 1; THENCE N89°53'29"W ALONG SAID NORTHERLY LINE, 456.31 FEET TO THE POINT OF BEGINNING.

CONTAINING 507,182 SQUARE FEET OR 11.643 ACRES MORE OR LESS



VICINITY MAP

NOT TO SCALE



LINE TABLE

#	BEARING	DISTANCE
L1	S00°31'18"W	80.18'
L2	N89°53'19"W	70.00'
L3	N00°31'18"E	80.57'
L4	N89°53'19"W	36.07'
L5	S77°25'57"W	26.08'
L6	S81°23'58"E	57.76'
L7	N86°46'38"E	7.52'
L8	S79°54'46"E	12.65'
L9	S00°06'41"W	10.15'
L10	N79°54'46"W	14.41'
L11	S86°46'38"W	7.52'
L12	N81°23'58"W	57.75'
L13	N77°25'57"E	26.08'
L14	S89°53'19"E	34.07'
L15	S00°31'18"W	20.00'
L16	S00°31'18"W	20.03'
L17	S00°31'18"W	20.00'
L18	S89°53'19"E	30.00'
L19	S89°53'19"E	20.00'
L20	S89°53'19"E	20.00'
L21	N00°06'41"E	28.00'
L22	N00°06'41"E	28.00'

SOUTH WEBER CITY PLANNING COMMISSION

APPROVED BY THE SOUTH WEBER PLANNING COMMISSION ON
THIS THE ____ DAY OF _____, 20__.

CHAIRMAN, SOUTH WEBER CITY PLANNING COMMISSION

SOUTH WEBER CITY ENGINEER

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

SOUTH WEBER CITY ENGINEER DATE

SOUTH WEBER CITY COUNCIL

PRESENTED TO THE SOUTH WEBER CITY COUNCIL THIS THE ____ DAY OF _____, 20__, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

SOUTH WEBER CITY MAYOR ATTEST: CITY RECORDER

SOUTH WEBER CITY ATTORNEY

APPROVED BY THE SOUTH WEBER CITY ATTORNEY THIS THE ____ DAY OF _____, 20__.

SOUTH WEBER CITY ATTORNEY

PROJECT INFORMATION

Surveyor: T. HATCH
Project Name: S. WEBER GATEWAY SUBDIVISION
Designer: N. ANDERSON
Scale: 1"=60'
Begin Date: 1-11-2022
Revision: 2-14-22 E.R.
Checked:



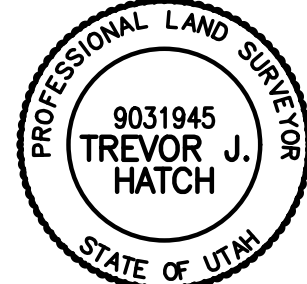
SURVEYOR'S CERTIFICATE

I, **TREVOR J. HATCH**, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF **SOUTH WEBER GATEWAY SUBDIVISION** IN **SOUTH WEBER CITY, DAVIS COUNTY, UTAH**, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE **DAVIS COUNTY** RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND, I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **SOUTH WEBER CITY, DAVIS COUNTY** CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS ____ DAY OF _____, 20__.

9031945

UTAH LICENSE NUMBER



OWNERS DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO ONE LOT AS SHOWN ON THE PLAT AND NAME SAID TRACT **SOUTH WEBER GATEWAY SUBDIVISION**, AND DEDICATE TO SOUTH WEBER THOSE CERTAIN STRIPS AS EASEMENTS FOR GENERAL UTILITY AND DRAINAGE PURPOSES AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF GENERAL UTILITY SERVICE LINES AND DRAINAGE AS MAY BE AUTHORIZED BY SOUTH WEBER CITY WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN ANY EASEMENT DESCRIBED HEREON AND DO HEREBY DEDICATE A 10' EASEMENT SHOWN HEREON TO SOUTH WEBER IMPROVEMENT DISTRICT AND DO HEREBY DEDICATE A 10' ACCESS EASEMENT SHOWN HEREON TO SOUTH WEBER CITY AND DO HEREBY DEDICATE A 50' PRIVATE RIGHT OF WAY EASEMENT AND UTILITY EASEMENT AND A 20' WATERLINE EASEMENT AS SHOWN HEREON TO THE LOTS OWNERS, THEIR HEIRS AND ASSIGNS, TO BE OWNED AND MAINTAINED BY THE HOA.

SIGNED THIS ____ DAY OF _____, 20__.

JANE M. POLL TRUST

JANE M. POLL - TRUSTEE

ACKNOWLEDGMENT

STATE OF UTAH)
COUNTY OF _____)

ON THE ____ DAY OF _____, 20__,
PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, (AND) _____ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ OF SAID TRUST AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID TRUST FOR THE PURPOSES THEREIN MENTIONED.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

RESIDING IN _____ COUNTY, _____

CURVE TABLE

#	RADIUS	ARC LENGTH	CHD LENGTH	TANGENT	CHD BEARING	DELTA
C1	1355.32	423.56'	421.84'	213.52'	S80°31'31"E	17°54'21"
C4	1355.32	369.99'	369.83'	196.86'	S79°50'13"E	16°31'44"
C5	1355.32	32.57'	32.57'	16.29'	S88°47'23"E	1°22'37"
C6	75.00'	87.88'	82.94'	49.77'	S33°02'46"E	67°08'09"
C7	175.00'	57.21'	56.96'	28.86'	S75°58'48"E	18°43'54"
C8	225.00'	73.56'	73.23'	37.11'	N75°58'48"W	18°43'54"
C9	125.00'	146.47'	138.23'	82.95'	N33°02'46"W	67°08'09"
C10	18.00'	28.27'	25.46'	18.00'	S45°06'41"W	90°
C11	12.00'	18.85'	16.97'	12.00'	S45°06'41"W	90°
C12	12.00'	17.38'	15.90'	10.61'	S41°22'59"E	82°59'21"
C13	13.00'	36.37'	25.62'	74.91'	S02°43'21"E	180°18'36"
C14	7.00'	19.40'	13.76'	37.48'	S01°59'E	158°49'55"
C15	97.00'	20.02'	19.98'	10.04'	S87°18'40"E	11°49'25"
C16	103.00'	23.93'	23.87'	12.02'	S86°34'04"E	13°18'36"
C17	93.00'	21.60'	21.56'	10.85'	N86°34'04"W	13°18'36"
C18	107.00'	22.60'	22.04'	11.08'	N87°18'40"W	11°49'25"
C19	117.00'	47.13'	33.42'	90.98'	N01°59'W	158°49'55"
C20	3.00'	8.39'	5.91'	17.29'	N02°43'21"W	160°18'36"
C21	22.00'	31.87'	29.15'	19.46'	N41°22'59"W	82°59'21"
C22	22.00'	33.93'	30.67'	21.38'	N45°55'28"E	88°22'26"
C23	8.00'	12.57'	11.31'	8.00'	N45°06'41"E	90°

EXHIBIT "D"

RESOLUTION 22-27

**A RESOLUTION OF THE SOUTH WEBER CITY COUNCIL
APPROVING A DEVELOPMENT AGREEMENT
FOR SOUTH WEBER GATEWAY**

WHEREAS, Council has discussed the South Weber Gateway project repeatedly and finds the best way to proceed is with an administrative development agreement; and

WHEREAS, the agreement was reviewed in an open meeting on May 10, 2022; and

WHEREAS, the plat, improvement plans, and conditional use permit were approved on condition of the development agreement being fully executed;

NOW THEREFORE BE IT RESOLVED by the Council of South Weber City, Davis County, State of Utah, as follows:

Section 1. Approval: The Development Agreement for the South Weber Gateway Project between South Weber City and Farrell Poll and Steward Land Holdings LLC is hereby approved.

Section 2: Repealer Clause: All ordinances or resolutions or parts thereof, which are in conflict herewith, are hereby repealed.

PASSED AND ADOPTED by the City Council of South Weber, Davis County, on the 24th day of May 2022.

Roll call vote is as follows:

Council Member Halverson	FOR	AGAINST
Council Member Petty	FOR	AGAINST
Council Member Soderquist	FOR	AGAINST
Council Member Alberts	FOR	AGAINST
Council Member Dills	FOR	AGAINST

Rod Westbroek, Mayor

Attest: Lisa Smith, Recorder

Curve Table

#	RADIUS	ARC LENGTH	CHD. LENGTH	TANGENT	CHD. BEARING	DELTA
C1	1355.32'	423.56'	421.84'	213.52'	S80°31'31"E	17°54'21"

- NOTE:
1. WATER MAINS ARE PUBLIC.
 2. SEWER MAINS AND LATERALS ARE PRIVATE.
 3. STORM DRAINS ARE PRIVATE.

NOTE:

ALL IMPROVEMENTS TO BE INSTALLED FOLLOWING SOUTH WEBER STANDARDS AND DETAILS.

As Surveyed Description

PART OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT, SAID POINT BEING S89°53'29"E 861.74 FEET FROM THE CENTER OF SAID SECTION 35; THENCE N20°47'47"E 70.49 FEET; THENCE N84°30'00"W 109.15 FEET; THENCE N82°15'00"W 102.46 FEET; THENCE S20°47'47"W 6.00 FEET TO THE NORTHERLY LINE OF ROYAL FARMS ESTATES PHASE 3; THENCE ALONG SAID NORTHERLY LINE THE FOLLOWING THREE (3) COURSES: (1) N65°50'02"W 176.78 FEET; (2) N53°09'46"W 82.36 FEET; AND (3) N52°25'32"W 101.91 FEET; THENCE N46°43'51"W 137.58 FEET TO THE NORTHERLY LINE OF CEDAR BLUFFS SUBDIVISION PHASE 2; THENCE N47°12'09"W ALONG SAID NORTHERLY LINE, 328.07 FEET; THENCE N00°09'16"E 34.93 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SOUTH WEBER DRIVE; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE THE FOLLOWING TWO (2) COURSES: (1) A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 1355.32 FEET, AN ARC LENGTH OF 423.56 FEET, A DELTA ANGLE OF 17°54'21", A CHORD BEARING OF S80°31'31"E, A RADIAL BEARING OF N18°25'39"E, AND A CHORD LENGTH OF 421.84 FEET; AND (2) S89°28'42"E 877.37 FEET; THENCE S00°06'41"W 544.02 FEET TO THE NORTHERLY LINE OF PEACHWOOD ESTATES SUBDIVISION - UNIT 1; THENCE N89°53'29"W ALONG SAID NORTHERLY LINE, 456.31 FEET TO THE POINT OF BEGINNING.

CONTAINING 507,182 SQUARE FEET OR 11.643 ACRES MORE OR LESS

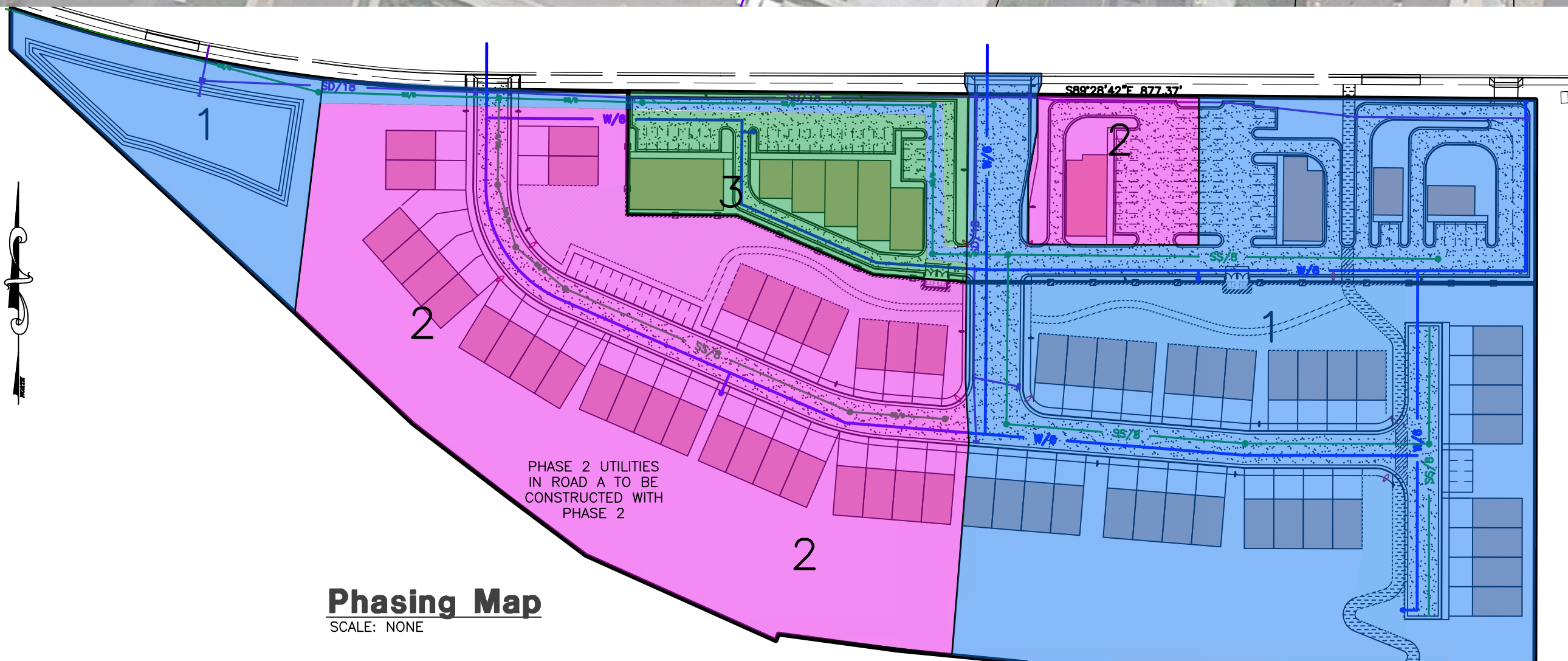
- = DRAINAGE DIRECTION
- = OUTDOOR LEISURE AREA
- = LANDSCAPE AREA

Site Information

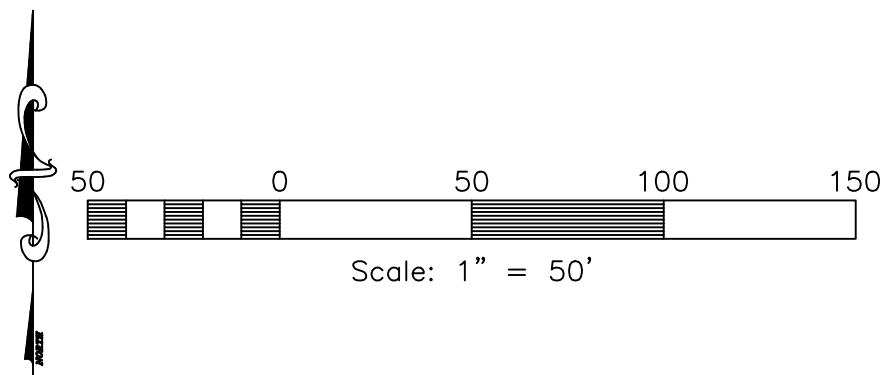
APN# 13-034-0068	
APPOX. 2350 EAST SOUTH WEBER DRIVE (ADDRESS NOT ASSIGNED)	
SOUTH WEBER, DAVIS COUNTY, UTAH	
TOTAL PARCEL AREA	507,182 s.f./11.64 Acres
COMMERCIAL ZONE	HIGHWAY COMMERCIAL 2.60 ACRES 113,287 S.F.
COMMERCIAL BUILDINGS	6
COMMERCIAL BUILDING AREA	17,074 S.F. (15%)
COMMERCIAL LANDSCAPE AREA	19,167 S.F. (17%)
COMMERCIAL PAVEMENT AREA	77,046 S.F. (68%)
COMMERCIAL PARKING STALLS	75 PROVIDED 3.5 PER 1,000 S.F. = 67 REQ.
TOWNHOME ZONE	R7
	9.05 ACRES (7 UNITS PER ACRE) 393,869 S.F.
TOWNHOME UNITS	62 (2 STORY UNITS)
TOWNHOME UNIT AREA	65,100 S.F. (17%)
TOWNHOME PAVEMENT	99,035 S.F. (25%)
TOTAL OPEN SPACE	229,734 S.F. (58%)
UNDISTURBED SLOPES	137,153 S.F.
LANDSCAPE AREA	92,580 S.F. (24%)
OUTDOOR LEISURE	38,050 S.F.
TOWNHOME PARKING	2.3 PER UNIT = 143 REQ. 4 PER UNIT PROVIDED (248) 17 SHARED STALLS PROVIDED



Vicinity Map
NOT TO SCALE



Phasing Map
SCALE: NONE



Developer Contact:
Brad Brown
Colliers International
6440 S Millrock Dr. Suite 500,
Salt Lake City, UT 84121
PH: (801) 947-8300

Project Contact:
Project Manager: Nate Reeve, P.E.
Project Engineer: Nate Reeve, P.E.
Reeve & Associates, Inc.
801-621-3100



REVISIONS	DATE	DESCRIPTION
	11/19/21	JM REVISED
	11/09/21	JM REVISED
	11/04/21	JM REVISED
	11/03/21	JM REVISED
	09/14/21	JM REVISED
	09/09/21	JM REVISED
	07/29/21	JM REVISED
	07/27/21	JM REVISED

South Weber Gateway

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

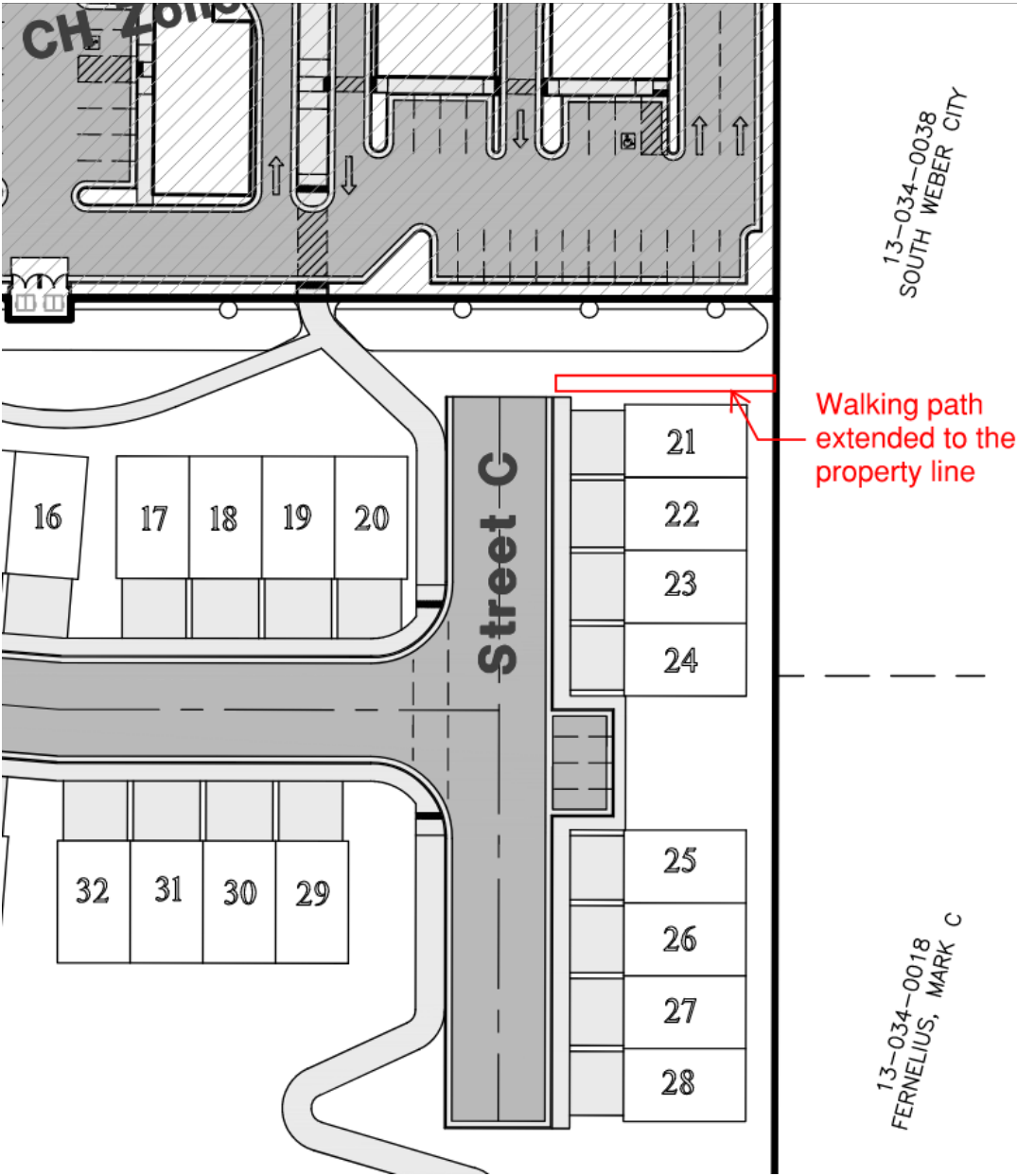
Preliminary Site Plan
Not to be Recorded

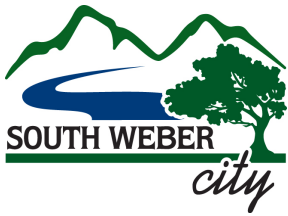


Project Info.
Engineer:
J. NATE REEVE, P.E.
Drafter:
R. HANSEN
Begin Date:
MAY 2021
Name:
SOUTH WEBER GATEWAY
SKETCH PLAN
Number: 7152-05

Sheet	3
1	Sheets

EXHIBIT “F”
Pedestrian Improvement





CITY COUNCIL MEETING STAFF REPORT

MEETING DATE

May 24, 2022

PREPARED BY

Trevor Cahoon
Community Service Dir

ITEM TYPE

Discussion

ATTACHMENTS

AGENDA ITEM

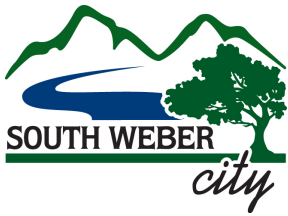
Holker Development and Rezone Request

PURPOSE

Developer wants to have an initial conversation with the Council about possible development opportunities of a property located at approximately 1620 E South Weber Drive.

BACKGROUND

Current Zoning: Commercial
General Plan Designation: Residential Moderate



13 Gunderson
CITY COUNCIL MEETING
STAFF REPORT

MEETING DATE

May 24, 2022

PREPARED BY

Trevor Cahoon
Community Service Dir

ITEM TYPE

Discussion

ATTACHMENTS

AGENDA ITEM

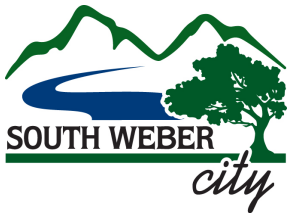
Gunderson Development Request

PURPOSE

Developer wants to have an initial conversation with the Council about possible development opportunities of a property located at approximately 7950 S 2725 E.

BACKGROUND

Current Zoning: Commercial Highway
General Plan Designation: Commercial Highway



CITY COUNCIL MEETING STAFF REPORT

MEETING DATE

May 24, 2022

PREPARED BY

David Larson
City Manager

ITEM TYPE

Administrative

ATTACHMENTS

None

AGENDA ITEM

City Hall Layout Concept

PURPOSE

Staff will present a concept for potential City Hall layout/floorplan and receive Council feedback/suggestions to inform the project planning/design phase

BACKGROUND

City Hall facility needs have been discussed for many years. Meeting and office space is inadequate for current, let alone future needs. Long term prospects include a replacement building in potentially a new location. Until then, the current facility will need to accommodate the short and medium term needs of the City.

Staff has been working on potential solutions to meet those needs for the City and Council has budgeted \$100,000 (\$50,000 in the current fiscal year and an additional \$50,000 in the Tentative Budget for fiscal year 2023) to make needed improvements to the facility.

ANALYSIS

Staff has looked at multiple options for utilizing current space more efficiently as well as creating additional space, including options for remote work that could reduce space concerns. The option staff would like to discuss with the Council includes utilizing the current Council Chambers space for more daily use functions and finding a different location for the few public meetings each month, perhaps at the FAC, in a portable behind City Hall, or at the new public works building once it is completed. Additional details regarding these options will be presented during the meeting.