

SOUTH WEBER CITY COUNCIL AGENDA

PUBLIC NOTICE is hereby given that the City Council of SOUTH WEBER, Davis County, Utah will meet in a regular public meeting **TUESDAY, 10 DECEMBER 2013** at the City Council Chambers, 1600 E South Weber Dr, South Weber, UT commencing at **6:00 p.m.**

PUBLIC WORK MEETING:

5:30 p.m. REVIEW AGENDA ITEMS AND WARRANT REGISTER
DISCUSS SIDEWALK SNOW PLOWING NEAR CHARTER SCHOOL

COUNCIL MEETING:

6:00 p.m. **PLEDGE OF ALLEGIANCE** – Councilmember Poff
PRAYER - Mayor Monroe
APPROVAL OF AGENDA
DECLARATION OF CONFLICT OF INTEREST
CONSENT AGENDA (These items are considered by the City Council to be routine and will be approved by a single motion)
♦ Approval 26 November 2013 City Council Meeting Minutes
♦ Approval of 2014 Meetings Schedule

6:05 p.m. RESOLUTION 13-22: Final Acceptance of Dahl Subdivision

6:08 p.m. RESOLUTION 13-28: Final Acceptance of Canyon View Ranches Subdivision

6:10 p.m. RESOLUTION 13-23: Interlocal Automatic Aid Fire Agreement

* **PUBLIC HEARING** 6:15 p.m. RESOLUTION 13-24: Final Plat Canyon Vistas Subdivision, 13 lots, to be located at approx.. 1750 E 7250 S.; Developers: Mike Schultz & Mike Bastian

6:20 p.m. RESOLUTION 13-25: Canyon Vistas Cost Share Agreement

* **PUBLIC HEARING** 6:25 p.m. ORDINANCE 13-18: Amendment to City's Zoning Map – Change of Zoning Parcel #13-023-0022, 13-023-0109, 13-006-0031, 13-006-0025, & 13-006-0002; 30 acres from Agricultural (A) to Residential Moderate (RM) & 8 acres from Agricultural (A) to Residential High (RH); located at approx. 6650 South & 475 East; Applicants: Uinta Land Company

6:50 p.m. RESOLUTION 13-21: Easton Village Phase Two Final Plat (8 lots), located at approx. 1100 East 7500 South; Developer Kastlerock Excavation (public hearing held November 26, 2013)

7:00 p.m. APPROVAL OF UP TO \$20,000 FOR GRAVEL PIT AQUIFER FEASIBILITY STUDY

7:05 p.m. FISCAL YEAR 2012-2013 AUDIT REPORT – Tim Rees

7:15 p.m. RESOLUTION 13-26: Appointment of Randy Hilton to Administrative Control Board of Wasatch Integrated Waste Management District

7:20 p.m. RESOLUTION 13-27: Appointment of Michael Poff to Central Weber Sewer Improvement District Board of Trustees

7:25 p.m. **PUBLIC COMMENT** Keep public comments to 3 minutes or less per person
MAYOR
CITY COUNCIL ASSIGNMENT UPDATES & COMMENTS
CITY MANAGER & STAFF

CLOSED EXECUTIVE SESSION – UTAH CODE 52-4-204 & 52-4-205: The council will consider a motion to enter into closed session for the purpose of discussion of character, professional competence, or physical or mental health of individual(s)

THE UNDERSIGNED DULY APPOINTED CITY RECORDER FOR THE MUNICIPALITY OF SOUTH WEBER CITY HEREBY CERTIFIES THAT A COPY OF THE FOREGOING NOTICE WAS MAILED, EMAILED, FAXED OR POSTED TO:

CITY OFFICE BUILDING
CITY WEBSITE www.southwebercity.com
UT PUBLIC NOTICE WEBSITE www.pmn.utah.gov

EACH MEMBER OF GOVERNING BODY
THOSE LISTED ON THE AGENDA
SOUTH WEBER ELEMENTARY
SOUTH WEBER FAMILY ACTIVITY CENTER

DAVIS COUNTY CLIPPER
STANDARD-EXAMINER
SALT LAKE TRIBUNE
DESERET NEWS

DATE: 6 December 2013

CITY RECORDER: Erika J. Ahlstrom

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, INDIVIDUALS NEEDING SPECIAL ACCOMMODATIONS DURING THIS MEETING SHOULD NOTIFY ERIKA AHLSTROM, 1600 EAST SOUTH WEBER DRIVE, SOUTH WEBER, UTAH 84405 (801-479-3177)

Agenda times are approximate and may be moved in order, sequence and time to meet the needs of the Council.

Report Criteria:

Detail report.
Invoices with totals above \$0 included.
Only unpaid invoices included.
Invoice.Payment Due Date = {<=} 11/30/2013

| Vendor | Vendor Name | Invoice Number | Description | Invoice Date | Net Invoice Amount | Amount Paid | Date Paid |
|---|-------------------------|----------------|----------------------------|--------------|--------------------|-------------|-----------|
| 10-42-242 Court Operating Expenditures | | | | | | | |
| | BEESLEY, JAMES L | NOV 2013 | SUBSTITUTE JUDGE | 11/21/2013 | 100.00 | .00 | |
| Total 10-42-242 Court Operating Expenditures: | | | | | 100.00 | .00 | |
| 20-71-240 OFFICE SUPPLIES AND EXPENSE | | | | | | | |
| | BROWN, CURTIS | 111813 | office supplies | 11/18/2013 | 42.81 | .00 | |
| Total 20-71-240 OFFICE SUPPLIES AND EXPENSE: | | | | | 42.81 | .00 | |
| 52-40-492 CONNECTION FEE - CWSID | | | | | | | |
| | CENTRAL WEBER SEWER IMP | 2324418 | QUARTERLY SEWER FEE | 11/14/2013 | 94,248.00 | .00 | |
| Total 52-40-492 CONNECTION FEE - CWSID: | | | | | 94,248.00 | .00 | |
| 20-71-241 Materials & Supplies | | | | | | | |
| | DOODLES FOR DECORATING | 406 | RECREATION SIGNS | 08/20/2013 | 75.00 | .00 | |
| Total 20-71-241 Materials & Supplies: | | | | | 75.00 | .00 | |
| 45-21350 PERFORMANCE BONDS ON DEPOSIT | | | | | | | |
| | ONE ENERGY | 112013 | COMPLETION BOND #131031068 | 11/20/2013 | 200.00 | .00 | |
| Total 45-21350 PERFORMANCE BONDS ON DEPOSIT: | | | | | 200.00 | .00 | |
| 10-22500 HEALTH INSURANCE PAYABLE | | | | | | | |
| | PEHP/AGENCY A | NOV | Dental Insurance | 11/25/2013 | 696.42 | .00 | |
| Total 10-22500 HEALTH INSURANCE PAYABLE: | | | | | 696.42 | .00 | |
| 10-43-253 Equipment Maint. - Software | | | | | | | |
| | QUALTRICS | 27175 | SURVEY SOFTWARE - GF | 10/14/2013 | 1,250.00 | .00 | |
| Total 10-43-253 Equipment Maint. - Software: | | | | | 1,250.00 | .00 | |

| Vendor | Vendor Name | Invoice Number | Description | Invoice Date | Net Invoice Amount | Amount Paid | Date Paid |
|-----------|--|----------------|-----------------------------|--------------|--------------------|-------------|-----------|
| 51-40-250 | Equipment Supplies & Maint. | | | | | | |
| | QUALTRICS | 27175 | SURVEY SOFTWARE - WT | 10/14/2013 | 625.00 | .00 | |
| | Total 51-40-250 Equipment Supplies & Maint.: | | | | 625.00 | .00 | |
| 52-40-250 | Equipment Supplies & Maint. | | | | | | |
| | QUALTRICS | 27175 | SURVEY SOFTWARE - SW | 10/14/2013 | 625.00 | .00 | |
| | Total 52-40-250 Equipment Supplies & Maint.: | | | | 625.00 | .00 | |
| 20-34-750 | RECREATION FEES | | | | | | |
| | SANDERS, SHALECE | 111413 | REFUND REC REGISTRATION FEE | 11/14/2013 | 49.00 | .00 | |
| | Total 20-34-750 RECREATION FEES: | | | | 49.00 | .00 | |
| 10-43-240 | Office Supplies & Expense | | | | | | |
| | TARGET BANK | 17530788362 | paper products | 10/30/2013 | 9.97 | .00 | |
| | Total 10-43-240 Office Supplies & Expense: | | | | 9.97 | .00 | |
| 10-43-510 | Insurance & Surety Bonds | | | | | | |
| | UTAH LOCAL GOVERNMENTS | 1470945 | BOND - BLANKET | 11/12/2013 | 126.00 | .00 | |
| | Total 10-43-510 Insurance & Surety Bonds: | | | | 126.00 | .00 | |
| 51-40-481 | Water Purchases | | | | | | |
| | WEBER BASIN WATER | 0036543 | WATER PURCHASES | 11/14/2013 | 191.87 | .00 | |
| | WEBER BASIN WATER | 0036380 | WATER PURCHASES | 11/14/2013 | 63.15 | .00 | |
| | WEBER BASIN WATER | 0036347 | WATER PURCHASES | 11/14/2013 | 72.84 | .00 | |
| | WEBER BASIN WATER | 0036309 | WATER PURCHASES | 11/14/2013 | 234.26 | .00 | |
| | WEBER BASIN WATER | 0036275 | WATER PURCHASES | 11/14/2013 | 138.87 | .00 | |
| | WEBER BASIN WATER | 0036208 | WATER PURCHASES | 11/14/2013 | 40.43 | .00 | |
| | WEBER BASIN WATER | 0036577 | WATER PURCHASES | 11/15/2013 | 150,659.18 | .00 | |
| | Total 51-40-481 Water Purchases: | | | | 151,400.60 | .00 | |
| | Grand Totals: | | | | 249,447.80 | .00 | |

| Vendor | Vendor Name | Invoice Number | Description | Invoice Date | Net Invoice Amount | Amount Paid | Date Paid |
|--------|-------------|----------------|-------------|--------------|--------------------|-------------|-----------|
|--------|-------------|----------------|-------------|--------------|--------------------|-------------|-----------|

Dated: _____

City Treasurer: _____

City Manager: _____

Report Criteria:

Detail report.

Invoices with totals above \$0 included.

Only unpaid invoices included.

Invoice.Payment Due Date = {<=} 11/30/2013

Report Criteria:

Detail report.

Invoices with totals above \$0 included.

Only unpaid invoices included.

Invoice.Payment Due Date = {<=} 12/07/2013

| Vendor | Vendor Name | Invoice Number | Description | Invoice Date | Net Invoice Amount | Amount Paid | Date Paid |
|--|----------------|----------------|--------------------------------|--------------|--------------------|-------------|-----------|
| 20-71-487 KNIGHT'S FOOTBALL | | | | | | | |
| | ACADEMY SPORTS | 233662 | KNIGHT FOOTBALL EQUIPMENT | 08/06/2013 | 173.60 | .00 | |
| Total 20-71-487 KNIGHT'S FOOTBALL: | | | | | 173.60 | .00 | |
| 10-57-370 Professional & Tech. Services | | | | | | | |
| | AT&T MOBILITY | 111613 | FIRE - ENGINE ONE AIRCARD | 11/16/2013 | 122.14 | .00 | |
| Total 10-57-370 Professional & Tech. Services: | | | | | 122.14 | .00 | |
| 20-71-241 Materials & Supplies | | | | | | | |
| | BROWN, CURTIS | 120213 | BOOTCAMP SUPPLIES FOR FAC | 12/02/2013 | 319.07 | .00 | |
| Total 20-71-241 Materials & Supplies: | | | | | 319.07 | .00 | |
| 10-34-250 Bldg Rental/Park Use (Bowery) | | | | | | | |
| | CLARK, LINDA | 112713 | REIMBURSE CIVIC CENTER DEPOSIT | 11/27/2013 | 200.00 | .00 | |
| Total 10-34-250 Bldg Rental/Park Use (Bowery): | | | | | 200.00 | .00 | |
| 10-42-242 Court Operating Expenditures | | | | | | | |
| | DE LAGE LANDEN | 20290181 | COPIER MAINT AGREEMENT - SHARP | 11/23/2013 | 21.06 | .00 | |
| Total 10-42-242 Court Operating Expenditures: | | | | | 21.06 | .00 | |
| 10-43-251 Equipment Maint. Agreement | | | | | | | |
| | DE LAGE LANDEN | 20290181 | COPIER MAINT AGREEMENT - SHARP | 11/23/2013 | 49.16 | .00 | |
| Total 10-43-251 Equipment Maint. Agreement: | | | | | 49.16 | .00 | |
| 51-40-250 Equipment Supplies & Maint. | | | | | | | |
| | DE LAGE LANDEN | 20290181 | COPIER MAINT AGREEMENT - SHARP | 11/23/2013 | 35.12 | .00 | |
| Total 51-40-250 Equipment Supplies & Maint.: | | | | | 35.12 | .00 | |

| Vendor | Vendor Name | Invoice Number | Description | Invoice Date | Net Invoice Amount | Amount Paid | Date Paid |
|--|---|----------------|--------------------------------|--------------|--------------------|-------------|-----------|
| 52-40-250 | Equipment Supplies & Maint. DE LAGE LANDEN | 20290181 | COPIER MAINT AGREEMENT - SHARP | 11/23/2013 | 35.12 | .00 | |
| Total 52-40-250 Equipment Supplies & Maint.: | | | | | 35.12 | .00 | |
| 51-37-100 | WATER SALES | | | | | | |
| | FOWLES, LISA | 120313 | OVRPMT ON UB #7015801 | 12/03/2013 | 22.52 | .00 | |
| Total 51-37-100 WATER SALES: | | | | | 22.52 | .00 | |
| 51-37-100 | WATER SALES | | | | | | |
| | GUIDRY, KEVIN | 120313 | OVRPMT ON UB | 12/03/2013 | 87.29 | .00 | |
| Total 51-37-100 WATER SALES: | | | | | 87.29 | .00 | |
| 10-60-255 | Vehicle Lease | | | | | | |
| | HINCKLEASE | 1 | ANNUAL PMT ON VEHICLE LEASE | 12/01/2013 | 5,000.00 | .00 | |
| Total 10-60-255 Vehicle Lease: | | | | | 5,000.00 | .00 | |
| 10-70-255 | Vehicle Lease | | | | | | |
| | HINCKLEASE | 1 | ANNUAL PMT ON VEHICLE LEASE | 12/01/2013 | 3,000.00 | .00 | |
| Total 10-70-255 Vehicle Lease: | | | | | 3,000.00 | .00 | |
| 51-40-255 | VEHICLE LEASE | | | | | | |
| | HINCKLEASE | 1 | ANNUAL PMT ON VEHICLE LEASE | 12/01/2013 | 7,797.94 | .00 | |
| Total 51-40-255 VEHICLE LEASE: | | | | | 7,797.94 | .00 | |
| 52-40-255 | Vehicle Lease | | | | | | |
| | HINCKLEASE | 1 | ANNUAL PMT ON VEHICLE LEASE | 12/01/2013 | 5,000.00 | .00 | |
| Total 52-40-255 Vehicle Lease: | | | | | 5,000.00 | .00 | |
| 53-40-255 | Vehicle Lease | | | | | | |
| | HINCKLEASE | 1 | ANNUAL PMT ON VEHICLE LEASE | 12/01/2013 | 1,000.00 | .00 | |
| Total 53-40-255 Vehicle Lease: | | | | | 1,000.00 | .00 | |

| Vendor | Vendor Name | Invoice Number | Description | Invoice Date | Net Invoice Amount | Amount Paid | Date Paid |
|------------------|---|----------------|---------------------------------|--------------|--------------------|-------------|-----------|
| 54-40-255 | Vehicle Lease | | | | | | |
| | HINCKLEASE | 1 | ANNUAL PMT ON VEHICLE LEASE | 12/01/2013 | 500.00 | .00 | |
| | Total 54-40-255 Vehicle Lease: | | | | 500.00 | .00 | |
| 10-43-315 | Professional & Tech. - Auditor | | | | | | |
| | KARREN HENDRIX STAGG ALL | 106231 | AUDIT PREP SERVICES | 11/01/2013 | 1,200.00 | .00 | |
| | KARREN HENDRIX STAGG ALL | 106231 | AUDIT PREP SERVICES | 11/01/2013 | 1,200.00 | .00 | |
| | Total 10-43-315 Professional & Tech. - Auditor: | | | | 2,400.00 | .00 | |
| 51-40-315 | Professional & Tech. - Auditor | | | | | | |
| | KARREN HENDRIX STAGG ALL | 106231 | AUDIT PREP SERVICES | 11/01/2013 | 1,200.00 | .00 | |
| | Total 51-40-315 Professional & Tech. - Auditor: | | | | 1,200.00 | .00 | |
| 52-40-315 | Professional & Tech. - Auditor | | | | | | |
| | KARREN HENDRIX STAGG ALL | 106231 | AUDIT PREP SERVICES | 11/01/2013 | 1,200.00 | .00 | |
| | Total 52-40-315 Professional & Tech. - Auditor: | | | | 1,200.00 | .00 | |
| 54-40-315 | Professional & Tech. - Auditor | | | | | | |
| | KARREN HENDRIX STAGG ALL | 106231 | AUDIT PREP SERVICES | 11/01/2013 | 1,200.00 | .00 | |
| | Total 54-40-315 Professional & Tech. - Auditor: | | | | 1,200.00 | .00 | |
| 10-34-250 | Bldg Rental/Park Use (Bowery) | | | | | | |
| | KEYES, JENNIFER | 112613 | REFUND FOR CIVIC CENTER DEPOSIT | 11/26/2013 | 215.00 | .00 | |
| | Total 10-34-250 Bldg Rental/Park Use (Bowery): | | | | 215.00 | .00 | |
| 10-43-262 | General Government Buildings | | | | | | |
| | LOWES PROX | 923859 | CITY HALL SUPPLIES | 11/21/2013 | 25.54 | .00 | |
| | Total 10-43-262 General Government Buildings: | | | | 25.54 | .00 | |
| 10-54-320 | Emergency Preparedness | | | | | | |
| | LOWES PROX | 923269-1 | EOC SUPPLIES | 10/31/2013 | 81.21 | .00 | |
| | Total 10-54-320 Emergency Preparedness: | | | | 81.21 | .00 | |

| Vendor | Vendor Name | Invoice Number | Description | Invoice Date | Net Invoice Amount | Amount Paid | Date Paid |
|------------------|---|----------------|--------------------------------|--------------|--------------------|-------------|-----------|
| 10-60-250 | Equipment Supplies & Maint. | | | | | | |
| | LOWES PROX | 923852 | STREET SUPPLIES | 11/21/2013 | 33.14 | .00 | |
| | Total 10-60-250 Equipment Supplies & Maint.: | | | | 33.14 | .00 | |
| 10-60-260 | Buildings & Grounds - Shop | | | | | | |
| | LOWES PROX | 924096 | SHOP MATERIALS | 10/29/2013 | 31.76 | .00 | |
| | LOWES PROX | 923296 | SHOP MATERIALS | 11/08/2013 | 135.62 | .00 | |
| | LOWES PROX | 924239 | SHOP MATERIALS | 11/14/2013 | 56.99 | .00 | |
| | LOWES PROX | 923023 | SHOP MATERIALS | 11/22/2013 | 67.12 | .00 | |
| | Total 10-60-260 Buildings & Grounds - Shop: | | | | 291.49 | .00 | |
| 51-40-250 | Equipment Supplies & Maint. | | | | | | |
| | LOWES PROX | 923064 | WATER SUPPLIES | 11/14/2013 | 173.28 | .00 | |
| | Total 51-40-250 Equipment Supplies & Maint.: | | | | 173.28 | .00 | |
| 45-21350 | PERFORMANCE BONDS ON DEPOSIT | | | | | | |
| | NILSON HOMES | 120313 | Completion Bond # SWC130711042 | 12/03/2013 | 500.00 | .00 | |
| | NILSON HOMES | 112613 | Completion Bond # SWC130624038 | 11/26/2013 | 500.00 | .00 | |
| | Total 45-21350 PERFORMANCE BONDS ON DEPOSIT: | | | | 1,000.00 | .00 | |
| 51-37-100 | WATER SALES | | | | | | |
| | NILSON HOMES | 1213 | OVERPMT ON UB#7003900 | 12/03/2013 | 12.17 | .00 | |
| | Total 51-37-100 WATER SALES: | | | | 12.17 | .00 | |
| 10-43-135 | Employee Benefit - Health Ins. | | | | | | |
| | PEHP ATTN: LTD PAYMENTS | OCT | LTD PREMIUM | 10/31/2013 | 237.90 | .00 | |
| | PEHP ATTN: LTD PAYMENTS | NOV | LTD PREMIUM | 11/30/2013 | 237.56 | .00 | |
| | Total 10-43-135 Employee Benefit - Health Ins.: | | | | 475.46 | .00 | |
| 20-71-241 | Materials & Supplies | | | | | | |
| | PICKLEBALL NOW OF NORTHE | 112613 | PICKLEBALL SUPPLIES & EQUIP | 11/26/2013 | 559.00 | .00 | |
| | Total 20-71-241 Materials & Supplies: | | | | 559.00 | .00 | |

| Vendor | Vendor Name | Invoice Number | Description | Invoice Date | Net Invoice Amount | Amount Paid | Date Paid |
|---|------------------------------|----------------|-----------------------------------|--------------|--------------------|-------------|-----------|
| 51-37-100 | WATER SALES | | | | | | |
| | RODRIGUEZ, EDMUND | 120313 | OVRPMT UB#7003605 | 12/03/2013 | 93.54 | .00 | |
| Total 51-37-100 WATER SALES: | | | | | 93.54 | .00 | |
| 51-37-100 | WATER SALES | | | | | | |
| | RUSSETT, JUSTIN | 120313 | OVRPMT #5007403 | 12/03/2013 | 100.00 | .00 | |
| Total 51-37-100 WATER SALES: | | | | | 100.00 | .00 | |
| 10-60-745 | EQUIPMENT COSTING OVER \$500 | | | | | | |
| | SEMI SERVICE | 90088 | TOOL BOX FOR NEW VEHICLES | 10/31/2013 | 550.00 | .00 | |
| | SEMI SERVICE | 90087 | TOOL BOX FOR NEW VEHICLES | 10/31/2013 | 550.00 | .00 | |
| | SEMI SERVICE | 90086 | INSTALL SNOW PLOW ON NEW VEHICLES | 10/31/2013 | 4,222.37 | .00 | |
| | SEMI SERVICE | 90086 | TOOL BOX FOR NEW VEHICLES | 10/31/2013 | 550.00 | .00 | |
| | SEMI SERVICE | 90082 | INSTALL SNOW PLOW ON NEW VEHICLES | 10/31/2013 | 4,222.37 | .00 | |
| | SEMI SERVICE | 90082 | TOOL BOX FOR NEW VEHICLES | 10/31/2013 | 550.00 | .00 | |
| Total 10-60-745 EQUIPMENT COSTING OVER \$500: | | | | | 10,644.74 | .00 | |
| 10-54-320 | Emergency Preparedness | | | | | | |
| | UEMA | NOV 2013 | UEMA CONFERENCE - EMILY THOMAS | 11/27/2013 | 89.00 | .00 | |
| Total 10-54-320 Emergency Preparedness: | | | | | 89.00 | .00 | |
| 10-42-980 | St. Treasurer Surcharge | | | | | | |
| | UTAH STATE TREASURER | NOV | MONTHLY SURCHARGES - | 12/02/2013 | 2,899.85 | .00 | |
| Total 10-42-980 St. Treasurer Surcharge: | | | | | 2,899.85 | .00 | |
| Grand Totals: | | | | | 46,056.44 | .00 | |

Dated: _____

City Treasurer: _____

City Manager: _____

| <u>Vendor</u> | <u>Vendor Name</u> | <u>Invoice Number</u> | <u>Description</u> | <u>Invoice Date</u> | <u>Net Invoice Amount</u> | <u>Amount Paid</u> | <u>Date Paid</u> |
|---------------|--------------------|-----------------------|--------------------|---------------------|---------------------------|--------------------|------------------|
|---------------|--------------------|-----------------------|--------------------|---------------------|---------------------------|--------------------|------------------|

Report Criteria:

- Detail report.
 - Invoices with totals above \$0 included.
 - Only unpaid invoices included.
 - Invoice.Payment Due Date = {<=} 12/07/2013
-

SOUTH WEBER CITY – STAFF REPORT

Date: 10 December 2013 (work meeting)
To: City Council Members
From: Rodger Worthen, City Manager
Subj: Sidewalk Snow Removal Ordinance

Recently, the City Council requested additional contact be made to the Utah Department of Transportation, the Utah Local Government Trust (City's insurance provider) and the Charter School regarding snow removal along SR-60's newly installed sidewalk.

The City manager contacted UDOT to request information on snow removal. Region one representative Todd Finlinson was contacted and indicated that UDOT does not engage in snow removal on side- walks adjacent to state routes.

The Utah Trust was also contacted regarding the liability issues of not removing the snow on the walk and posting applicable signage indicating to "use at your own risk" or some other similar language. Suzie Pope from the Trust indicated that the City would remain liable for snow removal efforts and maintaining the sidewalk accordingly. The sign would not reduce the City's potential liability to use of the walk-way.

City Staff has also attempted to contact the school snow removal company with unsuccessful results. In addition, the School has not responded favorably to consider the removal of snow. As such, it is the recommendation the City adopts the ordinance exception as previously discussed in city code 7-1-2 that allows the City to remove the snow. Staff further recommends the City Council contract with a private company to remove the snow from the new walk-way as other communities have undertaken similar action.

The City sent out a bid request for snow removal (see attached document) and received two bids – one from Leon Poulson Construction Company Inc and the other from Kastlerock Excavation. The attached bid sheets result in the following:

| | Leon Poulson Construction Company Inc. | Kastlerock Excavation |
|-------------------|--|-----------------------|
| 4 inches or less | \$748.48 | \$842.04 |
| 5 – 10 inches | \$935.60 | \$1169.50 |
| 10 or more inches | \$1450.18 | \$1450.18 |

This cost is PER STORM and is bid similarly to the park and ride. Each time snow has to be removed, the City is charged for the service based on the amount of snow.

Moreover, the side-walk is a very unique asset to those that use it and a unique burden to adjoining landowners not of their choosing. I would recommend the City adopt the ordinance and issue a request for proposal to contract the snow removal. The City staff will implement whatever policy direction is provided.

Snow Removal and Salting of Sidewalks in South Weber City 2013-2017

South Weber City is now accepting bids for snow removal and salting of the several sections of sidewalk in the City (as identified by the enclosed Exhibit A). All bids are due back to the South Weber City Office on or before Monday, December 2, 2013 at 12:00 p.m. at which time each bid will be opened and the review process started. Bids may be mailed or hand delivered to South Weber City Offices:

1600 East South Weber Drive
South Weber, UT 84405

All bids should be sealed and clearly marked "Sidewalk Snow Removal Bid." For bid specifications and questions, please contact Mark at the City Offices (801) 479-3177.

Snow Removal and Salting of Sidewalks in South Weber City 2013-2017

- SCOPE:** Contract for snow removal and salting services for 4678 feet of sidewalk located in South Weber City, as identified in Exhibit "A" of this document.
- CONTRACT TERM:** December 10, 2013 – June 1, 2017 *The City reserves the right to extend beyond the Contract Term if deemed to be in the best interest of the city. Either party may terminate the contract providing written notice to other party no less than 60 (sixty) days from desired termination date.
- DELIVERY:** 1 hour after notification from the City
- RESPONSE TIME & HOURS OF SERVICE:** Service shall be available 7 days a week within one hour after receiving notification from the city. Work shall be continuous until plowing and salting are complete.
- INVOICING:** All invoices shall reflect the date of snow removal. The amount to pay will coincide with the amount of snow received based on the pre-set scale.
- SPECIFICATIONS:**
- **Annual Meeting:** Contractor(s) must meet annually with the City's representatives prior to the snow season to discuss Contract performance in detail. At this meeting the Contractor shall provide names and contact numbers of all personnel to be contacted by the City when services are required. At the same meeting, the City will provide the Contractor, the names and phone numbers of designated snow coordination personnel. Any changes in personnel for either party are to be provided 24 hours before change is to take place.
 - **Contractor Damages:** Contractor(s) shall provide to the City, proof of the company's liability insurances as well as a copy of their current business license. In October, an annual preseason inspection will be conducted to evaluate the condition of curbs, signs, fencing, etc. Both the City and the Contractor shall document and sign off on the preseason evaluation. The Contractor shall be responsible for and will be notified by the City of all damage to curbing, signs, private property, etc. as it is discovered until the end of the snow season. In May, at the end of the snow season, a post-season evaluation will be conducted. The City will evaluate and make determination as to the damages, if any, caused by the Contractor and/or Contractor's agents. Damages beyond natural wear and tear shall be corrected by the Contractor within 30 (thirty) days of receiving written notice from the City.

Snow Removal and Salting of Sidewalks in South Weber City 2013-2017

~RETURN THIS PAGE AS FORMAL BID SHEET~

COMPANY: _____

CONTACT: _____ **PHONE:** _____

COST SPECIFICATIONS:

Please Specify the Cost of Snow Removal and Salting Services for the following:

| | | | |
|------------|--------|----|---------------|
| 4 or less | inches | \$ | / linear foot |
| 5 – 10 | inches | \$ | / linear foot |
| 10 or more | inches | \$ | / linear foot |

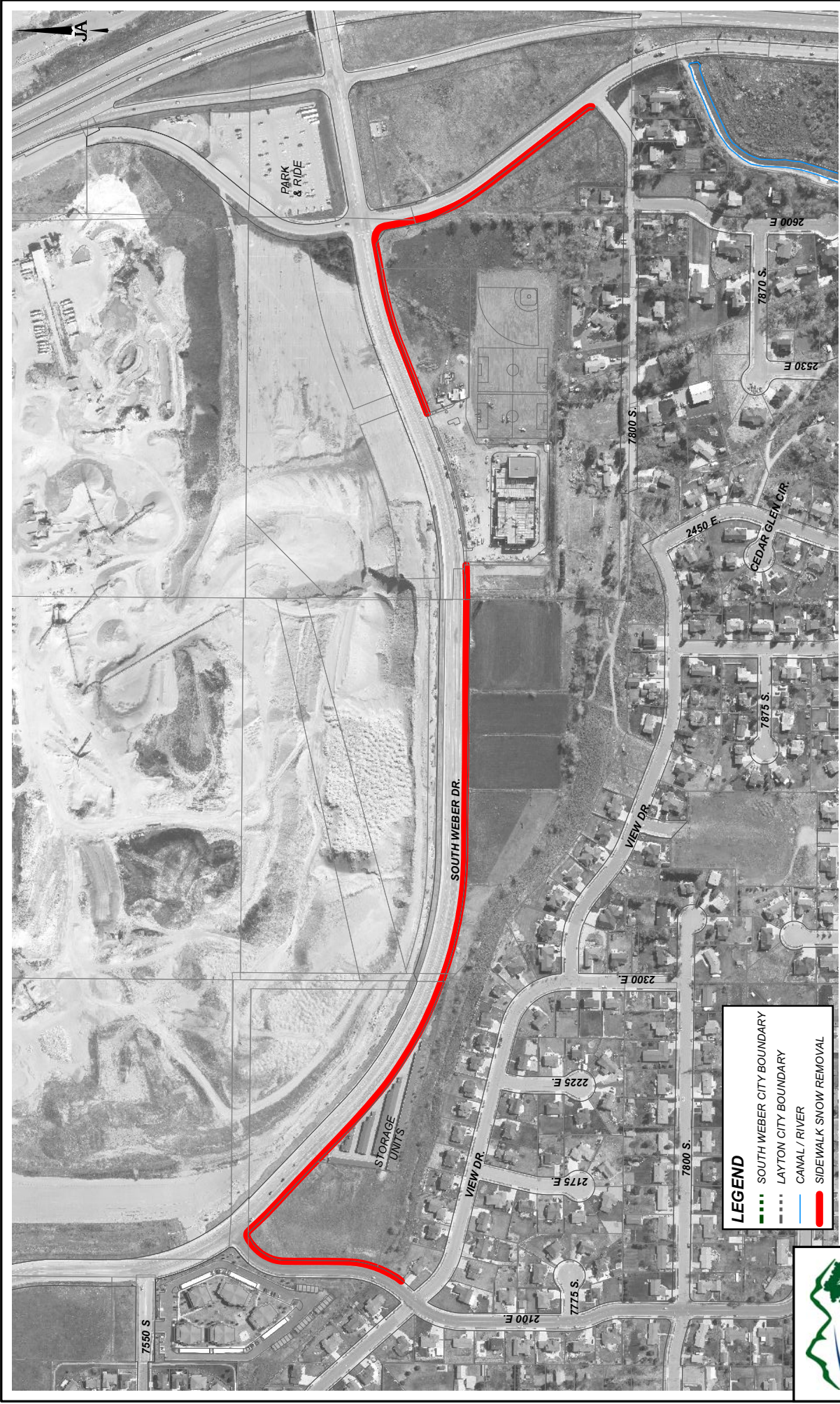
EQUIPMENT:

Please list available equipment to meet the requirements of this contract:

YES, even if the company is not awarded the bid, please add our contact information to the Emergency Snow Plowing Contact Sheet.

Signed

Date



LEGEND

- SOUTH WEBER CITY BOUNDARY
- LAYTON CITY BOUNDARY
- CANAL / RIVER
- SIDEWALK SNOW REMOVAL

| | |
|---|---|
| SOUTH WEBER CITY CORPORATION SNOW REMOVAL AND SALTING OF SIDEWALKS EXHIBIT "A" | SHEET: 1 OF 1 SHEETS |
| | SOUTH WEBER CITY CORPORATION SNOW REMOVAL AND SALTING OF SIDEWALKS EXHIBIT "A" |
| J&A CONSULTING ENGINEERS JONES & ASSOCIATES 1716 East 5600 South South Ogden, Utah 84403 (801) 476-9767 | DESIGNED: <u>BEB</u> DRAWN: <u>BEB</u> CHECKED: <u>BKJ</u> |
| SCALE: 1 in = 300 ft DATE: 11/21/2013 | TOTAL LENGTH OF SIDEWALK = 4678 FEET |



Snow Removal and Salting of
Sidewalks in South Weber City
2013-2017

~RETURN THIS PAGE AS FORMAL BID SHEET~

COMPANY: Leon Poulsen Const. Co. INC.

CONTACT: Steve Poulsen PHONE: 801-731-6150

COST SPECIFICATIONS:

Please Specify the Cost of Snow Removal and Salting Services for the following:

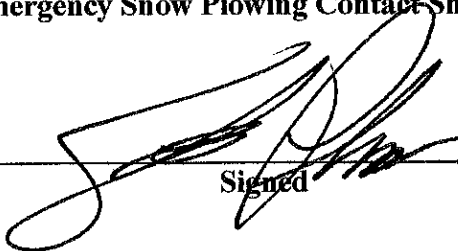
| | | |
|------------|--------|-----------------------------|
| 4 or less | inches | <u>\$.16 / linear foot</u> |
| 5 - 10 | inches | <u>\$.20 / linear foot</u> |
| 10 or more | inches | <u>\$.31 / linear foot</u> |

EQUIPMENT:

Please list available equipment to meet the requirements of this contract:

Snow Blowers
Small Trucks

YES, even if the company is not awarded the bid, please add our contact information to the
Emergency Snow Plowing Contact Sheet.


Signed

12-2-13
Date

Snow Removal and Salting of
Sidewalks in South Weber City
2013-2017

~RETURN THIS PAGE AS FORMAL BID SHEET~

COMPANY: Kastle Rock Exc & Dev LLC
CONTACT: Jayne Kay PHONE: 801-725-5570

COST SPECIFICATIONS:

Please Specify the Cost of Snow Removal and Salting Services for the following:

| | | |
|------------|--------|-----------------------------|
| 4 or less | inches | <u>\$.18 / linear foot</u> |
| 5 - 10 | inches | <u>\$.25 / linear foot</u> |
| 10 or more | inches | <u>\$.31 / linear foot</u> |

EQUIPMENT:

Please list available equipment to meet the requirements of this contract:

Front end loader
Skid steers
mini Ex
4-wheeler

YES, even if the company is not awarded the bid, please add our contact information to the Emergency Snow Plowing Contact Sheet.

Jayne Kay
Signed

12-2-13
Date

1 **SOUTH WEBER CITY COUNCIL MEETING**

2
3 **DATE OF MEETING:** 26 November 2013

TIME COMMENCED: 6:01 p.m.

4
5 **PLEDGE OF ALLEGIANCE:** Councilmember Thomas

6
7 **PRAYER:** Councilmember Gertge

8
9 **PRESENT: MAYOR:** Jeff Monroe

10
11 **COUNCILMEMBERS:** Joseph Gertge
12 Randy Hilton
13 Michael Poff
14 Farrell Poll
15 David Thomas

16
17 **CITY MANAGER:** Rodger Worthen

18
19 **CITY RECORDER:** Erika Ahlstrom

20
21
22 **Transcriber:** Minutes transcribed by Michelle Clark

23
24
25
26 *A PUBLIC WORK MEETING was held at*
27 **5:30 p.m. to REVIEW AGENDA ITEMS & WARRANT REGISTER**
28

29
30
31 **VISITORS:** Layne Kap, Brent Poll, Brandon Jones, Scott Casas, Marlene Poore, Tammy Long,
32 Jason Poll, Lyle Jorgensen, Suzanne Mitchell, Susan Knight, Mark Dayton, Natalie Dayton,
33 Barbara Shupe, Lilian DeLong, Joe DeLong, Chris Poll, Cymbre Rowser, and Lynn Poll.

34
35 **APPROVAL OF THE AGENDA:** Councilmember Poll moved to approve the agenda as
36 written. Councilmember Gertge seconded the motion. Councilmembers Gertge, Hilton,
37 Poff, Poll, and Thomas voted. The motion carried.

38
39 **CONSENT AGENDA:**

- 40
41 ♦ **Approval 12 November 2013 City Council Meeting Minutes**
42 ♦ **Approval 19 November 2013 City Council Work Meeting Minutes**

43
44 **Councilmember Poff moved to approve the consent agenda amended in the work meeting.**
45 **Councilmember Poll seconded the motion. Councilmembers Gertge, Hilton, Poff, Poll, and**
46 **Thomas voted yes. The motion carried.**

47

48 **DECLARATION OF CONFLICT OF INTEREST:** The City Council declared no conflict of
49 interest.

50
51 **Councilmember Gertge moved to open the public hearing for Resolution 13-19.**
52 **Councilmember Hilton seconded the motion. Councilmembers Gertge, Hilton, Poff, Poll,**
53 **and Thomas voted yes. The motion carried.**

54
55 ******* PUBLIC HEARING *******

56
57 **RESOLUTION 13-19: Easton Village Subdivision Phase One Amended (16 lots), located at**
58 **approx. 1075 East Lester; Developer Layne Kap** Rodger Worthen, City Manager, stated this
59 public hearing is required by state law because the plat is being amended. He said there is a
60 discrepancy on the west boundary line based upon a survey conflict with an existing fence line
61 that has been in place for some time. Mr. Kap, the developer, has agreed to submit a boundary
62 line agreement with the property owners to the west of the development to rectify the 9'
63 discrepancy. Basically, the survey point for the subdivision indicates it is 9' further to the west
64 than the fence line so there has been a dispute as far as where the actual boundary is that has
65 been in position for a long time. There is a proposed boundary line agreement that should be
66 recorded prior to the recordation of the amended plat Phase 1.

67
68 Mayor Monroe asked if there was any public comment. There was no public comment.

69
70 **Councilmember Thomas moved to close the public hearing for Resolution 13-19.**
71 **Councilmember Gertge seconded the motion. Councilmembers Gertge, Hilton, Poff, Poll,**
72 **and Thomas voted yes. The motion carried.**

73
74 ******* PUBLIC HEARING *******

75
76 Councilmember Gertge stated since there was no public comment from property owners
77 involved he assumes all parties involve must be in agreement.

78
79 **Layne Kap, 8085 S. Juniper Ct.,** stated he found out some information today. He said the
80 Jorgensens and Mitchells have a family member who works in the title business that told them
81 what should actually happen is the amended plat should be recorded before the boundary line
82 agreement is recorded.

83
84 Brandon Jones, City Engineer, was in agreement with the sequence of recordation.

85
86 **Councilmember Thomas moved to Resolution 13-19- Easton Village Subdivision Phase One**
87 **Amended (16 lots), located at approx. 1075 East Lester; Developer Layne Kap with the**
88 **condition that a Boundary Line Agreement is signed by all property owners adjacent to the**
89 **west and recorded after the amended subdivision plat is recorded. Councilmember Gertge**
90 **seconded the motion. Erika called for the vote. Councilmembers Gertge, Hilton, Poff, Poll,**
91 **and Thomas voted yes. The motion carried.**

92
93 **RESOLUTION 13-20: Amend December 11, 2012 Development Agreement between South**
94 **Weber City and Calvin Kap, Keith Kap, and Layne Kap:** Rodger Worthen, City Manager,
95 explained that upon approval of the Easton Village Phase One development, the developer

96 entered into an agreement with the City for the development. In addition to entering into a cost
97 share for the regional detention basin, the agreement also permitted them to move forward with
98 the subdivision prior to meeting the requirement for a second ingress/egress.
99

100 Rodger stated at the time of this agreement, City Ordinance required a second ingress/egress for
101 this development. This exception was allowed because there were/are extenuating circumstances
102 out of the control of the developer that would have halted development altogether. The
103 developer, in exchange for this allowance, was required to install a temporary fire access along
104 1025 east and a fire crash gate. This has not been completed and there is a three to four foot drop
105 off between the adjoining property and equipment is parked along the road making it impossible
106 to get through.
107

108 Rodger explained that since the time of the agreement, the City Ordinance has been amended to
109 allow developments up to 30 units (including existing parcels/developments). Phase one has 16
110 lots, and proposed phase two, 8 lots, and existing parcels, so the development is under the
111 allotted 30 units (per the new ordinance). This now makes the current development agreement
112 stricter than current ordinance.
113

114 The amended agreement would allow the development to proceed with up to 30 lots
115 (per ordinance) without a second emergency access.
116

117 Councilmember Thomas stated in the prior approval the city required a secondary access for fire
118 safety. He asked Mr. Kap, from his perspective, why isn't that something that can still be done.
119 Mr. Kap said we have a 20' right-of-way that goes out the west end of our property and when
120 this was approved and drawn the city assumed they had a right-of-way for a main water line
121 going through there. Mr. Kap said if you look at the plan that was approved, it shows it going
122 right off the end of the road and narrowing down to a 20' right-of-way, but after it was approved
123 they found out that they didn't have a right-of-way but a prescriptive right-of-way and the other
124 thing that can be in the right-of-way is the water line. It is not a utility easement. He believes
125 this ordinance came about because before it didn't give a number of lots and now the ordinance
126 has 30 lots. Councilmember Thomas asked where the other access would be? Mr. Kap
127 discussed the options for another access through 1200 East or Steven Poll property and through
128 the Larry Williams property where they brought the sewer line in.
129

130 **Councilmember Thomas moved to approve Resolution 13-20 amending the December 11,**
131 **2012 Development Agreement between South Weber City and Calvin Kap, Keith Kap, and**
132 **Layne Kap for Easton Village Subdivision. Councilmember Poll seconded the motion.**
133 **Erika called for the vote. Councilmembers Gertge, Hilton, Poll, and Thomas voted yes.**
134 **Councilmember Poff voted no. The motion carried 4 to1.** Councilmember Poff stated the
135 city entered into the agreement as part of the development went in and regardless of how the
136 ordinance has changed over time, he feels the agreement needs to be honored.
137

138 **Councilmember Thomas moved to open the public hearing for Resolution 13-21.**
139 **Councilmember Gertge seconded the motion. Councilmembers Gertge, Hilton, Poff, Poll,**
140 **and Thomas voted yes. The motion carried.**
141

142 ******* PUBLIC HEARING *******
143

144 **RESOLUTION 13-21: Easton Village Phase Two Final Plat (8 lots), located at approx. 1100**
145 **East 7500 South; Developer Kastlerock Excavation** This is the second phase of the Easton
146 Village development. The Planning Commission granted preliminary approval of the entire
147 development on June 28, 2012. The proposed phase two contains eight additional lots. The
148 Planning Commission recommended approval of the second phase of the subdivision at a public
149 hearing held on September 26, 2013.

150

151 Mayor Monroe asked if there was any public comment.

152

153 **Lillian DeLong, 7382 S. 1025 E.**, stated she has copies of all the minutes for this development.
154 She said she has never seen a city council approve a subdivision without conditions for further
155 development on things like egresses/ingresses. This is causing the city to end up with a street
156 that is 3 ft to 4 ft high and not being used. She doesn't care where the second ingress/egress ends
157 up, but she is concerned about the safety issue. She said right now the only ingress/egress out of
158 this subdivision is going through the elementary school. There are buses, teachers along with
159 future homeowners that will be using this street. She would like the city council to look at where
160 the second ingress/egress will go before approving another phase to this subdivision.

161

162 **Brent Poll, 7605 S. 1375 E.**, said the City Council has seen the response from Hill Air Force
163 Base on his request. He sent this request in because the City Council was absolute and knew
164 where there were boundaries to pollution coming off the base. There is a major super fund site
165 and three operable units and the city was certain there were boundaries to risk and endorsed by
166 the EPA so he sent in this request and after a thorough review HAFB said they could find no
167 such boundaries. He said they never existed, except in the city's imagination, and yet the city
168 managed to put these in the 2011 general plan and approved two different subdivisions right
169 beneath a major super fund site leaking where there are absolutely no dynamics for stopping the
170 pollution from continuing to migrate into town and contaminate the people, the land, and
171 everything there. He feels the city screwed up. He feels the city should have had the base buy
172 up the development rights as to not put people at risk.

173

174 Councilmember Thomas said the reality is unless there is actual contamination on that property,
175 it is a taking, if the city were to say you can't do anything on it. He said it would be nice if
176 HAFB would buy up all the development rights, but he doesn't see that happening, especially
177 with the maps. He said the maps mean there has been testing by HAFB and based on the testing
178 the best available data, they drew out the plumes. Councilmember Thomas said with the Petersen
179 subdivision he had them put together a series of maps which showed over time what was
180 happening. Mr. Poll said the maps were never designed for land use purposes. Councilmember
181 Gertge said when the K-2 school was built he heard that HAFB did extensive testing. Mr. Poll
182 feels the city should have evidence. He suggested the council table this and let the next
183 administration take a look at it.

184

185 Councilmember Poll asked if the property south of the elementary school is still contaminated.
186 He asked Mr. Poll if he still owns the rental properties in that area and whether or not he is
187 concerned about that. Mr. Poll said there isn't a person there he hasn't told about the
188 contamination. Councilmember Poll said Mr. Poll comes in and condemns (the City Council)
189 yet he continues to rent to individuals and benefit and put them at risk. Mr. Poll said he always
190 tells people before they move in.

191

192 **Suzanne Mitchell, 7494 S. 1025 E.**, asked city council to table this item. She said the boundary
193 line agreement has not been signed yet. The plat recorded with the County is incorrect and
194 should be amended. She is concerned about the current homes that have been built and those
195 homeowners now dealing with the fact that her animals will be closer to them than they thought.
196 She said her sister, Natalie Dayton, her dad, Lyle Jorgensen, and she signed a warning letter to
197 the city saying this was going to take place. In her opinion, the city needs to table until the
198 boundary line agreement is completed.

199
200 **Lynn Poll, 826 E. South Weber Drive**, said there is a real traffic hazard down there. More
201 development will bring more buses to the elementary school. He then discussed HAFB
202 contamination and the hazards surrounding it. Councilmember Poll asked if the contamination is
203 so bad, then why did Mr. Poll put his family at risk by building there.

204
205 Layne Kap discussed taking care of the boundary line agreement. He said the County said “we
206 are right and they are wrong,” but he is willing to change it. He then discussed the elementary
207 school when the new K-2 building was constructed and the fact that the school district did traffic
208 studies. He also has evidence of fifteen years of testing that has been conducted and no
209 contamination has been found.

210
211 Brent Poll said when you talk about this being all financial. He said the council has failed
212 because they haven’t protected the health and welfare of the people.

213
214 **Lyle Jorgensen, 7420 S.1025 E.**, suggested not approving this until the fence line is taken care
215 of.

216
217 **Councilmember Gertge moved to close the public hearing for Resolution 13-21.**
218 **Councilmember Thomas seconded the motion. Councilmembers Gertge, Hilton, Poff, Poll,**
219 **and Thomas voted yes. The motion carried.**

220
221 ******* PUBLIC HEARING *******

222
223 Councilmember Gertge asked if construction can begin prior to plat approval. Councilmember
224 Thomas asked the city engineer about the second access. Brandon Jones said his opinion is that
225 the street possibility of going through Williams property and where it would come out on South
226 Weber Drive is not a good location. The one through Steven Poll property would line up with
227 1200 East but doesn’t fulfill the requirement because it is too far east. Brandon said it would
228 make the most sense to extend Lester to 7775 South and connect it there.

229
230 Councilmember Poll said there are too many selfish interests in play and it is sad because sooner
231 or later someone is going to want to come to the city to develop their property for their children
232 or grandchildren. The city will take the blame, but he is trying to do what is best overall.
233 Councilmember Gertge is also concerned about safety, but he isn’t sure how to resolve it.
234 Councilmember Poff said he has also been concerned about safety. He knows 1250 East needs
235 to be improved. He understands property rights issues. He is concerned about the issue with
236 pollution. He said the pollution hasn’t stopped people from building in a city that they love. He
237 understands we all take risks to live in this city. Each one of us has chosen to live in this
238 community.

239

240 Councilmember Thomas asked about the time frame for the boundary line agreement. Layne
241 said the paperwork isn't completed but he has discussed this with the surrounding property
242 owners. Suzanne is just requesting that the paperwork be completed before approving
243 everything. Layne said the property line dispute is a civil matter. Councilmember Thomas said
244 but it is important that the plat be accurate.

245
246 **Councilmember Thomas moved to table Resolution 13-21; Easton Village Phase Two Final**
247 **Plat (8 lots), located at approx. 1100 East 7500 South; Developer Kastlerock Excavation**
248 **until the next city council meeting on December 10, 2013. Councilmember Gertge seconded**
249 **the motion. Councilmembers Gertge, Hilton, Poff, Poll, and Thomas voted yes. The**
250 **motion carried.**

251
252 **NON-SCHEDULED DELEGATION:**

253
254 **John Cooney, of Layton, Utah,** said he bought Easton Village, Lot #5, and he is wondering
255 when he can move into his house. Mayor Monroe said when all improvements are completed
256 and the occupancy authorization is approved. Mr. Cooney asked doesn't the city have money in
257 escrow if the improvements aren't in. He asked if he can get a final inspection with no
258 occupancy. Rodger stated the improvements need to be completed prior to final inspection.

259
260 **MAYOR'S ITEMS:**

261
262 **Christmas Party:** City Christmas Party will be held on December 14th at Jeremiahs from 8:30
263 a.m. to 10:30 a.m.

264
265 **CITY COUNCIL ITEMS:**

266
267 **Councilmember Poff:**

268
269 **Youth Council:** They will help with the Breakfast with Santa on December 21st at the Family
270 Activity Center.

271
272 **Councilmember Gertge:**

273
274 **Flag at Veterans Park:** Flags need to be taken down during high winds and bad weather.

275
276 **Fire Hydrant Flags:** There are several flags that are bent and considered a safety hazard.

277
278 **Councilmember Thomas:**

279
280 **Gravel Pits:** He discussed a feasibility study to be conducted by Bowen & Collin for the gravel
281 pits. There is a possibility of partnering with Weber Basin and spend \$20,000. He would
282 suggest putting this item on the next city council agenda.

283
284 **HAFB Contamination:** He suggested contacting HAFB and having them put together maps for
285 Operable Unit #2 just as they did for Operable Unit #1.

286

287 **ADJOURNED:** Councilmember Gertge moved to adjourn the City Council meeting at
288 7:31 p.m. Councilmember Thomas seconded the motion. Councilmembers Gertge, Hilton,
289 Poff, Poll, and Thomas voted yes. The motion carried.

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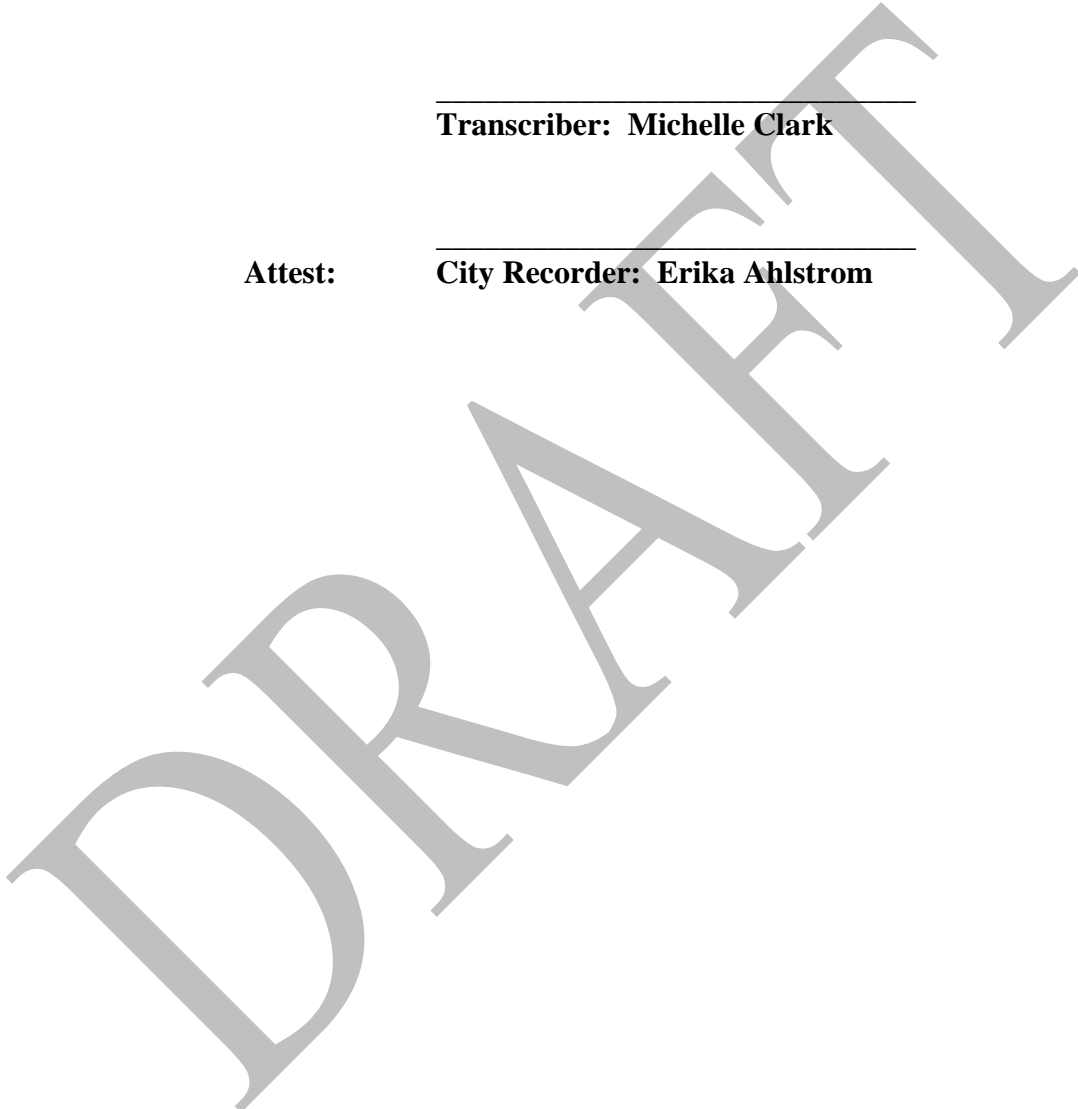
APPROVED: _____ Date

Mayor: Jeff Monroe

Transcriber: Michelle Clark

Attest:

City Recorder: Erika Ahlstrom



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NOVEMBER 26, 2013**WORK/DISCUSSION MEETING PRIOR TO CITY COUNCIL**

Those in attendance to the work session were: Mayor Jeff Monroe, Councilmembers Joe Gertge, Randy Hilton, Michael Poff, Farrell Poll, Dave Thomas, City Manager Rodger Worthen, City Recorder Erika Ahlstrom.

Visitors: Scott Casas, Marlene Poore, Tammy Long, Brandon Jones.

Councilmember Gertge moved to enter into a work session. Councilmember Hilton seconded. Work meeting commenced at 5:33 p.m.

Consent Agenda and Warrant Register: A few minor changes to minutes.

RESOLUTION 13-19: Easton Village Subdivision Phase One Amended (16 lots): This will be a public hearing. Rodger reported it deals with moving the 9 feet on the plat giving the property to the Jorgensens. Rodger said one description goes off the survey (recorded plat) and one goes off of the fence line (proposed amended).

RESOLUTION 13-20: Amend December 11, 2012 Development Agreement between South Weber City and Calvin Kap, Keith Kap, and Layne Kap: Rodger stated this amended agreement brings the current development agreement in alignment with current city codes. Councilmember Gertge said the amendment allows more houses without two accesses; he is concerned about the only exit being by the school, but he said the code is what it is. Councilmember Poff shares this concern. It was discussed that for the second access UDOT won't allow them to come through the Williams property because it violates UDOT's access policies. Councilmember Poll asked if there is a better alternative? Rodger responded yes to the west, all personal issues aside. Councilmember Poff asked why the developer didn't put in a fire access prior to the ordinance being changed. He said the road is three feet higher, and it was supposed to be a fire access. Brandon said that was the point of the agreement prior to their final design, as it was not obvious on the plans they submitted, physically it was impossible to do. They assumed they had access rights, and they don't. Mayor Monroe said if they would have let them go through the road it wouldn't have been three feet higher. Councilmember Poff said they were required to have the fire access road and they didn't do it, and if the ordinance hadn't changed we would be having a different conversation. Brandon said they would have to figure out how to do it if we don't amend the agreement. They would have to build a ramp from the road and get access approval from the land owners. Brandon said that staff felt like it made sense to amend the agreement to be consistent with current code. The Planning Commission has agreed with this recommendation. Rodger said the current agreement would be making a developer do something beyond the code, then it questions the validity of the city's code. Councilmember Poff said he is not against amending the agreement given the current situation, but were we too hasty not verifying the access? Brandon said the developer represented that they had access, and after the fact it came out the way the attorney interpreted the easement is they don't have access. They thought they could put the pipe in, but they couldn't. Mayor Monroe said the reason we are seeing this amendment is there is an issue with the 30 lots, we came up with a number, the Planning Commission reviewed the ordinance and 30 lots became the number. Brandon said it has been a challenge to get two accesses on most development and some developments it didn't make sense i.e. two lots. Councilmember Poff asked if moving forward they will have to have a fully improved access. Brandon said yes, there is no such thing as the "emergency access", so after 30 lots they have to have fully improved roads. It is figured on the last point where you have two ways to get out, then count the lots from that point, it considers lots in other developments as well when doing the calculation.

RESOLUTION 13-21: Easton Village Phase Two Final Plat (8 lots): Rodger reported this phase extends to the south of the current stub road. It was asked what the fire department thinks regarding the access? Mayor Monroe said as you look at the ordinance there is a 30 lot requirement, and the fire department didn't seem to have comments on that. Rodger said the 30-lot limit comes from the fire code.

Rodger stated there have been building permits issues in Easton Village Phase 1, although their improvements are not completed. There may be people coming in desiring to have occupancy, but the city cannot allow occupancy without the improvements being done. Brandon said an interesting observation is that Cottonwood Cove began development after Easton Village, however they have everything in. He said

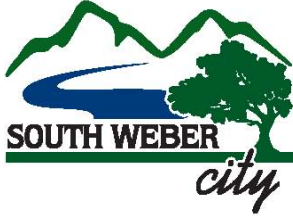
363 it is unfortunate that people have to suffer because the developer hasn't followed through. Mayor Monroe
364 said the city shouldn't have let them have building permits.

365
366 It was asked if the city can hold up the next phase of development since the first phase is not complete.
367 Brandon said you cannot because the developments are independent of each other.

368
369 Work meeting adjourned at 5:59 p.m. Work meeting minutes by Erika Ahlstrom.

370
371
372
373

DRAFT



1600 E. South Weber Drive
South Weber, UT 84405

www.southwebercity.com

801-479-3177
FAX 801-479-0066

CITY MEETING SCHEDULE – 2014

All City Meetings, Hearings and Court Sessions are held at
The South Weber City Office, 1600 E. South Weber Drive, South Weber, unless otherwise posted

City Council

2nd & 4th Tuesdays

6:00 p.m. (5:30 work meeting)

| | |
|---|--------------------------|
| January 7 (Special Mtg for Oath of Office) | |
| January 14 | June 24 |
| January 28 | July 8 |
| January 30 (Retreat) | July 22 |
| February 11 | August 12 |
| February 25 | August 26 |
| March 11 | September 9 |
| March 25 | September 23 |
| April 8 | October 14 |
| April 22 | October 28 |
| May 13 | November 11 |
| May 27 | November 25 |
| June 10 | December 9 (one mtg Dec) |

Planning Commission

4th Thursday

6:30 p.m. (6:00 work meeting)

| | |
|------------------|----------------------------|
| January 23 | |
| February 27 | |
| March 27 | |
| April 24 | |
| May 22 | |
| June 26 | |
| July 17 | (3 rd Thursday) |
| August 28 | |
| September 25 | |
| October 23 | |
| (No Nov Meeting) | |
| December 11 | (2 nd Thursday) |

Meeting dates are subject to change or cancellation.

City Council Work Meetings

3rd Tuesdays (unless otherwise noticed) – **5:30 p.m.**

Court Sessions

1st & 3rd Thursdays 4:00 p.m. to 6:00 p.m.

(Unless otherwise designated. Dates subject to change upon approval of Judge.)

| | |
|-------------|--------------|
| January 2 | July 3 |
| January 16 | July 17 |
| February 6 | August 7 |
| February 20 | August 21 |
| March 6 | September 4 |
| March 20 | September 18 |
| April 3 | October 2 |
| April 17 | October 16 |
| May 1 | November 6 |
| May 15 | November 20 |
| June 5 | December 4 |
| June 19 | December 18 |

RESOLUTION 13-22

Dahl Subdivision- Davis County Plat 13-293 FINAL ACCEPTANCE

BE IT HEREBY RESOLVED, by the City Council of South Weber City, State of Utah, as follows:

WHEREAS, Jones and Associates, Consulting Engineers for South Weber City, has conducted an inspection of the Dahl Subdivision and it has been determined that the improvements in the subdivision have been completed satisfactorily to meet minimum requirements according to city standards and specifications; and

WHEREAS, Jones and Associates recommends Final Acceptance of the Dahl Subdivision;

THEREFORE, be it hereby resolved, the City Council of South Weber City hereby approves Final Acceptance of Dahl Subdivision, Davis County Plat 13-293, with the following conditions:

1. All remaining escrow funds for the Dahl Subdivision including the 10% contingency warranty fund shall be released upon payment in full of any fees due to the city.
2. Upon final release of escrow funds, the City will assume full responsibility for ownership and maintenance of improvements.

PASSED AND ADOPTED by the City Council of South Weber City this **10th** day of **December, 2013**.

Jeffery G. Monroe, Mayor

Attest:

Erika J. Ahlstrom, City Recorder



CONSULTING ENGINEERS

3 December 2013

South Weber City Corporation
Attn: Rodger Worthen, City Manager
1600 East South Weber Drive
South Weber, Utah 84405

RE: Dahl Subdivision - Final Acceptance

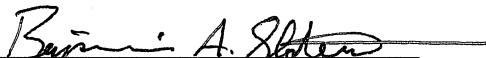
Dear Rodger:


I have completed an inspection of the improvements in the above mentioned subdivision and found them to be completed satisfactorily and to meet minimum requirements of South Weber City standards in accordance with engineering and/or subdivision plans submitted and previously approved. Therefore, we recommend Final Acceptance of this Subdivision. All remaining escrow funds can be released at this time.

If you have any questions, or if I can be of any help, please let me know.

Sincerely,

JONES AND ASSOCIATES
Consulting Engineers
South Weber City Engineers


Benjamin A. Slater - City Inspector


Brandon K. Jones - City Engineer

Date of Final Acceptance to be determined by the City Council

RESOLUTION 13-28

Canyon View Ranches Subdivision- Davis County Plat 13-274 FINAL ACCEPTANCE

BE IT HEREBY RESOLVED, by the City Council of South Weber City, State of Utah, as follows:

WHEREAS, Jones and Associates, Consulting Engineers for South Weber City, has conducted an inspection of the Canyon View Ranches Subdivision and it has been determined that the improvements in the subdivision have been completed satisfactorily to meet minimum requirements according to city standards and specifications; and

WHEREAS, Jones and Associates recommends Final Acceptance of the Canyon View Ranches Subdivision;

THEREFORE, be it hereby resolved, the City Council of South Weber City hereby approves Final Acceptance of Canyon View Ranches Subdivision, Davis County Plat 13-274, with the following conditions:

1. All remaining escrow funds for the Canyon View Ranches Subdivision including the 10% contingency warranty fund shall be released upon payment in full of any fees due to the city.
2. Upon final release of escrow funds, the City will assume full responsibility for ownership and maintenance of improvements.

PASSED AND ADOPTED by the City Council of South Weber City this **10th day of December, 2013**.

Jeffery G. Monroe, Mayor

Attest:

Erika J. Ahlstrom, City Recorder



CONSULTING ENGINEERS

2 December 2013

South Weber City Corporation
Attn: Rodger Worthen, City Manager
1600 East South Weber Drive
South Weber, Utah 84405

RE: Canyon View Ranches - Final Acceptance

Dear Rodger:

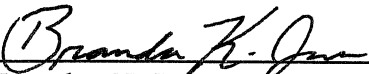
I have completed an inspection of the improvements in the above mentioned subdivision and found them to be completed satisfactorily and to meet minimum requirements of South Weber City standards in accordance with engineering and/or subdivision plans submitted and previously approved. Therefore, we recommend Final Acceptance of this Subdivision. All remaining escrow funds can be released at this time.

If you have any questions, or if I can be of any help, please let me know.

Sincerely,

JONES AND ASSOCIATES
Consulting Engineers
South Weber City Engineers


Benjamin A. Slater - City Inspector


Brandon K. Jones - City Engineer

Date of Final Acceptance to be determined by the City Council

RESOLUTION 13-23

INTERLOCAL AUTOMATIC AID FIRE AGREEMENT

THE CITY COUNCIL OF SOUTH WEBER CITY, in a regular meeting, lawful notice of which has been given, finds that it is reasonable, appropriate, as well as authorized by state law, that an interlocal agreement be entered into by and between South Weber City and Davis County, Layton City, Clinton City, Sunset City, Syracuse City, Kaysville City, Farmington City, South Davis Fire Agency, and North Davis Fire District for structural fire protection at the receipt of an alarm, and that it is in the best interest of South Weber City that such agreement be made.

THEREFORE, the City Council of South Weber City, Utah, hereby adopts the following resolution:

PASSED AND RESOLVED THAT:

Section 1: APPROVAL OF AGREEMENT

The Interlocal Automatic Aid Fire Agreement between South Weber City and listed entities is attached to this Resolution. The City Council of South Weber City is authorized to execute the agreement for and on behalf of South Weber City.

Section 2: EFFECTIVE DATE

This resolution shall become effective upon signing of the Agreement by all parties and said Agreement shall continue for a period not to exceed fifty (50) years.

ADOPTED by the City Council of South Weber this **10th day of December 2013**.

APPROVED

Jeffery G. Monroe, Mayor

Attest:

Erika J. Ahlstrom, City Recorder

DAVIS COUNTY

INTERLOCAL AUTOMATIC AID FIRE AGREEMENT

THIS AGREEMENT made and entered into this _____ day of _____, 2013, pursuant to the provisions of the Interlocal Cooperation Act, by and between **DAVIS COUNTY, LAYTON CITY CORPORATION**, a municipal corporation of the State of Utah, **CLINTON CITY CORPORATION**, a municipal corporation of the State of Utah, **SUNSET CITY CORPORATION**, a municipal corporation of the State of Utah, **SYRACUSE CITY CORPORATION**, a municipal corporation of the State of Utah, **KAYSVILLE CITY CORPORATION**, a municipal corporation of the State of Utah, **FARMINGTON CITY CORPORATION**, a municipal corporation of the State of Utah, **SOUTH WEBER CITY CORPORATION**, a municipal corporation of the State of Utah, **SOUTH DAVIS FIRE AGENCY**, acting through an Interlocal Agreement, and the **NORTH DAVIS FIRE DISTRICT**, a special district established under Utah State law.

WITNESSETH:

WHEREAS, the parties are desirous of entering an agreement for providing automatic mutual aid for fire protection among the parties; and

WHEREAS, such agreement is in furtherance of the purposes of Section 11-7-1, Utah Code Annotated, 1953, as amended; and

WHEREAS, each party desires to cooperate with and assist the other for structural fire protection at the receipt of such an alarm; and

WHEREAS, this Agreement is intended to “enhance” but not replace the existing “Mutual Aid Agreements.”

NOW, THEREFORE, it is hereby agreed:

1. That upon receipt of a report of a structure fire or other fire threatening a structure, the dispatch center responsible for dispatching the incident will dispatch the standard complement of firefighting equipment and personnel from that jurisdiction. In addition, the dispatcher will also immediately see that the next due “Automatic Aid” fire company, as provided under this Agreement, is dispatched to the same incident. Selection of the “Automatic Aid” fire company will be made by computer aided dispatch according to mutually satisfactory boundaries as approved by the respective Fire Chiefs of each party.

2. Any dispatch of equipment and personnel or chief officers pursuant to this Agreement is subject to the following conditions:

- a. The "Automatic Aid" fire company being requested must be currently in an "available" status.
- b. The responding company must be a "pumping" apparatus of Class A engine type or "quint" style aerial device with Class A engine specification. Such responding company must respond with no fewer than two firefighters on board. Chief officers may respond with command vehicles appropriate for the incident.
- c. The "Automatic Aid" fire company must respond immediately from the fire station to which they are assigned immediately upon receipt of the alarm. All such responders must ride the fire engine to the incident. None shall respond by private vehicle.
- d. Dispatch will issue the following information to the responding "Automatic Aid" fire company:
 - i. Address of incident;
 - ii. Type of fire;
 - iii. Special considerations of life safety;
 - iv. Incident command designation; and
 - v. Commanders name or unit when available.
- e. All parties under this agreement will function under the Incident Command System as taught by the National Fire Academy, UFRA CTC program, and as practiced under Davis local guidelines and standard operating procedures (SOP's). The responding "Automatic Aid" fire company shall report to the Incident Commander at the location to which the equipment is dispatched, and shall be subject to the orders of that commander.
- f. The responding "Automatic Aid" fire company shall be released by the requesting organization when the services of the "Automatic Aid" fire company are determined to not be required or when the "Automatic Aid" fire company is needed to provide fire protection to its own jurisdiction, such need to be the sole determination of the responding organization.
- g. Assistance under this Agreement may be refused by the supervising shift officer or any of the parties if, in the supervisor's best judgment, it is determined that the party is unable to reasonably respond.

3. Each party waives all claims against the other for compensation for any loss, damage, personal injury, or death occurring as a consequence of performing this Agreement.

4. Neither party shall be reimbursed by the other party for any costs incurred pursuant to this Agreement.

5. All privileges and immunities from liability which surround the activities of any firefighting force or fire department, when performing its functions within the other party's territorial limits, shall apply to the activities of that other party's firefighting department while furnishing fire protection outside its territorial limits under this Agreement.

6. The effect of the death or injury of any firefighter, who is killed or injured while responding to an incident outside the territorial limits of the firefighter department of which the firefighter is a member and while that department is functioning pursuant to this Agreement, shall be the same as if the firefighter were killed or injured while that department was functioning within its own territorial limits, and such death or injury shall be considered to be in the line of duty.

7. There is no separate legal entity created by this Agreement to carry out its provisions; and to the extent that this Agreement requires administration other than as is set forth herein, it shall be administered by the governing bodies of the parties acting as a joint board. There shall be no real or personal property acquired jointly by the parties as a result of this Agreement.

8. This Agreement shall not relieve any party of any obligation or responsibility imposed upon any of the parties by law, except that the performance of a responding party may be offered in satisfaction of any such obligation or responsibility to the extent of actual and timely performance thereof by the responding party.

9. This Agreement will go into effect on _____ day of _____, 2013, which is the date of the last resolution of a governing body approving this Agreement, and shall be in full and effect between the parties for a period not exceeding 50 years, unless terminated by any one party. Any party may terminate its obligations under this Agreement after giving thirty (30) days advance written notice of termination to the other parties. Such termination shall not modify the Agreement as between any of the remaining parties, except only to exclude the terminating part from the obligations created herein.

10. This Agreement shall become affective as set out above provided it has been approved by resolution of the city councils of the above mentioned cities, and by the Executive Board of Davis County Fire Services Area District's, prior to the effective date, and in accordance with the provisions of Section 11-13-9, Utah Code Annotated, in 1953, as amended, and be submitted to and approved by an authorized attorney for each party.

Davis County Fire Agencies Board-Up Services Rotation Agreement

It is recognized by the Fire Agencies in Davis County that there are times post incident that a building owner, or their representative, may not be able to secure or arrange for the securing of the property involved in the incident and that it is in the best interest of the involved parties for the Fire Agency to request this service on their behalf. Therefore, the following Fire Agencies: South Weber City Fire Department, Sunset City Fire Department, Clinton City Fire Department Syracuse City Fire Department, North Davis Fire District, Layton City Fire Department, Kaysville City Fire Department, Farmington City Fire Department, and The South Davis Metro Fire Agency, along with their associated dispatch centers located in Davis County, intend to create a list of Contractors who meet a minimum standard to participate on a rotating basis with post incident board up services. The above listed parties herein afterword may be referred to as (Agency/Agencies).

The Agencies are not soliciting Contractors for this service; rather they are providing the minimum requirements for those that have expressed a desire to participate in providing these services on a rotating basis. Contractors that fail to meet these requirements after being placed on the list may be removed from participation on the Rotation List.

Any Contractor desiring to be on the Rotation List that meets the minimum qualification listed below, may be considered for inclusion on the board up Rotation List upon proof of compliance.

Minimum Requirements:

Must provide a single point of contact phone number which is to be available on a 24/7 basis.

Must maintain the necessary equipment and materials at all times to provide adequate board up services to include the covering of holes in roofs, walls or other structural openings, securing and covering broken windows and doors.

Must respond to the scene within **one (1) hour** of receiving the request for service from the Agency or their dispatch center.

Must be licensed and insured to include appropriate general and vehicle liability insurance and workers compensation insurance.

Must background check employees and acknowledge that no employee has been convicted of a felony and shall require random drug and alcohol testing of employees.

Must agree that when called by the Agency for services, that they will not bill the Agency or the building owner or occupant for any of the board up services. It is understood that a bill will be sent to the building owner's insurance company. In the event there is no insurance coverage, or the said insurance company fails to pay the bill, the contractor **will not** subsequently bill or hold the Agency, building owner or occupant responsible for the board up service cost.

Additional Understandings:

It is understood that Contractors requested to perform board up services by any of the Agencies are not guaranteed any further clean up or restoration work or payment for their board up service.

Any additional services rendered outside of this agreement are strictly between the Contractor and the owner and occupants of the building and their insurance providers.

This agreement has no bearing on any Contractor, including those on the Rotation List that are requested to respond by anyone other than the Agencies and or their dispatch center.

This agreement is entered into voluntarily by the Contractors and does not constitute a contract between the Agencies or the Contractor. Its sole intention is to specify the minimum standard Contractors must meet to be on the Rotation Call List for the said Agencies.

All Contractors wishing to be included on the list must fill out the attached "Board-Up Contractor Rotation List Information Sheet" and turn it into the _____ Dispatch Center. This sheet must be completed on an annual basis and must be resubmitted during the month of January each year to maintain being kept on the current rotation list for that year.

Contractors not currently on the list may fill out the information sheet and submit it for consideration at any time during the year, but must resubmit their sheet each January to maintain being kept on the list for that year.

Contractors not meeting the terms of this agreement may be removed from the Rotation List.

Citizen complaints about contractors called by the Agencies will be investigated. If the Agency determines the complaint to be valid and warrants the Contractor's removal from the Rotation List, the Contractor may be removed from the list.

SOUTH WEBER CITY COUNCIL
Staff Backup Report

Item No: **Resolution 13-24 Canyon Vistas Final Plat**

Date of Meeting: **December 10, 2013** (Public Hearing)


Developer's Mike Schultz & Mike Bastian have made application for final plat approval for the Canyon Vistas 13 lot subdivision to be located at approx. 1750 E 7250 S.

The Planning Commission held a public hearing on August 22 for preliminary plat and on September 26 the Planning Commission recommended approval of the final plat with conditions. The conditions have been met.

(A Cost Share Agreement between the developer and the City needs to be entered into after the approval of this subdivision plat. See corresponding staff report and agreement.)

MEMORANDUM

TO: South Weber City Mayor and Council

FROM: Brandon K. Jones, P.E.
South Weber City Engineer 

CC: Barry Burton – South Weber City Planner
Mark B. Larsen – South Weber City Public Works Director
Erika Ahlstrom – South Weber City Recorder

RE: **CANYON VISTAS SUBDIVISION**
Final Review

Date: December 4, 2013

Our office has completed a review of the Final Plat and Improvement Plans for the Canyon Vistas Subdivision. We recommend approval, subject to the following items being addressed prior to beginning construction or recording the plat.

PLAT

1. The last sentence in the Owner's Dedication about dedicating Parcel B to Questar Gas should be removed. The transfer of ownership of this parcel should be a separate transaction after the plat is recorded.

IMPROVEMENT PLANS

2. The developer is proposing to pay the City the value of what it would cost to expand the existing regional detention basin in lieu of actually constructing the improvements. We recommend accepting this proposal and including it in the Development Agreement for the following reasons:
 - a. This detention basin is a regional basin with a significant amount of undeveloped ground upstream from the basin. It will have to be expanded in order to meet future detention requirements. Without knowing what the final design is, any efforts to improve the detention basin may be wasted. Therefore, we feel it would be better to put the money aside that would have been spent on constructing the basin expansion and save it for when the City expands the basin.
 - b. Although the basin will not have full capacity, it should be able to handle most storms. For those storms that do spill, the flooding would cause little to no damage based on the topography of the downstream land.

GENERAL

3. A Development Agreement has been drafted to address the City paying the developer for upsizing the storm drain piping and the developer paying the City in lieu of detention. This agreement needs to be finalized, signed and recorded following approval.

RESOLUTION 13-24

FINAL PLAT: CANYON VISTAS SUBDIVISION

WHEREAS, the South Weber City Planning Commission reviewed final plat for Canyon Vistas 13-lot Subdivision located at approx. 1750 East 7250 South, at a public hearing on 22 August 2013 and public meetings on 26 September 2013 and 14 November 2013, and has recommended approval of the final plat subject to conditions; and

WHEREAS, a review by staff of the final plat and plans has determined the conditions set by the Planning Commission have been met; and

WHEREAS, the South Weber City Council reviewed the final plat for said subdivision at a public hearing on 10 December 2013.

BE IT THEREFORE RESOLVED by the South Weber City Council that the final plat of Cottonwood Cove Subdivision is hereby approved subject to the following conditions:

1. Plat: The last sentence in the Owner's Dedication about dedicating Parcel B to Questar Gas should be removed. The transfer of ownership of this parcel should be a separate transaction after the plat is recorded.
2. Improvement Plans: The developer shall be allowed to pay the City the value of what it would cost to expand the existing regional detention basin in lieu of actually constructing the improvements. A development agreement addressing this should be approved and recorded with the plat.
3. Cost Share Development Agreement for Storm Drain: Prior to recording of the plat, a cost share agreement shall be finalized between the developer and the City.
4. Improvements Required Prior To Building Permit: Before the issuance of any building permits, improvements as indicated on improvement plans must be completed, inspected and approved by the city, and all professional fees incurred to date shall be paid in full prior to any building permits being issued.
5. Escrow: Prior to recording of the final plat, the developer will be required to enter into an escrow agreement with the City to ensure completion of all public improvements to be installed as required by subdivision approval. The escrow amount shall be equal to the City Engineer's approved estimated cost of all required public improvements plus 15% of the total cost of all required improvements for contingencies, plus an additional 10% of the total cost of all required improvements as a guarantee fee, for a total of 125% of the City Engineer's approved estimated cost of all required improvements.
6. Recording Period: The developer shall submit the plat and developers agreement to the City within 120 days from the date of approval, along with a check for recording fees [SWC Code Code 11-2-2(C)], for recording of the plat with the County Recorder's office. Plats not recorded within 120 days of final approval by the City Council shall be null and void and must be resubmitted to the City Council.
7. Electronic Data: The developer shall submit electronic copies (both dwg and pdf formats) of the plat and construction drawings prior to recording of the plat. Electronic data should be compatible with AutoCAD2008 or earlier.

**RESOLUTION 13-19
FINAL PLAT – CANYON VISTAS SUBDIVISION**

Page 2

8. Preconstruction: Prior to construction, the developer and construction contractor must hold a preconstruction conference with the City Engineer and City staff to review construction requirements.
9. Official Construction Drawings: Prior to the preconstruction meeting, two sets of mylar drawings must be submitted to the City Engineer to serve as official construction drawings.
10. Commencement of Work: No work on improvements shall be commenced until finalized construction drawings have been approved by the city, final approval of the subdivision plan has been issued by the city council, escrow funds secured and proof provided to the city, and a preconstruction meeting held with the city engineer and other applicable entities. The developer shall complete required landscaping or infrastructure improvements prior to recordation of the plat unless the developer has secured escrow funds to guarantee said improvements. [SWC Code 11-4-2(D)].
11. Fire Protection: The size of buildings shall be compared to the available fire flows in the area in order to establish whether or not fire sprinklers will be required, as determined by the Fire Chief.
12. Inspection and Release of Escrow Funds. The City shall inspect improvements throughout construction. The Developer shall be responsible to pay professional fees incurred for inspections. The City shall notify Escrow's agent in writing as to the installation of the improvement and the amount to be released. Escrow is entitled to release funds from this account only after receiving written notification from the City.
13. Conditional Acceptance: Notwithstanding the fact that the land on which the improvements will be located is dedicated at the time of the recording of a plat, the city shall not be responsible for the improvements, their construction, and/or maintenance until after a minimum one year guarantee period has expired and there is an official acceptance of the dedicated property and improvements by the city.
14. Professional Fees: Prior to recordation of the final plat, the developer will be required to pay all professional fees in full.

PASSED AND APPROVED by the City Council of South Weber this **10th day of December, 2013.**

MAYOR: Jeffery G. Monroe

ATTEST:

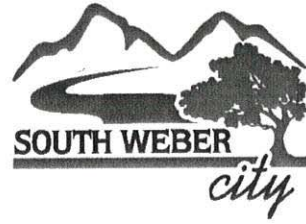
Erika J. Ahlstrom, City Recorder

For Office Use Only

Fees received by: eg Date of submittal: 9/11/13
Amount Paid: 700 Receipt #: 13074604

Initial Review, all of the required supporting materials have been provided: eg

PC/CC Meeting Date: 9/20/13



Final Plan Application

Project/Subdivision Name: Canyon Vistas
Approx. Location: 1750 E. 7250 S.
Parcel Number(s): 13-012-0068 Total Acres: 5.988
Current Zone: RM
Surrounding Land Uses: _____
Number of Lots: 13 # Lots Per Acre: 2.17
Phase: 1 of 1 PUD: Yes / No

Contact Information

Developer or Agent

Name: Mike Schultz & Mike Bastian
Company Name: _____
Address: 1798 W. 5150 S. #103
City/State/Zip: Roy UT 84067
Phone: 801-645-6735 Fax: 801-525-0691
Email: mike.bastian@0@gmail.com

Best Way/Preferred Method of Contact:

Email Phone Fax Mail

Developer's Engineer

Name: Reeve & Associates
Company: _____
License #: _____
Address: 920 Chambers St. Suite 14
City/State/Zip: Ogden UT 84403
Phone: 801-221-3100 Fax: 621-2666
Email: ccave@reeve-assoc.com

Best Way/Preferred Method of Contact:

Email Phone Fax Mail

Surveyor

Check here if same as Engineer

Name: _____
Company: _____
License #: _____
Address: _____
City/State/Zip: _____
Phone: _____ Fax: _____
Email: _____

Property Owner(s)

Check here if same as Developer

Name: Dennis & Judy Blackner
Address: 1742 E. South Weber Dr.
City/State/Zip: South Weber UT 84405
Phone: 801-721-5663 Fax: _____
Email: _____

Brandon referred to item #2 of his letter discussing the old South Weber Drive. Barry suggested stating no vehicle access.

Commissioner Grubb moved to table the Preliminary and Final Subdivision Applications: Serenity Estates Preliminary & Final Plat (1 lot), located at approximately 1550 East 7400 South, Developer, Kay Martinez with recommendation to amend plat:

1. **Payment of application fee and non-sufficient check fee.**
2. **Completion of all items in Staff Report, September 26, 2013 (attached).**
3. **Completion of all items in City Engineer's Memo, September 19, 2013 (attached).**
4. **Clarify access to Sandalwood Drive to mean no vehicle and no pedestrian access.**
5. **Add "no vehicle access" to South Weber City property on the north side of the proposed lot.**
6. **Label the property owned by South Weber City as "South Weber City" not "existing public street".**
7. **Show location of utilities on access point (1550 East).**
8. **City Planner to provide clarification on use of the private road ordinance.**

Commissioner Westbrook seconded the motion. Commissioners Grubb, Hyde, Osborne, Stott, and Westbrook voted yes. The motion carried.

Commissioner Grubb moved to recommend City Council review vacation of the remnant of the old South Weber Drive between 1550 East and 1600 East (South of Ray's property and north of Serenity Estates property). Commissioner Osborne seconded the motion. Commissioners Hyde, Grubb, Osborne, Stott, and Westbrook voted yes. The motion carried.

Final Subdivision Application: Canyon Vistas Subdivision, 13 lots, to be located at approx. 1750 E 7250 S.; Developers: Mike Schultz & Mike Bastian* A public hearing for this was held on August 22, 2013. Another public hearing will be held at a future City Council meeting: Commissioner Stott asked about Vista Road near Sudweek's property. He suggested the developer obtain something in writing concerning this property. Discussion took place regarding changing the south 30 ft. of Mountain Fuel property with an easement designation over that property for a future road. Barry suggested making the easement a separate document from the plat. Brandon suggested showing it on the plat as a reference. Barry said the easement needs to be from Mountain Fuel to South Weber City.

Mike Bastian did look into Commissioner Osborne's concern about an s-curve on lot 3 & 4. He stated they have not been approached by Mountain Fuel about purchasing those lots. He then discussed the triangular piece and a portion being deeded to the city. Commissioner Stott feels there needs to be another access between 1700 East and 1850 East. Commissioner Grubb discussed the possibility of a buyer rezoning lot 1 for farm animals.

Brandon Jones, City Engineer's referred to his letter of 19 September 2013 which includes the following:

PLAT

1. The access and storm drain easement on Lot 1 needs to be 20' wide and clearly shown that it runs from 7250 South to the regional detention basin.
2. The portion of Lot 1 located where the existing detention basin is positioned needs to be called out as Parcel "A" and dedicated to the City in the Owner's Dedication.
3. The Owner's Dedication needs to dedicate the Public Utility Easements to the City.
4. The easement on Lot 3 (adjacent to Lot 4) needs to be labeled.
5. Addresses still need to be added. Our office will supply these.
6. Note #3 could be removed. No formal Development Agreement exists for this subdivision.
7. The following note should be added: "Lots 1, 2 and 3 contain a 16 foot (1V:1H) slope across a portion of the lot. Any modification of this slope should be properly designed and engineered. Drainage should be directed away from this slope, proper vegetation should be installed on the slope and sprinklers should not be installed on the slope." **Any modification to the slope should be approved by the City.**
8. A land drain system is not being installed. The following note should be added: "No land drain system is being installed with the subdivision. Groundwater is not allowed to be pumped into the street or onto adjacent property."

IMPROVEMENT PLANS

9. Detention Basin:
 - a. The storm water calculations do not follow the City Standard for sizing detention basins (e.g. the release rate needs to be 0.1cfs/acre). The requirements for storm drain can be found in Section 15 of the City Standards.
- If any additional property is needed in order to provide the volume required, the developer will need to obtain this property and dedicate it to the City.
 - b. A grading plan with existing and proposed contours (labeled) needs to be provided for the detention basin. It needs to show the additional volume required and meet the minimum City Standard slope of 1% across the bottom of the basin.
 - c. The vegetation to be removed should be shown.
 - d. The existing South Weber Irrigation transmission line going around the detention basin must be protected and maintain a minimum of 10' horizontal and 2' vertical coverage. This should be noted in the plans.

10. Storm Drain Piping:

a. The outfall storm drain line is proposed as HDPE, which is not the City Standard. However, we agree with the use of HDPE outside of the roadway as long as the pipe is called out as HDPE solid wall fused SDR-17.

b. We estimate the peak flow from this subdivision to be 6.5cfs. The size and slope of some of the lines does not carry this required peak flow. In addition, we estimate that a total peak flow of 10cfs is needed for this and future development to the east. The outfall line needs to be upsized just for the flow from this development. It appears that with some upsizing and changes in slopes it is possible to meet both the minimum required flow as well as the total future flow. We can work with the developer's engineer to accomplish the needed flows.

c. The maximum spacing between manholes is 400 feet.

d. The storm drain outfall line needs to be centered in the 20' access and storm drain easement.

e. The plans show fill in some areas over the outfall line. Where this is required, a sufficient amount of fill will need to be placed in order to maintain a drivable surface for the City's access to the detention basin. This should be noted on the plans.

11. Note #4 on Sheet 2 of the Improvement Plans should be deleted. The structural cross section of the road is to be 3" thick asphalt over 10" of compacted roadbase with the potential for stabilization fabric depending on the composition of the subgrade material, as recommended in the Geotechnical Report. This needs to be shown on the typical street section in the drawings.

12. A grading plan with existing and proposed contours (labeled) needs to be provided for the entire subdivision.

13. The existing gas and irrigation lines, as well as the new water and irrigation lines should be shown in all of the profiles in order to verify sufficient vertical clearance.

14. A new 6' fence needs to be shown on the border of all agricultural zoned property.

Commissioner Grubb asked about the spacing between manholes. Brandon said they need to correct the spacing. Brandon said these are all items that the developer can address prior to going on the City Council agenda.

Barry has concerns about the plat. He said there are easements on top of easements. He explained that there is an existing Mountain Fuel easement on the west side of the subdivision and the developer is installing easements on top of that along lots 9, 10, 11, 12, & 13. He said the same issue exists on the east side of the subdivision. He also stated there is a power line easement along lot 1. Barry suggested having Rocky Mountain Power sign the plat. He then discussed the easement for access to the detention basin for South Weber City. It was stated that Brandon addressed that and it should be 20'. On Lot 3 it needs to be altered buildable space to take out the easement line.

Brandon suggested any improvements to the slope of Lot 1, 2, & 3 be approved by the City. He suggested adding language to item #7 of his letter to include "any modification to the slope

should be approved by the city”. Emily suggested restricting Lot 1, 2, & 3. Brandon stated he will work with the developer’s engineer concerning the language. Commissioner Osborne is concerned about sending this item forward with so many items left to be completed.

Commissioner Grubb moved to recommend approval for the Final Subdivision Application for Canyon Vistas Subdivision, 13 lots, to be located at approximately 1750 E 7250 S.; Developers: Mike Schultz & Mike Bastian prior to going on the City Council agenda subject to the following conditions:

- 1. Complete all items in city staff report of 26 September 2013.**
- 2. Complete all items on City Engineer’s letter of 19 September 2013.**
- 3. Include a separate agreement for 30’ easement over southerly portion of the parcel owned by Questar to South Weber city for future road.**
- 4. Add to the subdivision plat a reference outside of the subdivision to the future road.**
- 5. Define the UPL easement on the subdivision.**
- 6. Name the streets.**
- 7. Clarify the 20’ Questar gas line on the west and whether or not it exists and the location of the storm drain is located in an area outside of the Questar easement.**
- 8. Designate a restriction on Lot 1, 2, 3 as outlined in City Engineer’s letter, item #7.**

Commissioner Stott seconded the motion. Commissioners Grubb, Hyde, Stott, and Westbrook voted yes. Commissioner Osborne voted no. The motion carried 4 to 1.

Commissioner Stott moved to open the public hearing for Ordinance 13-17. Commissioner Grubb seconded the motion. Commissioners Grubb, Hyde, Osborne, Stott, and Westbrook voted yes. The motion carried.

******* PUBLIC HEARING *******

Recommendation of Ordinance Amendment: Ordinance 13-17, An Ordinance Amending Title 10 Zoning Regulations, Chapter 9 Sign & Lighting: Nate Seacrest, 3052 Crescent Drive Salt Lake City, Utah stated there are items he would like to discuss concerning this ordinance. He said there are some undefined terms. There is reference to a curfew that isn’t defined. There is also spacing requirements concerning legal and non-conforming signs. He would like the opportunity to meet with the Planning Commission to discuss these items further.

Jared Johnson, 998 E. 5100 S. South Ogden, understands Reagan and Yesco are the only companies currently operating in South Weber City. He discussed the similarity of this ordinance to Layton City. He said the 75 ft. proximity is unique to Layton City. He would like to have input on this for South Weber City. He said there are issues in the ordinance that will be difficult to work with. He would suggest discussing the definitions as well. There is an issue

555 **Commissioner Osborne seconded the motion. Commissioners Grubb, Hyde, Osborne, and**
556 **Westbroek voted yes. The motion carried.**

557 Commissioner Hyde said there is really no reason legally to deny this subdivision.

558

559 **Commissioner Hyde was excused at 9:19 p.m.**

560

561 **Revised Canyon Vistas Subdivision Final Plat, 13 lots, located at 7250 South 1730 East;**

562 **Applicants: Mike Bastian & Mike Schultz:** Barry Burton, City Planner, stated recently, the
563 City Staff met with representatives from Questar Gas in relation to the proposed development.
564 He said there are two companies Questar Gas and Questar Pipeline Company involved in this
565 issue. Questar Gas raised some concerns with what was being proposed. We subsequently met
566 with the developer and discussed changes to the proposed plat. The developer has suggested
567 creating a deed restriction agreement until this is all cleared up.

568

569 The following are comments and items that need to be addressed prior to the recordation of the
570 plat.

571

572 1. 7325 South has been moved south so as to be located on the south side of Lot 5 instead of on
573 the north side as it was submitted previously. This was changed because the previous location
574 would have necessitated a street dedication of a portion of the Questar Gas property in the future.
575 Questar indicated that they are not likely to ever dedicate any portion of their property to a street
576 Right of Way. The moving of the street allows the extension of this road to occur whenever the
577 property is ready to be developed.

578

579 2. The developer is proposing to give Questar access to their property between Lots 4 and 5 with
580 an easement in place of having the road located in that area.

581

582 3. The 20' easement shown on the east side of Lots 3 – 7 is an access and utility line easement.
583 Therefore, in order for this plat to be approved, the "access" rights of this easement must be
584 relinquished. This could be done in exchange for the access provided between Lots 4 and 5.
585 However, written consent for the relinquishing of the access rights for this easement must be
586 received from Questar Gas.

587

588 Brandon discussed removing the 35' easement to be dedicated to Questar Gas from the plat.
589 Barry suggested putting the deed restriction on the plat and in the motion. This will direct the
590 city staff that building permits will not be issued until access easement to Questar is abandoned.

591

592 **Commissioner Grubb moved to recommend approval of the revised Canyon Vistas**
593 **Subdivision Final Plat, 13 Lots, located at 7250 South 1730 East for Mike Bastian and Mike**
594 **Schultz subject to the following:**

595

596 **1. Address items in City Engineer's letter of 7 November 2013.**

597 **a. Clarify 35' strip accessing Questar property to be labeled parcel B and to**
598 **remove any notations regarding an easement on that plat.**

599 **b. Correct the Uinta Pipeline easement label to match Questar requirement.**

600 **c. Add Letter "E" to lots 4, 5, 6, & 7 with definition on the plat as described**
601 **in the engineer's letter item #3.**

602

603 Commissioner Westbrook seconded the motion. Commissioners Grubb, Osborne, and
604 Westbrook voted yes. The motion carried.

605
606 OTHER BUSINESS: None.

607
608 ADJOURN: Commissioner Westbrook moved to adjourn the Planning Commission
609 meeting at 9:38 p.m. Commissioner Osborne seconded the motion. Commissioners Grubb,
610 Osborne, and Westbrook voted yes. The motion carried.

611
612
613 APPROVED: _____ Date
614 Commissioner: Delene Hyde

615
616
617 Attest: _____
618 Deputy Recorder: Emily A. Thomas

619
620
621 _____
622 Transcriber: Michelle Clark

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CANYON VISTAS SUBDIVISION

PART OF THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
SOUTH WEBER CITY, DAVIS COUNTY, UTAH
NOVEMBER, 2013



VICINITY MAP
NOT TO SCALE

SETBACKS

- LOT SETBACKS: (70' R.O.W.)
- FRONT SETBACK = 20'
 - SIDE SETBACK = 10' MINIMUM ON EACH SIDE, EXCEPT 20' MINIMUM FOR SIDE FRONTING STREET
 - REAR SETBACK = 25'

NOTES

- PARCEL IS CURRENTLY ZONED RESIDENTIAL MODERATE DENSITY ZONE (R-M)
- MINIMUM LOT SIZE IS 9,000 S.F., AVERAGE LOT SIZE IS 15,579 S.F.
- ALL LOTS ARE SUBJECT TO THE REQUIREMENTS OF THE GEOTECHNICAL REPORT PRODUCED BY EARTHTEC ENGINEERING, DATED JULY 15, 2013
- ALL STRUCTURES TO BE REMOVED AT TIME OF CONSTRUCTION
- PROPERTY SUBJECT TO NOISE AND SMELL FROM ADJACENT QUESTAR PROPERTY
- SIX (6) FOOT FENCE REQUIRED BETWEEN ALL BORDERING AGRICULTURAL ZONED PROPERTY
- LOTS R-1, R-2, AND R-3 ARE RESTRICTED LOTS AND CONTAIN A 16 FOOT (1V1H) SLOPE ACROSS A PORTION OF THE LOT. DRAINAGE SHOULD BE DIRECTED AWAY FROM THIS SLOPE. PROPER VEGETATION SHOULD BE INSTALLED ON THE SLOPE AND SPRINKLERS SHOULD NOT BE INSTALLED ON THE SLOPE. ANY MODIFICATION OF THIS SLOPE SHOULD BE PROPERLY DESIGNED AND ENGINEERED AND MUST BE APPROVED BY THE CITY.
- LOTS 4-E, 5-E, 6-E AND 7-E ARE RESTRICTED DUE TO THE QUESTAR GAS COMPANY PIPELINE ACCESS EASEMENT ALONG THE EAST SIDE OF THESE LOTS. BUILDING PERMITS WILL NOT BE ISSUED UNTIL THE "ACCESS" PORTION OF THIS EASEMENT IS VACATED, LEAVING THE PIPELINE IN PLACE.
- NO LAND DRAIN SYSTEM IS BEING INSTALLED WITH THE SUBDIVISION. GROUND WATER IS NOT ALLOWED TO BE PUMPED INTO THE STREET OR ONTO ADJACENT PROPERTY.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS PLAT IS THE SECTION LINE BETWEEN THE EAST QUARTER CORNER OF SECTION 34 AND THE CENTER OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. SHOWN HEREON AS: S89°53'29"E

NARRATIVE

THE PURPOSE OF THIS PLAT IS TO DIVIDE THE BELOW DESCRIBED PROPERTY INTO LOTS AND STREETS. ALL BOUNDARY CORNERS AND REAR LOT CORNERS WERE SET WITH A 5/8" REBAR AND PLASTIC CAP STAMPED "REEVE & ASSOCIATES". ALL FRONT LOT CORNERS WERE SET WITH A LEAD PLUG IN THE TOP BACK OF CURB AT THE EXTENSION OF THE SIDE LOT LINES.

BOUNDARY DESCRIPTION

PART OF THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT, SAID POINT BEING N89°53'21"E 1624.79 FEET AND N0°06'39"W 290.21 FEET FROM THE SOUTH QUARTER CORNER OF SAID SECTION 27; THENCE N89°50'39"W 281.67 FEET TO THE EAST LINE OF SOUTH WEBER VALLEY ESTATES; THENCE N0°09'21"E ALONG SAID EAST LINE, 1104.19 FEET TO THE SOUTH RIGHT OF WAY LINE OF I-84; THENCE ALONG SAID SOUTH RIGHT OF WAY LINE THE FOLLOWING TWO (2) COURSES: (1) THENCE S84°34'42"E 190.35 FEET AND (2) ALONG A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 557.99 FEET, A RADIUS OF 11559.16 FEET, A CHORD BEARING OF S84°12'15"E, AND A CHORD LENGTH OF 557.94 FEET; THENCE S89°43'21"W 720.53 FEET; THENCE S00°09'21"W 184.56 FEET; THENCE S77°59'07"E 257.07 FEET; THENCE S00°15'50"E 791.44 FEET TO THE POINT OF BEGINNING.

CONTAINING 260,321 SQUARE FEET OR 5.976 ACRES

| # | RADIUS | ARC LENGTH | CHD LENGTH | TANGENT | CHD BEARING | DELTA |
|-----|-----------|------------|------------|---------|--------------|-----------|
| C1 | 967.45' | 4.83' | 4.83' | 2.41' | S89°59'12"E | 0°17'09" |
| C2 | 1002.45' | 5.00' | 5.00' | 2.50' | S89°59'12"E | 0°17'09" |
| C3 | 1037.45' | 5.17' | 5.17' | 2.59' | S89°59'12"E | 0°17'09" |
| C4 | 20.00' | 10.11' | 10.00' | 5.16' | N75°23'34"E | 28°57'18" |
| C5 | 60.00' | 3.06' | 3.06' | 1.53' | N62°22'43"E | 2°52'36" |
| C6 | 60.00' | 82.50' | 76.15' | 49.27' | S76°48'00"E | 78°46'59" |
| C7 | 60.00' | 69.62' | 65.78' | 39.33' | S04°07'56"E | 68°29'09" |
| C8 | 20.00' | 7.60' | 7.55' | 3.85' | S181°03'34"W | 21°46'10" |
| C9 | 20.00' | 2.51' | 2.51' | 1.26' | S03°44'55"W | 7°11'08" |
| C10 | 20.00' | 31.52' | 28.35' | 20.10' | S44°59'13"E | 90°17'08" |
| C11 | 5.50' | 8.67' | 7.80' | 5.53' | S45°01'27"E | 90°21'36" |
| C12 | 5.50' | 8.60' | 7.75' | 5.47' | S44°58'33"W | 89°38'24" |
| C13 | 20.00' | 16.26' | 15.61' | 8.61' | S23°07'40"E | 46°34'03" |
| C14 | 60.00' | 84.45' | 81.40' | 35.73' | S28°15'06"W | 61°52'42" |
| C15 | 60.00' | 63.75' | 60.79' | 35.26' | S89°27'46"W | 60°52'36" |
| C16 | 60.00' | 76.91' | 71.75' | 44.76' | N23°22'41"W | 73°28'27" |
| C17 | 60.00' | 34.96' | 34.46' | 17.99' | N30°01'58"E | 33°22'21" |
| C18 | 20.00' | 16.26' | 15.61' | 8.61' | N23°28'22"E | 46°34'03" |
| C19 | 60.00' | 45.96' | 44.85' | 24.17' | S24°28'00"E | 43°53'24" |
| C20 | 11559.16' | 557.99' | 557.94' | 279.05' | S84°12'15"E | 245°57" |
| C21 | 11559.16' | 301.46' | 301.45' | 150.74' | N84°50'24"W | 72°33'39" |
| C22 | 11559.16' | 256.54' | 256.53' | 128.27' | S83°27'25"E | 116°18" |

DEVELOPER

MIKE SCHULTZ/MIKE BASTIAN
1798 W 5150 S, #103
ROY, UT 84067
801-525-0681

Questar Gas

APPROVED BY QUESTAR GAS THIS THE _____ DAY OF _____, 20____.

QUESTAR GAS

South Weber City Attorney

APPROVED BY THE SOUTH WEBER CITY ATTORNEY THIS THE _____ DAY OF _____, 20____.

SOUTH WEBER CITY ATTORNEY

South Weber City Planning Commission

APPROVED THIS _____ DAY OF _____, 20____, BY THE SOUTH WEBER CITY PLANNING COMMISSION.

CHAIRMAN, SOUTH WEBER CITY PLANNING COMMISSION

South Weber City Engineer

APPROVED BY THE SOUTH WEBER CITY ENGINEER THIS _____ DAY OF _____, 20____.

SOUTH WEBER CITY ENGINEER

South Weber City Council

PRESENTED TO THE SOUTH WEBER CITY COUNCIL THIS THIS _____ DAY OF _____, 20____, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

SOUTH WEBER CITY MAYOR CITY RECORDER

Surveyor's Certificate

I, ROBERT D. KUNZ, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF CANYON VISTAS SUBDIVISION IN SOUTH WEBER CITY, DAVIS COUNTY, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE DAVIS COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND. I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF SOUTH WEBER CITY, DAVIS COUNTY CONCERNING SURVEY REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 20____.

UTAH LICENSE NUMBER ROBERT D. KUNZ



Owners Dedication And Certification

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THE PLAT AND NAME SAID TRACT CANYON VISTAS SUBDIVISION, AND DO HEREBY DEDICATE, GRANT AND CONVEY TO SOUTH WEBER CITY, DAVIS COUNTY, UTAH, ALL PARTS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER; AND ALSO DEDICATE TO SOUTH WEBER CITY PARCEL A FOR DRAINAGE PURPOSES, AND THOSE CERTAIN STRIPS AS EASEMENTS FOR PUBLIC UTILITY AND DRAINAGE PURPOSES AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE AS MAY BE AUTHORIZED BY SOUTH WEBER CITY. PARCEL B IS HEREBY DEDICATED TO QUESTAR GAS COMPANY FOR THEIR USE.

SIGNED THIS _____ DAY OF _____, 20____.

Acknowledgment

STATE OF UTAH) ss.
COUNTY OF _____)
ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, (AND) SIGNER(S) OF THE ABOVE OWNER'S DEDICATION AND CERTIFICATION, WHO BEING BY ME DULY SWORN, DID ACKNOWLEDGE TO ME _____ SIGNED IT FREELY, VOLUNTARILY, AND FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES _____ NOTARY PUBLIC

Acknowledgment

STATE OF UTAH) ss.
COUNTY OF _____)
ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, (AND) _____ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ OF SAID CORPORATION AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES _____ NOTARY PUBLIC

| Project Information | |
|------------------------------|--|
| Surveyor: A. FLETCHER | Project Name: CANYON VISTAS SUBDIVISION |
| Designer: M. ANDERSON | Number: 3784-49 |
| Begin Date: | Scale: 1"=50' |
| | Revision: 11-7-13 G.C. |
| | Checked: |

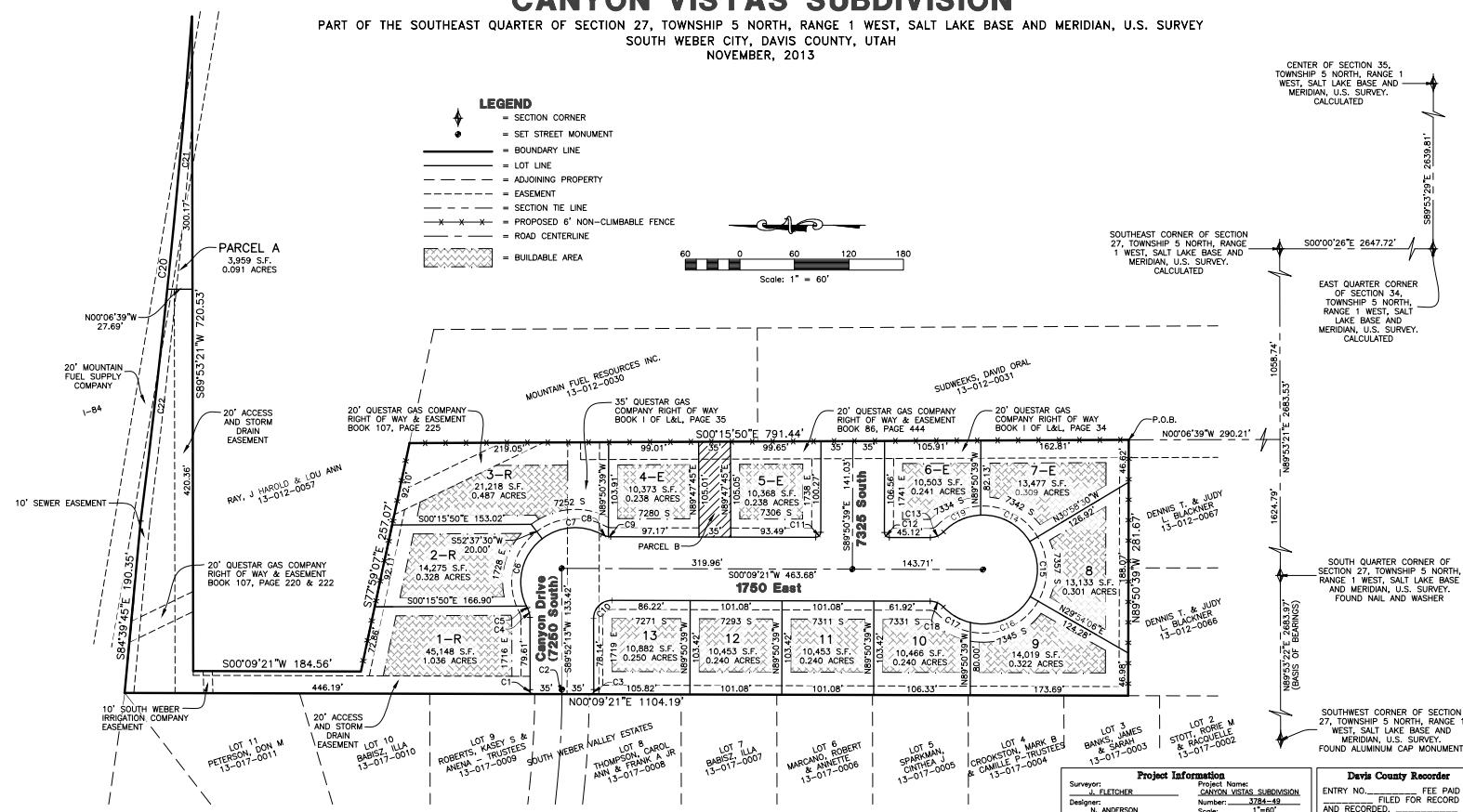
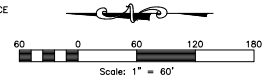
| Davis County Recorder | |
|-------------------------------------|----------------|
| ENTRY NO. _____ | FEE PAID _____ |
| AND RECORDED _____ | AT _____ |
| OF THE OFFICIAL RECORDS, PAGE _____ | |
| RECORDED FOR: | |
| DAVIS COUNTY RECORDER | DEPUTY: |



CANYON VISTAS SUBDIVISION

PART OF THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
SOUTH WEBER CITY, DAVIS COUNTY, UTAH
NOVEMBER, 2013

- LEGEND**
- = SECTION CORNER
 - = SET STREET MONUMENT
 - = BOUNDARY LINE
 - = LOT LINE
 - = ADJOINING PROPERTY
 - = EASEMENT
 - = SECTION TIE LINE
 - x — x — = PROPOSED 6" NON-CRIMBLE FENCE
 - = ROAD CENTERLINE
 - ▨ = BUILDABLE AREA



CENTER OF SECTION 35,
TOWNSHIP 5 NORTH, RANGE 1
WEST, SALT LAKE BASE AND
MERIDIAN, U.S. SURVEY.
CALCULATED

SOUTHEAST CORNER OF SECTION
27, TOWNSHIP 5 NORTH, RANGE
1 WEST, SALT LAKE BASE AND
MERIDIAN, U.S. SURVEY.
CALCULATED

EAST QUARTER CORNER
OF SECTION 34,
TOWNSHIP 5 NORTH,
RANGE 1 WEST, SALT
LAKE BASE AND
MERIDIAN, U.S. SURVEY.
CALCULATED

SOUTH QUARTER CORNER OF
SECTION 27, TOWNSHIP 5 NORTH,
RANGE 1 WEST, SALT LAKE BASE
AND MERIDIAN, U.S. SURVEY.
FOUND NAIL AND WASHER

SOUTHWEST CORNER OF SECTION
27, TOWNSHIP 5 NORTH, RANGE 1
WEST, SALT LAKE BASE AND
MERIDIAN, U.S. SURVEY.
FOUND ALUMINUM CAP MONUMENT

Project Information

| | |
|---------------|---------------------------|
| Surveyor: | FLETCHER |
| Project Name: | CANYON VISTAS SUBDIVISION |
| Designer: | M. ANDERSON |
| Number: | 3784-49 |
| Scale: | 1"=60' |
| Begin Date: | |
| Revision: | 11-7-13 C.C. |
| Checked: | |

Davis County Recorder

ENTRY NO. _____ FEE PAID _____

AND RECORDED _____ AT _____

IN BOOK _____ OF _____

THE OFFICIAL RECORDS, PAGE _____

RECORDED FOR:

DAVIS COUNTY RECORDER

DEPUTY:

Reeve & Associates, Inc.

800 GARDEN STREET, SUITE 14, SALT LAKE CITY, UTAH 84103
TEL: 801-461-1900 FAX: 801-461-1901 WWW.REEVEASSOCIATES.COM
LAND SURVEYING • CAD DRAWINGS • LAND ACQUISITION
PROPERTY MANAGEMENT • PROJECT MANAGEMENT

Project Narrative/Notes/Revisions

- 1) 9/9/13 RH - COMPLETED PLANS FOR CITY REVIEW.
- 2) 9/19/13 RH - REVISED STORM DRAIN FOR EX. GAS LINE CROSSING.
- 3) 10/15/13 RH - REVISED PLANS PER CITY REVIEW COMMENTS.
- 4) 11/25/13 RH - REVISED PLANS PER CITY REVIEW COMMENTS.
- 5) 12/5/13 RH - REVISED PLANS PER CITY REVIEW COMMENTS.

CANYON VISTAS SUBDIVISION

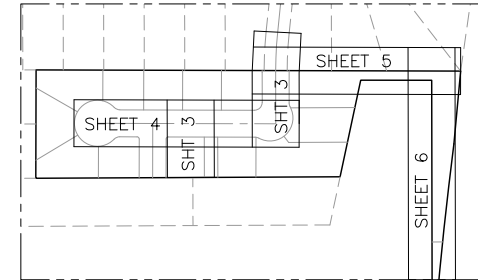
Improvement Plans

SOUTH WEBER CITY, DAVIS COUNTY, UTAH
SEPTEMBER 2013

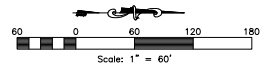
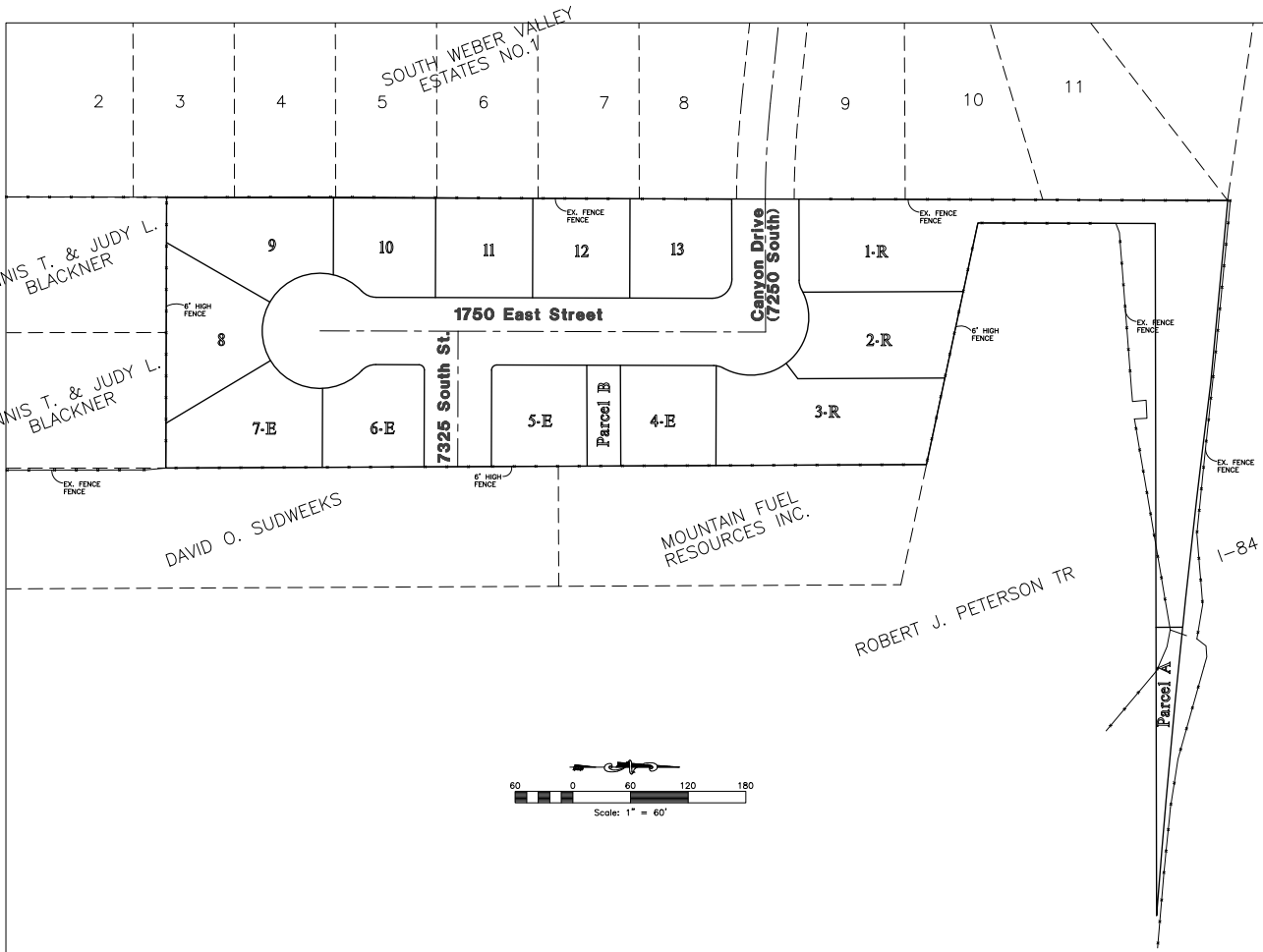
Reeve & Associates, Inc. - Solutions You Can Build On



Vicinity Map
NOT TO SCALE



Sheet Index Key Map
NOT TO SCALE



Sheet Index

- Sheet 1 - Cover/Index Sheet
- Sheet 2 - Street Cross-Sections/Legend/Notes
- Sheet 3 - 7250 South Street/7275 South Street
- Sheet 4 - 1750 East Street
- Sheet 5 - Storm Drain Outfall
- Sheet 6 - Storm Drain Outfall
- Sheet 7 - Detention Basin Expansion
- Sheet 8 - Grading Plan
- Sheet 9 - Storm Water Pollution Prevention Plan
- Sheet 10 - Storm Water Pollution Prevention Plan

Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Contact:
Mike Schultz/Mike Bastian
1798 West 5150 South, #103
Roy, Utah 84067
PH: (801) 525-0681

Blue Stakes Location Center
Call: Toll Free
1-800-662-4111
Two Working Days Before You Dig

Reeve & Associates, Inc.
IRA

200 CHAMBERS STREET, SUITE 114, OGDEN, UTAH 84403
TEL: (801) 471-2100 FAX: (801) 471-2088 WWW.REEVE-IRA.COM

| REVISIONS | DATE | DESCRIPTION |
|-----------|----------|------------------------|
| 1 | 9-9-13 | RH - Storm Drain, Rev. |
| 2 | 9-19-13 | RH - City Comments |
| 3 | 10-15-13 | RH - City Comments |
| 4 | 11-25-13 | RH - City Comments |
| 5 | 12-5-13 | RH - City Comments |

Canyon Vistas Subdivision
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Cover/Index Sheet



Project Info:
Engineer: J. MATE REEVE, P.E.
Drafter: R. HANSEN
Begin Date: SEPTEMBER 3, 2013
Name: CANYON VISTAS SUBDIVISION
Number: 3784-49

Sheet **1** of **10** Sheets

Revised 12-5-13

Reeve & Associates, Inc. - Solutions You Can Build On

General Notes:

- 1. ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UN-INCORPORATED), INDIVIDUAL PRODUCT MANUFACTURERS, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), AND THE DESIGN ENGINEER...

Utility Notes:

- 1. CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, INTERFERE...

Legend

Table with 3 columns: Symbol, Description, and Abbreviation. Includes items like PROPOSED CULINARY WATER LINE, EXISTING CATCH BASIN, LINEAR FEET, etc.

General Notes

- 1. ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE DEVELOPMENT STANDARDS OF SOUTH WEBER CITY AND THE CITY OF SOUTH WEBER DRAWINGS CONTAINED THEREIN...

Erosion Control General Notes:

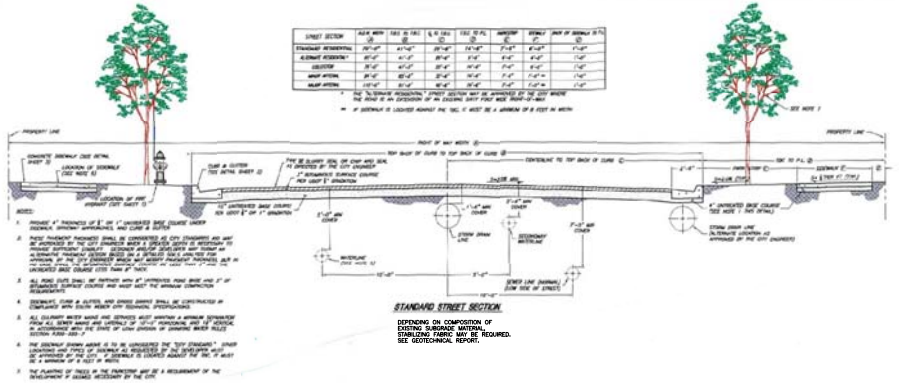
THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

Maintenance:

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT. THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY...

Exposed Slopes:

- ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS: A) SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED...



Reeve & Associates, Inc. 220 CHAMBERS STREET, SUITE #14, ODGEN, UTAH 84403. TEL: (801) 471-2100 FAX: (801) 471-2088

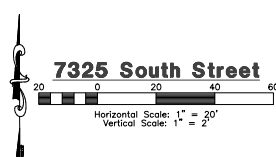
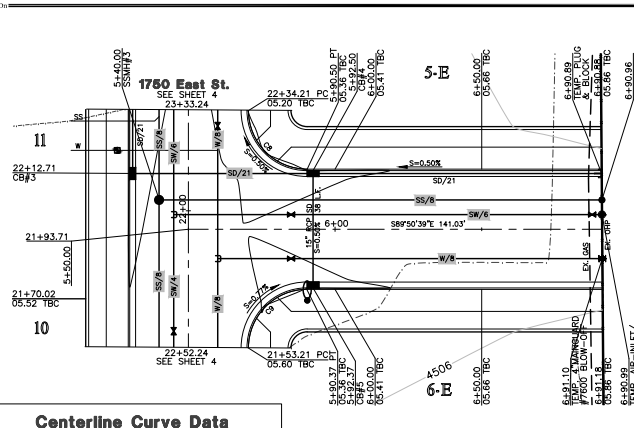
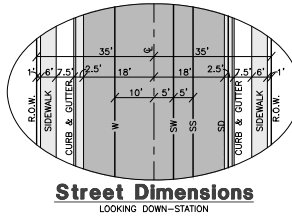
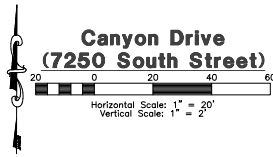
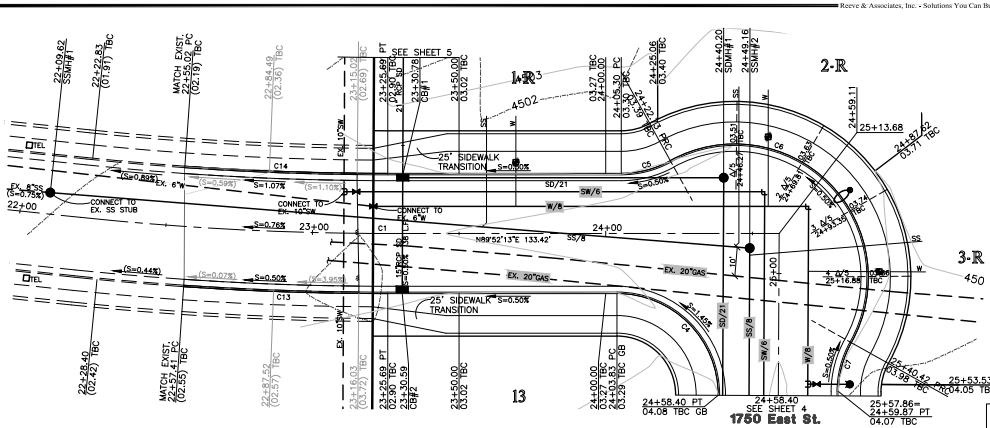


Table with 2 columns: REVISIONS and DESCRIPTION. Lists revision dates and descriptions such as 'Storm Drain Rev.', 'Comments', etc.

Canyon Vistas Subdivision SOUTH WEBER CITY, DAVIS COUNTY, UTAH Street Cross-Sections/ Master Legend/Notes



Project Info: Engineer: J. MATE REEVE, P.E. Drafter: R. HANSEN Begin Date: SEPTEMBER 3, 2013 Name: CANYON VISTAS SUBDIVISION Number: 3784-49

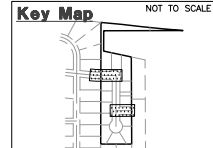
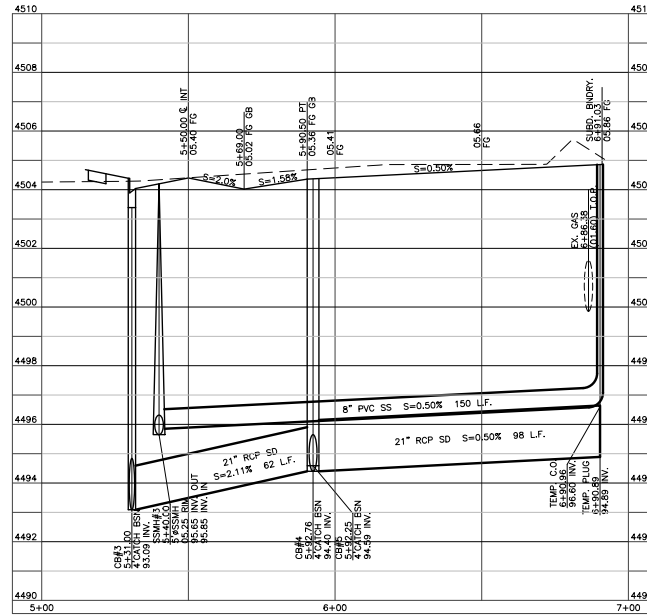
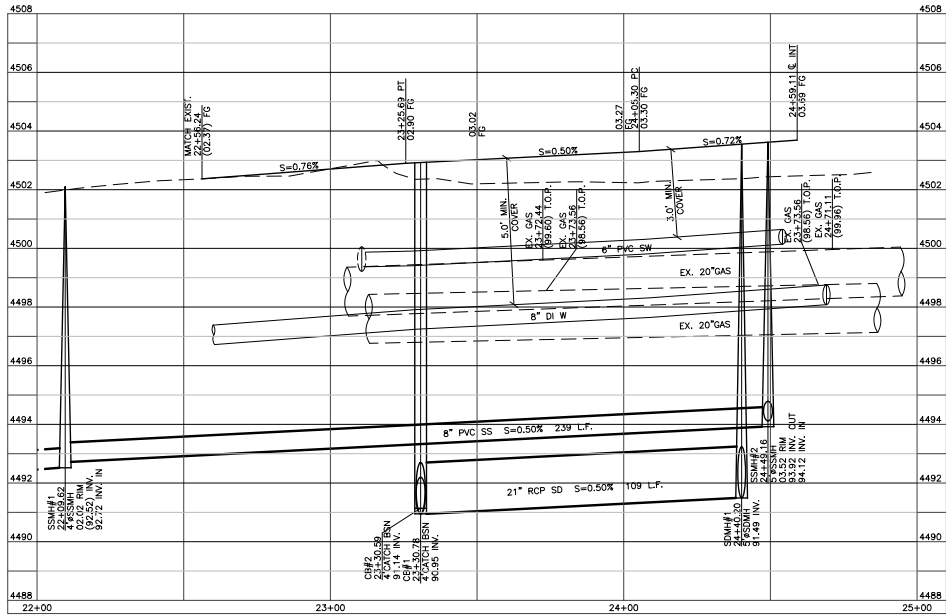


Centerline Curve Data

| # | Delta | Radius | Length | Tangent | Chord | CH Length |
|----|----------|----------|--------|---------|-------------|-----------|
| C1 | 0°17'09" | 1002.45' | 5.00' | 2.50' | S89°50'12"E | 5.00' |

TBC Curve Data

| # | Delta | Radius | Length | Tangent | Chord | CH Length |
|-----|------------|----------|---------|---------|-------------|-----------|
| C4 | 90°17'08" | 34.50' | 54.36' | 34.67' | N44°59'13"W | 48.91' |
| C5 | 28°57'18" | 34.50' | 17.43' | 8.91' | N79°23'34"E | 17.25' |
| C6 | 148°11'44" | 45.50' | 117.69' | 159.71' | N44°59'13"W | 87.52' |
| C7 | 28°57'18" | 34.50' | 17.43' | 8.91' | S14°38'00"W | 17.25' |
| C8 | 90°21'36" | 20.00' | 31.54' | 20.13' | S45°01'27"E | 28.37' |
| C9 | 89°38'24" | 20.00' | 31.29' | 19.87' | S44°58'33"W | 28.20' |
| C13 | 3°54'09" | 1022.94' | 69.68' | 34.85' | S88°10'42"E | 69.66' |
| C14 | 4°02'22" | 981.95' | 69.23' | 34.63' | S88°06'36"E | 69.21' |



Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY.

CULINARY WATER
W/8 - 8" DUCTILE IRON CLASS-51 WATER

SANITARY SEWER
SS/8 - 8" PVC SDR-35 SEWER LINE

STORM DRAIN
SD/15 - 15" RCP STORM DRAIN
SD/21 - 21" RCP STORM DRAIN

SECONDARY WATER
SW/4 - 4" PVC C-900 CLASS 200 DR-14
SECONDARY WATER LINE
SW/6 - 6" PVC C-900 CLASS 200 DR-14
SECONDARY WATER LINE

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IPRA

REVISIONS

| DATE | DESCRIPTION |
|----------|-------------------------|
| 9-19-13 | Rd. - Storm Drain, Rev. |
| 11-29-13 | Rd. - City Comments |
| 12-5-13 | Rd. - City Comments |

Canyon Vistas Subdivision
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH

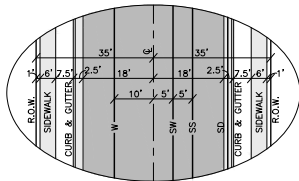
Canyon Drive
 7250 South St.
 22+00.00-25+00.00 5+00.00-7+00.00



Project Info:
 Engineer: J. MATE REEVE, P.E.
 Drafter: R. HANSEN
 Begin Date: SEPTEMBER 3, 2013
 Name: CANYON VISTAS SUBDIVISION
 Number: 3784-49

Blue Stakes Location Center
Call: Toll Free 1-800-662-4111
 Two Working Days Before You Dig

Sheet **3** of **10** Sheets



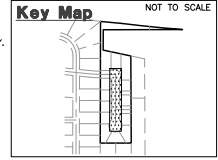
Street Dimensions
LOOKING DOWN-STATION



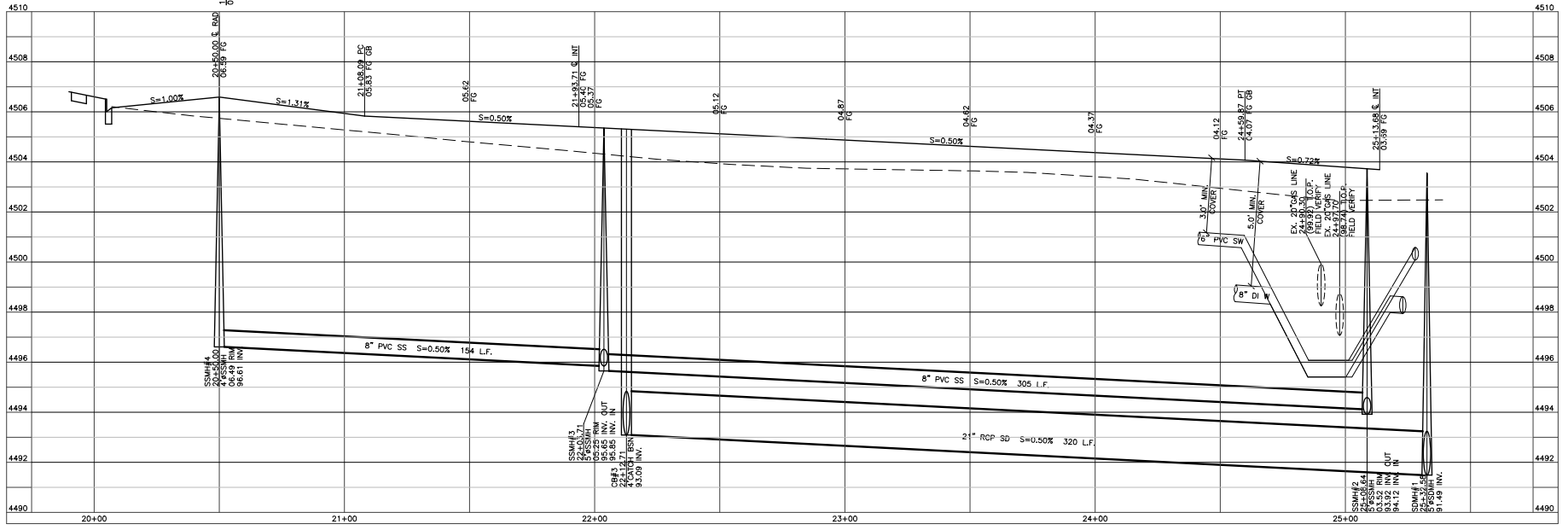
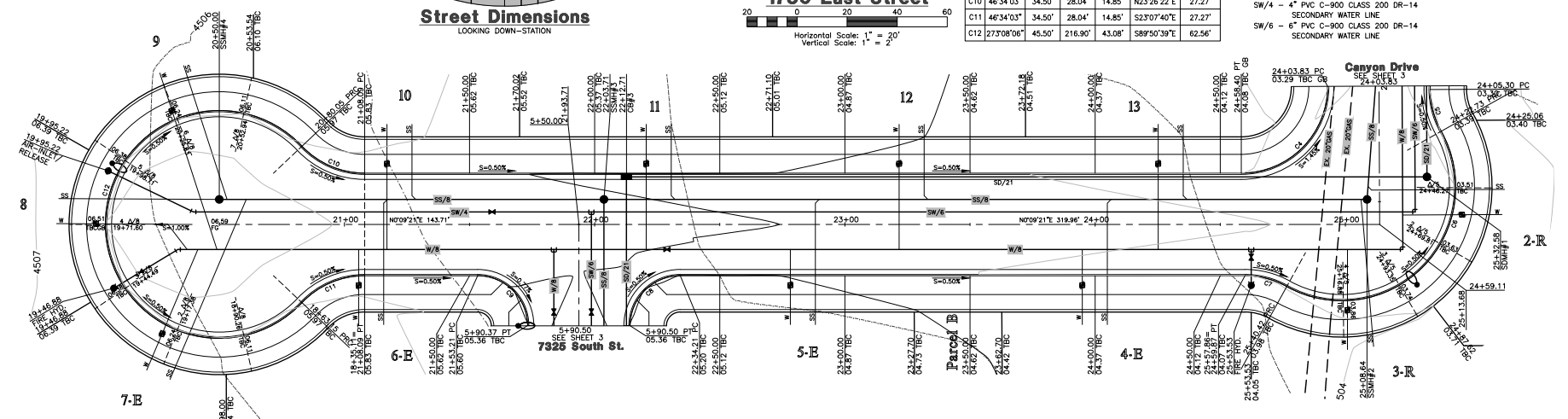
| TBC Curve Data | | | | | | |
|----------------|------------|--------|---------|---------|-------------|-----------|
| # | Delta | Radius | Length | Tangent | Chord | Ch Length |
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| C8 | 90°21'36" | 20.00' | 31.54' | 20.13' | S45°01'27"E | 28.37' |
| C9 | 89°38'24" | 20.00' | 31.29' | 19.87' | S44°58'33"W | 28.20' |
| C10 | 46°34'03" | 34.50' | 28.04' | 14.85' | N23°26'22"E | 27.27' |
| C11 | 46°34'03" | 34.50' | 28.04' | 14.85' | S23°07'40"E | 27.27' |
| C12 | 273°08'06" | 45.50' | 216.90' | 43.08' | S89°50'39"E | 62.56' |

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- CULINARY WATER
W/8 - 8" DUCTILE IRON CLASS-51 WATER
- SANITARY SEWER
SS/8 - 8" PVC SDR-35 SEWER LINE
- STORM DRAIN
SD/15 - 15" RCP STORM DRAIN
SD/21 - 21" RCP STORM DRAIN
- SECONDARY WATER
SW/4 - 4" PVC C-900 CLASS 200 DR-14 SECONDARY WATER LINE
SW/6 - 6" PVC C-900 CLASS 200 DR-14 SECONDARY WATER LINE



NOT TO SCALE



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| REVISIONS | DESCRIPTION |
|-----------|----------------------|
| DATE | |
| 9-19-13 | Rd. Storm Drain Rev. |
| 11-29-13 | Rd. City Comments |
| 12-5-13 | Rd. City Comments |

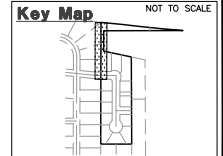
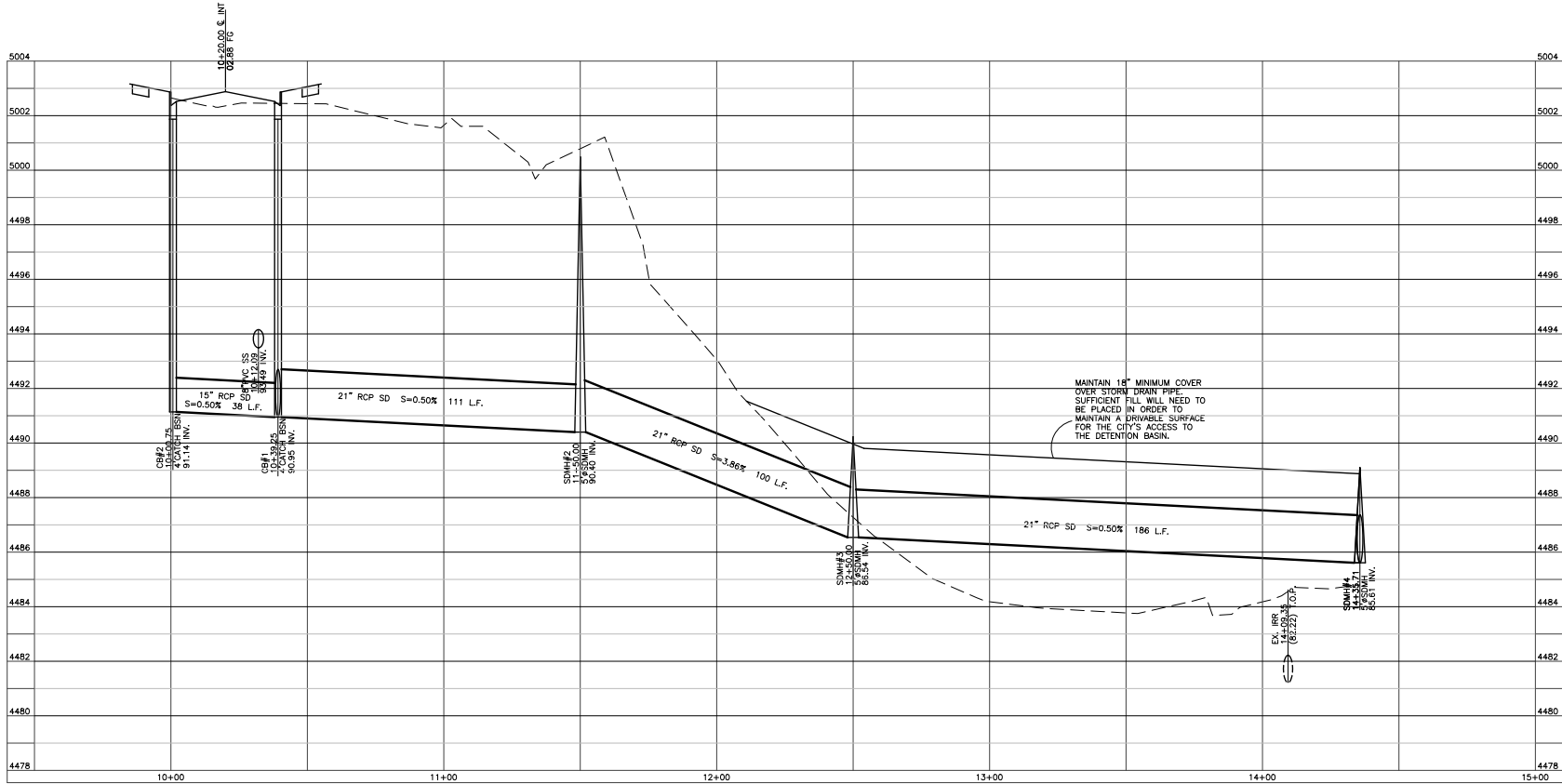
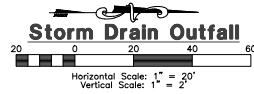
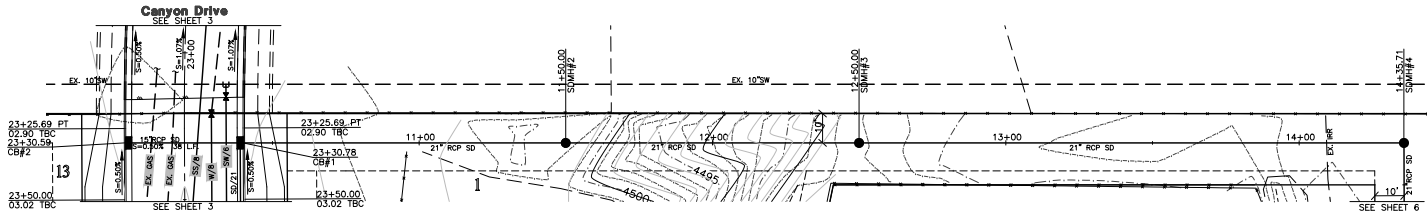
Canyon Vistas Subdivision
SOUTH WEBER CITY, DAVIS COUNTY, UTAH
1750 East Street
19+75.00 - 25+75.00



Project Info.
Engineer: J. NATE REEVE, P.E.
Drafter: R. HANSEN
Begin Date: SEPTEMBER 3, 2013
Name: CANYON VISTAS SUBDIVISION
Number: 3784-49

Sheet **4** of **10** Sheets

Revised 12-5-13



- Construction Notes:**
- ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY.
- CULINARY WATER**
W/8 - 8" DUCTILE IRON CLASS-51 WATER
- SANITARY SEWER**
SS/8 - 8" PVC SDR-35 SEWER LINE
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SD/15 - 15" RCP STORM DRAIN
SD/21 - 21" RCP STORM DRAIN
- SECONDARY WATER**
SW/4 - 4" PVC C-900 CLASS 200 DR-14 SECONDARY WATER LINE
SW/6 - 6" PVC C-900 CLASS 200 DR-14 SECONDARY WATER LINE



| REVISIONS | DATE | DESCRIPTION |
|-----------|----------|-----------------------|
| 1 | 9-19-13 | RH - Storm Drain Rev. |
| 2 | 11-25-13 | RH - City Comments |
| 3 | 12-5-13 | RH - City Comments |

Canyon Vistas Subdivision
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH
Storm Drain Outfall
 10+00.00 - 14+30.70



Project Info.
 Engineer: J. MATE REEVE, P.E.
 Drafter: R. HANSEN
 Begin Date: SEPTEMBER 3, 2013
 Name: CANYON VISTAS SUBDIVISION
 Number: 3784-49

Blue Stakes Location Center
Call: Toll Free 1-800-662-4111
 Two Working Days Before You Dig

Sheet **10**
 5 Sheets

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Construction Notes

1) ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY.

CULINARY WATER

W/8 - 8" DUCTILE IRON CLASS-51 WATER

SANITARY SEWER

SS/8 - 8" PVC SDR-35 SEWER LINE

STORM DRAIN

SD/15 - 15" RCP STORM DRAIN

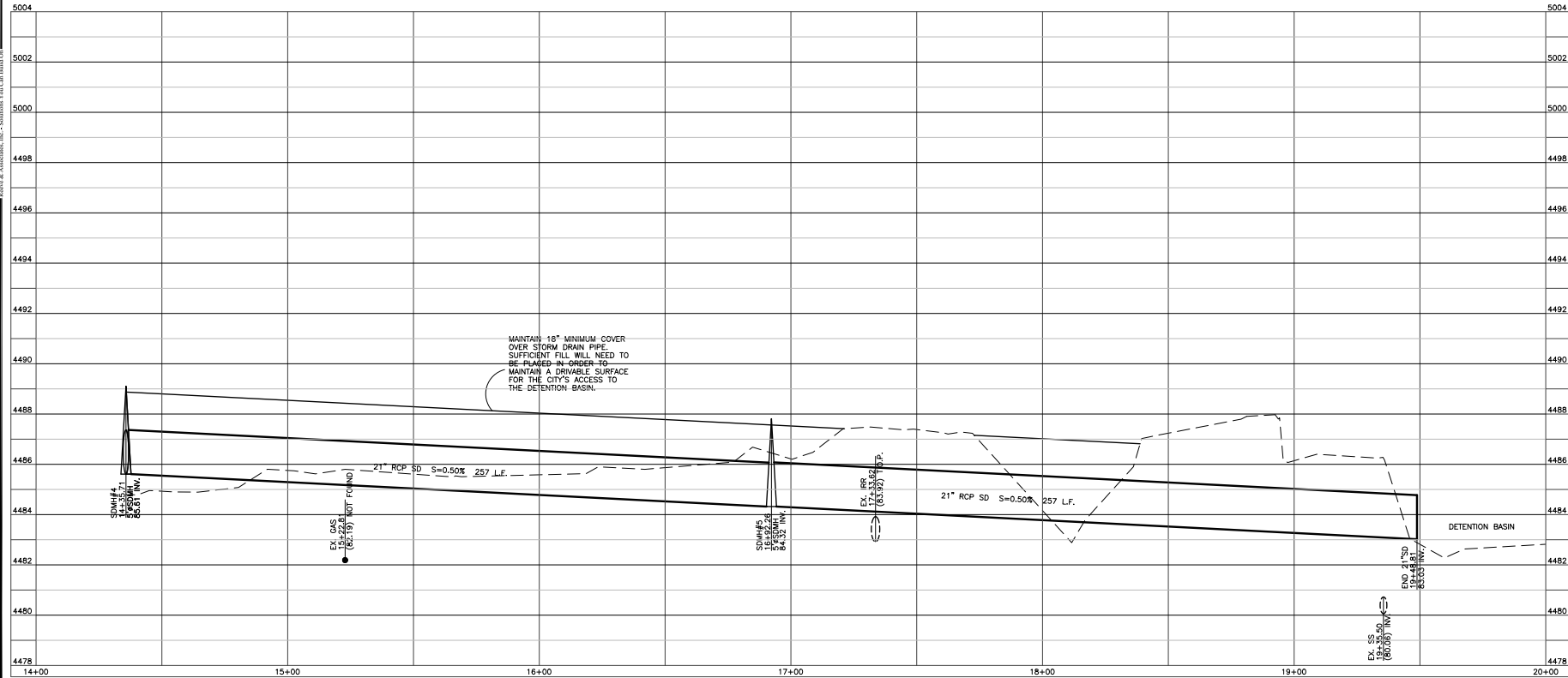
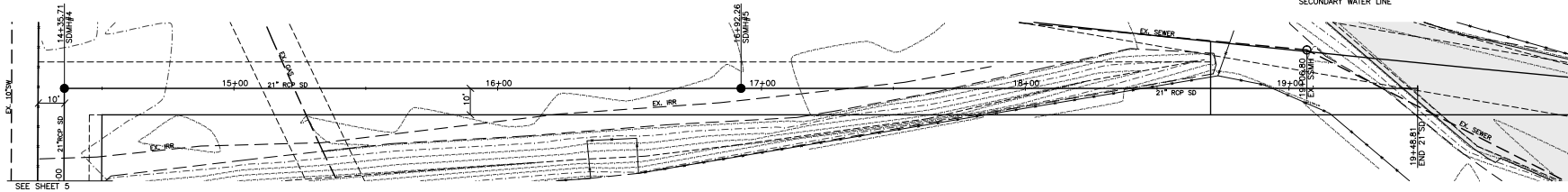
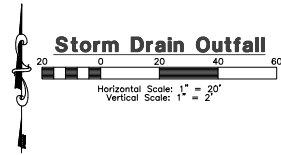
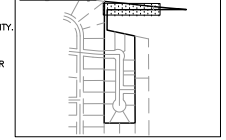
SD/21 - 21" RCP STORM DRAIN

SECONDARY WATER

SW/4 - 4" PVC C-900 CLASS 200 DR-14 SECONDARY WATER LINE

SW/6 - 6" PVC C-900 CLASS 200 DR-14 SECONDARY WATER LINE

Key Map NOT TO SCALE



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 LICENSE: PROFESSIONAL ENGINEER - CIVIL, UTAH #12345

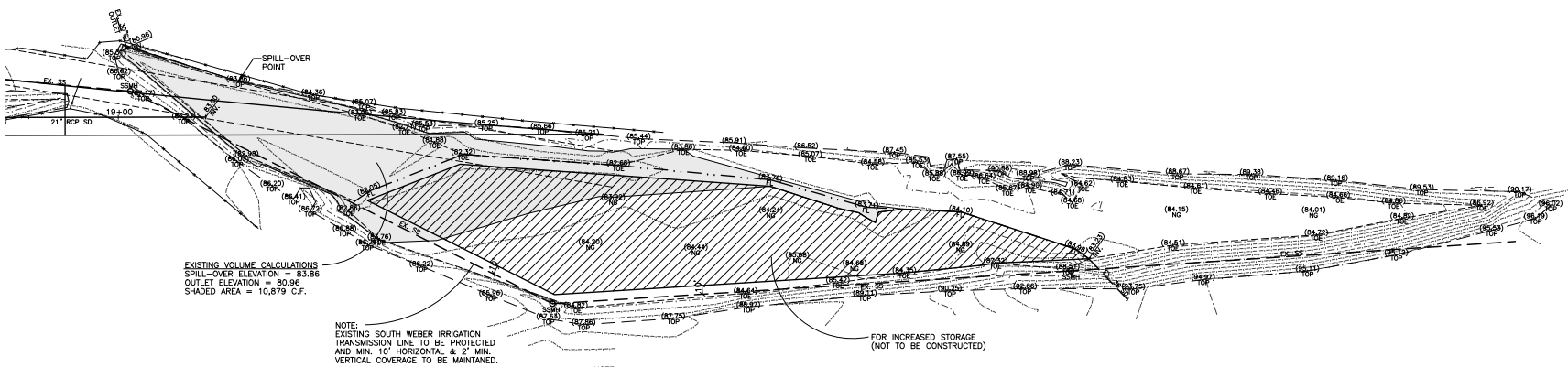
| REVISIONS | DATE | DESCRIPTION |
|-----------|----------|-----------------------|
| 1 | 9-19-13 | R.H. Storm Drain Rev. |
| 2 | 10-23-13 | R.H. City Comments |
| 3 | 12-5-13 | R.H. City Comments |

Canyon Vistas Subdivision
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH
Storm Drain Outfall
14+30.70 - 20+00.00



Project Info.
 Engineer: J. NATE REEVE, P.E.
 Drafter: R. HANSEN
 Begin Date: SEPTEMBER 3, 2013
 Name: CANYON VISTAS SUBDIVISION
 Number: 3784-49

Sheet **10**
6 Sheets

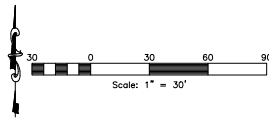


EXISTING VOLUME CALCULATIONS
 SPILL-OVER ELEVATION = 83.86
 OUTLET ELEVATION = 80.96
 SHADED AREA = 10,879 C.F.

NOTE:
 EXISTING SOUTH WEBER IRRIGATION
 TRANSMISSION LINE TO BE PROTECTED
 AND MIN. 10' HORIZONTAL & 2' MIN.
 VERTICAL COVERAGE TO BE MAINTAINED.

FOR INCREASED STORAGE
 (NOT TO BE CONSTRUCTED)

NOTE:
 IN LIEU OF EXPANSION OF IMPROVEMENTS,
 DEVELOPER TO PAY CITY THE COST OF
 DETENTION BASIN IMPROVEMENTS.



Storm Runoff Calculations
 South Weber, UT

10/15/2013 ver

The following runoff calculations are based on the Rainfall - Intensity - Duration Frequency Curve for the South Weber, UT area taken from data compiled by the South Weber Public Works Standards, Section 15, for the 100-year storm.

Runoff storm water has been calculated for two different sets of conditions, one using the existing undeveloped land and the other with land fully improved. The difference between the two quantities will be detained in a holding pond. All water that runs off and over the property at present will be diverted into the holding pond and released at a reduced rate into the existing drainage system.

The calculations are as follows:

1. Runoff from the undeveloped existing land.
 Runoff Coefficient C = 0.2
 Acreage A = 5.25 ACRES
 $Q_{(out)} = 0.1'A = 0.53$ CFS

2. Runoff from developed land
 Runoff Coefficients
 Paved Area 48025 C = 0.9
 Landscaped Area 150935 C = 0.2
 Roof 29736 C = 0.9
 Weighted Runoff Coefficient C = 0.44

Rainfall Intensity I = varies with time
 Runoff Quantity Q = CIA

3. Detention Basin
 Volume In Q * t
 Volume out 0.53 * t

The capacity of the detention basin is calculated as the maximum difference between the volume flowing in and the volume flowing out.

The outflow from the detention basin is limited to outflow if undeveloped.
 Use 0.53 cfs for Q outflow

The required volume of the detento 13,821 cubic feet

Revised 12-5-13

Canyon Vistas Subdivision

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Detention Basin Expansion



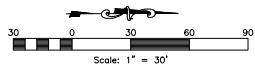
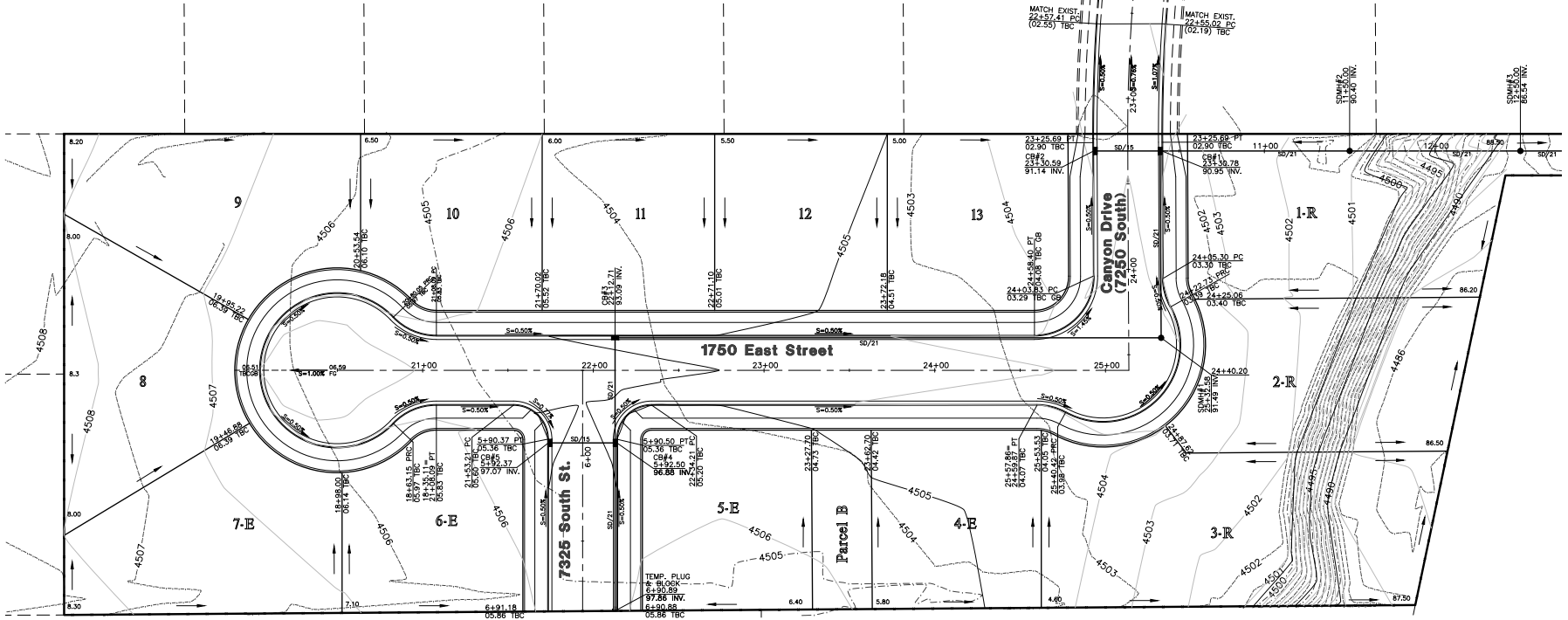
Project Info.
 Engineer: J. MATE REEVE, P.E.
 Drafter: R. HANSEN
 Begin Date: SEPTEMBER 3, 2013
 Name: CANYON VISTAS SUBDIVISION
 Number: 3784-49

Sheet 7 of 10 Sheets



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 ENGINE, ARCHITECTS, SURVEILLING, PLANNERS, LANDSCAPE ARCHITECTS

| REVISIONS | DATE | DESCRIPTION |
|-----------|------|------------------|
| 9-19-13 | RH | Storm Drain Rev. |
| 11-23-13 | RH | City Comments |
| 12-5-13 | RH | City Comments |



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Revised 12-5-13



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| REVISIONS | DATE | DESCRIPTION |
|-----------|------|------------------|
| 9-19-13 | RH | Storm Drain Rev. |
| 11-29-13 | RH | City Comments |
| 12-5-13 | RH | City Comments |

Canyon Vistas Subdivision
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH
Grading Plan

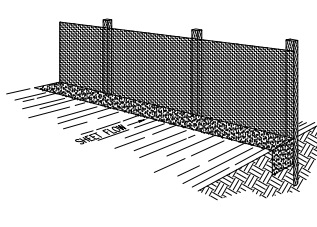


Project Info.
 Engineer: J. MATE REEVE, P.E.
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 Begin Date: SEPTEMBER 3, 2013
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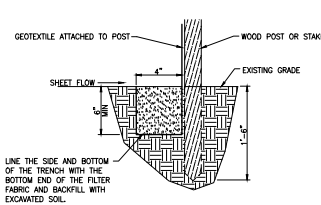
Sheet **8** of **10** Sheets

Notes:

- Describe all BMP's to protect storm water inlets:
All storm water inlets to be protected by straw wattle barriers, or gravel bases (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
 - Equipment / building / concrete wash areas:
To be performed in designated areas only and surrounded with silt fence.
 - Soil contaminated by soil amendments:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Areas of contaminated soil:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Fueling areas:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle maintenance areas:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle parking areas:
To be performed in designated areas only and surrounded with silt fence.
 - Equipment storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Materials storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Waste containment areas:
To be performed in designated areas only and surrounded with silt fence.
 - Service areas:
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
 - Maintenance
 - Maintain all construction equipment to prevent oil or other fluid leaks.
 - Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
 - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - Check incoming vehicles and equipment (including delivery trucks, and employees and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
 - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
 - Fueling
 - If fueling must occur on-site, use designated areas away from drainage.
 - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
 - Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
 - Use drip pans for any oil or fluid changes.
 - Washing
 - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
 - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
 - Use phosphate-free, biodegradable soaps.
 - Do not permit steam cleaning on-site.
- Spill Prevention and Control
 - Minor Spills:
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
 - Contain the spread of the spill.
 - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
 - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up properly dispose of contaminated soil.
 - If the spill occurs during rain, cover the impacted area to avoid runoff.
 - Record all steps taken to report and contain spill.
 - Major Spills:
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
 - Maintain good housekeeping practices.
 - Enclose or cover building material storage areas.
 - Properly store materials such as paints and solvents.
 - Store dry and wet materials under cover, away from drainage areas.
 - Avoid mixing excess amounts of fresh concrete or cement on-site.
 - Perform washout of concrete trucks offsite or in designated areas only.
 - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
 - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
 - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
 - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
 - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
 - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is imminent.
 - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
 - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
 - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
 - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
 - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the Engineer of record of the governing agency.
 - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the Engineer of record.
 - Desludging basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
 - Erosion control devices will be modified as need as the project progresses, and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
 - Part III.D.4 of general permit UTR-30000 identifies the minimum inspection requirements.
 - Part III.D.4.C identifies the minimum inspection report requirements.
 - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 30000.



Perspective View



Section

INSTALLATION
The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

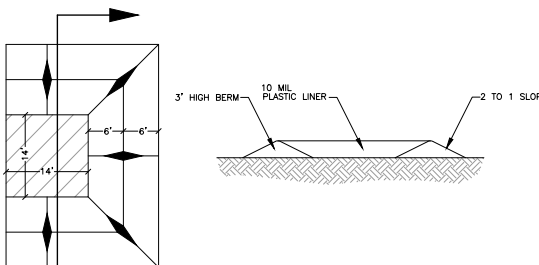
| TABLE 1: Recommended Maximum Slope Lengths for Silt Fence (Richardson & Middlebrooks, 1991) | | |
|--|------------------------|-----------------------|
| Slope Steepness (%) | Max. Slope Length (ft) | Max. Slope Length (m) |
| <2% | 30.5m (100ft) | |
| 2-5% | 22.9m (75ft) | |
| 5-10% | 15.2m (50ft) | |
| 10-20% | 7.6m (25ft) | |
| >20% | 4.5m (15ft) | |

PREFABRICATED SILT FENCE ROLLS
*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
*Unroll the silt fence, positioning the post against the downstream wall of the trench.
*Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
*Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
*Bury the loose geotextile at the bottom of the trench in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage.
Figure 2 illustrates a typical silt fence installation and anchor trench placement.

FIELD ASSEMBLY:
*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
*Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing

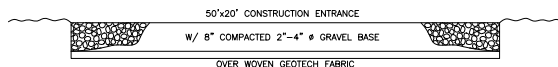
Silt Fence Detail

SCALE: NONE

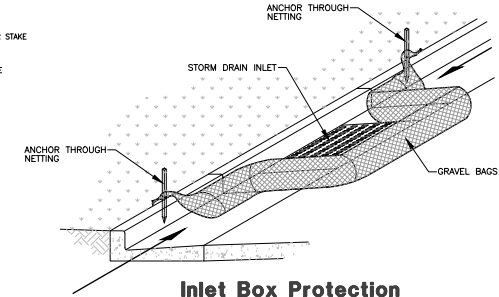


Concrete Washout Area w/ 10 mil Plastic Liner

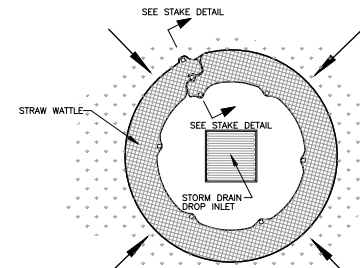
SCALE: NONE



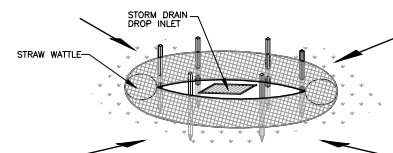
Cross Section 50' x 20' Construction Entrance



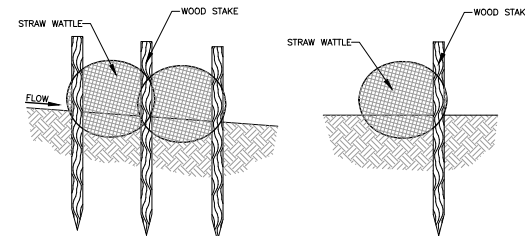
Inlet Box Protection



Plan View



Drop Inlet Protection



Stake Detail

Reeve & Associates, Inc.
100 CHAMBERS STREET, SUITE #14, OGDEN, UTAH 84403
TEL: (801) 471-3300 FAX: (801) 471-3000 WWW.REEVE-ASSOCIATES.COM
OFFICE: OGDEN • SALT LAKE CITY • WEST VALLEY • WASHINGTON DC

REVISIONS

| DATE | DESCRIPTION |
|-------------|------------------|
| 9-19-13 RH | Storm Drain Rev. |
| 10-23-13 RH | City Comments |
| 11-25-13 RH | City Comments |
| 12-5-13 RH | City Comments |

Canyon Vistas Subdivision
SOUTH WEBER CITY, DAVIS COUNTY, UTAH
Storm Water Pollution Prevention Plan Exhibit

REGISTERED PROFESSIONAL ENGINEER
37288
J. MATE REEVE
STATE OF UTAH

Project Info.
Engineer: J. MATE REEVE, P.E.
Drafter: R. HANSEN
Begin Date: SEPTEMBER 3, 2013
Name: CANYON VISTAS SUBDIVISION
Number: 3784-49

Sheet **10** of 10 Sheets

SOUTH WEBER CITY COUNCIL
Staff Backup Report

Item No: **Resolution 13-25 Canyon Vistas Cost Share Agreement**

Date of Meeting: **December 10, 2013**

A Cost Share Agreement between the developer and the City needs to be entered into after the approval of this subdivision plat.

The developer is proposing to pay the City the value of what it would cost to expand the existing regional detention basin in lieu of actually constructing the improvements. We recommend accepting this proposal and including it in the Development Agreement for the following reasons:

- a. This detention basin is a regional basin with a significant amount of undeveloped ground upstream from the basin. It will have to be expanded in order to meet future detention requirements. Without knowing what the final design is, any efforts to improve the detention basin may be wasted. Therefore, we feel it would be better to put the money aside that would have been spent on constructing the basin expansion and save it for when the City expands the basin.

- b. Although the basin will not have full capacity, it should be able to handle most storms. For those storms that do spill, the flooding would cause little to no damage based on the topography of the downstream land.

A Development Agreement has been drafted to address the City paying the developer for upsizing the storm drain piping and the developer paying the City in lieu of detention. This agreement needs to be finalized, signed and recorded following approval.

RESOLUTION 13-25

COST SHARE AGREEMENT CANYON VISTAS SUBDIVISION

WHEREAS, the Developers represent that they own certain real property and wish to develop the Property as Canyon Vistas Subdivision; and

WHEREAS, the developer is proposing to pay the City the value of what it would cost to expand the existing regional detention basin in lieu of actually constructing the improvements. This detention basin is a regional basin with a significant amount of undeveloped ground upstream from the basin. It will have to be expanded in order to meet future detention requirements.

WHEREAS, the City Council has reviewed the Cost Share Agreement.

NOW THEREFORE, be it resolved that the City Council of South Weber resolves to enter into the attached Cost Share Agreement with said developers.

ADOPTED by the City Council of South Weber this **10th day of December, 2013.**

APPROVED

Jeffery G. Monroe, Mayor

Attest:

Erika J. Ahlstrom, City Recorder

STORM WATER COST SHARE AGREEMENT

THIS COST SHARE AGREEMENT ("Agreement") is made and entered to be effective the _____ day of _____ 2013, by and between SOUTH WEBER CITY, a Utah Municipal Corp. ("City"); and MIKE SCHULTZ and MIKE BASTIAN ("Developers"); All parties shall hereinafter be referred to collectively as the "Parties" and sometimes individually as a "Party" or by said party's given name or individual designation as the case may be.

RECITALS:

- A. Developers represents that they own certain real property or is the authorized agent for certain real property located within the City. (The "Property")
- B. The Developers wish to develop or otherwise improve the Property pursuant to the City's subdivision, zoning and land use planning ordinances and requirements.
- C. The Developers are required by ordinance to construct utility pipelines of sufficient size to adequately serve the lots within the proposed development.
- D. The City also has need for larger storm water utility pipelines through the Property for future development than would be required by ordinance for the Developers to install.
- E. The City also finds that to require enhancement and/or enlargement of the existing detention basin downstream from Canyon Vistas does not currently benefit the City's storm water master plan and current management of storm water, but the City will be benefited in future use of the Canyon Vistas storm water basin as a regional collection basin with such construction effort and enhancement occurring in the future as result of upstream land development and approvals.
- F. Therefore, the City has determined that given the pipelines that would be required of the Development, it is not as cost effective to install, maintain and regulate several separate pipelines and detention basins to meet the demand of future development and that upsizing the pipelines is more feasible, cost effective and efficient.

NOW THEREFORE, the Parties hereto intending to be legally bound and in consideration of their respective undertakings made and described herein, and for other good and valuable consideration, do agree as follows:

1. **Recitals.** The above recitals are incorporated herein by reference and made a part hereof.

2. **Project Location and Description.** The City desires to participate in,
- a. The upsizing of storm drain lines through the proposed subdivision, including the outfall line that runs to the existing regional detention basin.
- The cost share analysis giving rise to the specifications of the Parties' contributions relative to the participation in upsizing the storm drain lines and accepting payment in lieu of construction for the detention basin improvements are attached hereto as Exhibit "A."

3. **Consideration.** The Parties agree to participate as shown in Exhibit "A" as follows:

| | |
|--|-------------|
| 1. South Weber City – Pipeline Upsizing | \$7,955.00 |
| 2. Developers - Payment in lieu of detention | \$14,140.00 |
| Net Payment (to South Weber City) | \$6,185.00 |

The Developer shall deposit with the City prior to the issuance of the first building permit application within the Canyon Vistas Subdivision the net payment amount of \$6,185.00 dollars. The payment of monies by the developer to the City will be used in future development of the regional storm drain detention basin required for the Developers project herein named 1) Canyon Vistas Subdivision, 2) for upstream property development, and 3) the future benefit of the City. The Developers will be responsible to hire any and all contractors and subcontractors and shall pay for the required project upsizing subject to the City's contributions and reimbursement obligations set forth herein. [BKJ1]The total or final construction cost shall include the entire gross amount of the contract, which shall include material and labor costs. The City's portion shall not exceed the amount reflected above in total pipeline upsizing costs less payment in lieu by the Developer for detention basin enlargement and enhancement construction costs.

4. **The Role of the Parties.** The Developers shall act as the Owner on the Project and the sole payer on the contract for the construction of the Project, subject to the Parties' payment obligations set forth herein. This Agreement does not create, nor is intended to create, a partnership, joint venture or any other business entity or relationship between the Parties, except for the express contractual and independent obligation of

payment set forth herein. The Parties to this Agreement do not have the authority to bind or otherwise obligate any other Party to this Agreement individually or collectively to a third party or person in any capacity whatsoever.

5. **Escrow.** The Developers shall escrow funds for the Project prior to recordation of the Canyon Vistas Subdivision.
6. **Hold Harmless.** The Developers on behalf of their respective heirs, agents, successors and assigns, all affiliated persons and entities, dba's, attorneys, owners, officers, agents, directors, employees and family members, both past and present, shall hold the City harmless, and shall defend and indemnify the City and its related and affiliated persons or entities, officers, agents, directors, employees, council members, successors and assigns, and attorneys from any and all complaints, claims, demands, damages, actions, judgments, causes of action or suits of whatever kind or nature, both known and unknown, and which have existed, which now exist or which may hereafter accrue between the Parties and third parties because of or arising out of the Parties' obligations hereunder generally, and with respect to the hiring of the contractor and the construction of the Project specifically, so long as said claims, demands, damages, suits, etc. do not flow from the City's intentional or gross misconduct. Notwithstanding anything to the contrary in this Agreement generally, and this Section 5 specifically, the City's governmental immunity against any such claims, if any, pursuant to law, is not waived and shall remain in full force and effect. The Developers shall obtain and maintain liability insurance in the amount of \$1,000,000.00 during the entirety of the Project and shall provide the City a copy of the certificate of said insurance. Furthermore, the Developers warrant and guarantee that its employees and all sub-contractors employees are sufficiently covered by workers compensation insurance.
7. **Amendment.** Any amendment, modification, termination, or rescission affecting this Agreement shall be made in writing, signed by the Parties, and attached hereto.

8. **Severability.** Should any portion of this Agreement for any reason be declared invalid or unenforceable, such declaration shall not affect the validity of any of the remaining portions and the same shall be deemed in full force and effect as long as the effect, consideration and material intent of this Agreement as to each Party are achieved.
9. **Governing Law.** This Agreement and the performance hereunder shall be governed by the laws of the State of Utah, and any dispute arising pursuant to this Agreement shall be subject to the jurisdiction of the Second Judicial District, Farmington Department, State of Utah.
10. **Waiver.** No waiver of any of the provisions of this Agreement shall operate as a waiver of any other provision, regardless of any similarity that may exist between such provisions. No waiver shall be binding unless executed in writing by the waiving Party.
11. **Captions.** The Captions preceding the paragraphs of this Settlement Agreement are for convenience only and shall not affect the interpretation of any provision herein.
12. **Integration.** This is a fully integrated agreement. As to all matters between the Parties, this Agreement contains the entire and integrated agreement of the Parties as of its date.
13. **Default.** Time is of the essence in strictly meeting the deadlines set forth within this Agreement, and failure to do so shall constitute a material breach hereof. Regardless of the type of default of this Settlement Agreement, which would include the filing of Bankruptcy, by any Party or Parties under the terms of this Settlement Agreement, the non-defaulting Party or Parties shall, in addition to any other legal remedy or remedies, be entitled to collect from the defaulting Party or Parties all costs and attorney's fees reasonably incurred in enforcing this Agreement, regardless of whether suit is instituted or whether such fees or costs are incurred in connection with any bankruptcy matter or proceeding.

14. **Knowledge.** The Parties have sought legal representation in this matter and for purposes of entering into this Agreement and have read this Agreement and understand all of its terms.
15. **Covenant to Run with the Land.** This Agreement shall be recorded against the Property so that it shall touch and concern any and all such Property or portions thereof and obligate any subsequent owners, successors, heirs and grantees of the Property, or any portion thereof, including owners of finished or approved building lots, to its terms, rights and obligations. Upon full, timely and complete payment of a Party's payment obligation, and upon the request of each Party, the Agreement shall be released from said Party's property by way of a Release of Agreement, or some such equivalent document, releasing the Agreement from title to said Party's property.
16. **No Representations or Warranties.** Except for the duties, obligations and express warranties of the Parties set forth herein, including each Party's representation and warranty that each Party has authority to sign for and bind themselves and the persons or entities for whom they sign or for whom they imply to sign, the Parties make no representations or warranties of any kind or nature whatsoever.
17. **No Warranty of Subdivision Approval.** Nothing in this Agreement expressly or impliedly guarantees or otherwise warrants the approval, final or otherwise, of the City or any of its subdivisions of any subdivision or other land use application with respect to the Property or any portion thereof, inasmuch as said approval(s) is a legislative determination to be carried out independently by and through the different and varying bodies and commissions of the City, including, but not limited to, the City Council.
18. **The Parties.**
South Weber City, 1600 East, South Weber Drive, South Weber, Utah 84405; Mike Schultz and Mike Bastian, 1798 West 5150 South #103, Roy, Utah 84067

19. Warranty and Escrow.

- a. Developers warrant to City that all materials and equipment furnished under this Contract will be new unless otherwise specified, and that all said materials and equipment will be of good quality, free from faults and defects and in conformance with all industry standards, plans, specifications and laws. All such material and equipment not conforming to these requirements, including substitutions not properly approved and authorized, shall be considered defective. If required by City, the Developers shall furnish satisfactory evidence as to the kind and quality of materials and equipment.
- b. Without limiting any special warranties contained herein, Developers guarantee that the Project and all portions thereof will be free from all defects in material and workmanship for a period of one (1) year following completion of the Project. As part of the guarantee, Developers agree to commence repair or replacement of any defective material or equipment and performance of any labor necessary to correct any such defect in the Project within fifteen (15) business days after receipt of notice thereof and thereafter to diligently prosecute all corrective work to completion, all at Developers' sole cost and expense.
- c. City shall retain the equivalent of 10% of the Developers' share of the cost of the Project in an escrow to be kept and maintained for one year commencing upon the date of final completion of the Project in order to insure compliance with the one year warranty set forth herein and the condition of the Project after the one year period. The money held in escrow shall be returned to Developers upon request for final inspection and after final acceptance by the City Council after one year from substantial completion of the Project. Notwithstanding anything to the contrary, the money held in escrow may not be used by Developers during the one year period in order to perform warranty work as required under the warranty provisions set forth herein

20. Indemnification.

Except as otherwise specifically provided elsewhere in this Agreement and any exhibits hereto each party shall protect defend indemnify and hold harmless the other party and their officers agents and employees or any of them from and against any and all claims actions suits liability loss costs expenses and damages of any nature whatsoever which are caused by or result from any negligent act or omission of the party s own officers agents and employees in performing services pursuant to this Agreement In the event that any suit based upon such a claim action loss or damage is brought against a party the party whose negligent action or omissions gave rise to the claim shall defend the other party at the indemnifying party s sole cost and expense and if final judgment be rendered against the other party and its officers agents and employees or jointly the parties and their respective officers agents and employees the parties whose actions or omissions gave rise to the claim shall satisfy the same provided that in the event of concurrent negligence each party shall indemnify and hold the other parties harmless only to the extent of that party s negligence The indemnification to the City hereunder shall be for the benefit of the City as an entity and not for members of the general public.

EXECUTED as of the day and year first above written.

SOUTH WEBER CITY:

Jeffery G. Monroe, Mayor

Attest: _____
Erika J. Ahlstrom, City Recorder

(City Seal affix here)
CANYON VISTAS DEVELOPERS:

Mike Schultz

In the State of Utah, County of _____, on the _____ day of _____, 20____, Mike Schultz personally appeared before me, and affixed his signature hereto.

Notary Public

Mike Bastian

In the State of Utah, County of _____, on the _____ day of _____, 20____, Mike Schultz personally appeared before me, and affixed his signature hereto.

Notary Public

Exhibit "A"

~ COST SHARE ANALYSIS ~

CANYON VISTAS SUBDIVISION

I. Storm Drain Piping Required - Canyon Vistas Subdivision Only (6.5 cfs)

| STA. Start | STA. End | Description | Qua. | Unit | Unit Price | Total |
|-------------------|----------|-----------------------------|------|------|------------|--------------------|
| 19+49 | 16+92 | Furnish and install 18" RCP | 257 | l.f. | \$23.00 | \$5,911.00 |
| 16+92 | 14+36 | Furnish and install 18" RCP | 256 | l.f. | \$23.00 | \$5,888.00 |
| 14+36 | 12+50 | Furnish and install 18" RCP | 186 | l.f. | \$23.00 | \$4,278.00 |
| 12+50 | 11+50 | Furnish and install 15" RCP | 100 | l.f. | \$21.00 | \$2,100.00 |
| 11+50 | 10+39 | Furnish and install 18" RCP | 111 | l.f. | \$23.00 | \$2,553.00 |
| 23+31 | 24+40 | Furnish and install 18" RCP | 109 | l.f. | \$23.00 | \$2,507.00 |
| 25+32 | 23+11 | Furnish and install 15" RCP | 221 | l.f. | \$21.00 | \$4,641.00 |
| 5+31 | 5+93 | Furnish and install 15" RCP | 62 | l.f. | \$21.00 | \$1,302.00 |
| 5+93 | 6+90 | Furnish and install 15" RCP | 97 | l.f. | \$21.00 | \$2,037.00 |
| Subtotal = | | | | | | \$31,217.00 |

II. Storm Drain Piping Required - Canyon Vistas Subdivision AND Future Development (10 cfs)

| STA. Start | STA. End | Description | Qua. | Unit | Unit Price | Total |
|---|----------|-----------------------------|------|------|------------|--------------------|
| 19+49 | 16+92 | Furnish and install 21" RCP | 257 | l.f. | \$28.00 | \$7,196.00 |
| 16+92 | 14+36 | Furnish and install 21" RCP | 256 | l.f. | \$28.00 | \$7,168.00 |
| 14+36 | 12+50 | Furnish and install 21" RCP | 186 | l.f. | \$28.00 | \$5,208.00 |
| 12+50 | 11+50 | Furnish and install 21" RCP | 100 | l.f. | \$28.00 | \$2,800.00 |
| 11+50 | 10+39 | Furnish and install 21" RCP | 111 | l.f. | \$28.00 | \$3,108.00 |
| 23+31 | 24+40 | Furnish and install 21" RCP | 109 | l.f. | \$28.00 | \$3,052.00 |
| 25+32 | 23+11 | Furnish and install 21" RCP | 221 | l.f. | \$28.00 | \$6,188.00 |
| 5+31 | 5+93 | Furnish and install 21" RCP | 62 | l.f. | \$28.00 | \$1,736.00 |
| 5+93 | 6+90 | Furnish and install 21" RCP | 97 | l.f. | \$28.00 | \$2,716.00 |
| Subtotal = | | | | | | \$39,172.00 |
| Upsizing Cost (South Weber City) = | | | | | | \$7,955.00 |

III. Storm Drain Detention Basin - Value of construction in lieu of Actual construction

| Item | Description | Qua. | Unit | Unit Price | Total |
|--|------------------------|--------|------|------------|--------------------|
| 1 | Clear and Grub | 12,000 | s.f. | \$0.25 | \$3,000.00 |
| 2 | Excavation and Grading | 535 | c.y. | \$4.00 | \$2,140.00 |
| 3 | Top soil (4" thick) | 12,000 | s.f. | \$0.35 | \$4,200.00 |
| 4 | Sod | 12,000 | s.f. | \$0.40 | \$4,800.00 |
| Value of Detention Basin Improvements = | | | | | \$14,140.00 |
| TOTAL NET COST (PAID TO SOUTH WEBER CITY) = | | | | | \$6,185.00 |

SOUTH WEBER CITY COUNCIL
Staff Backup Report

Item No: **Ordinance 13-18 Change of Zoning Map**

Date of Meeting: **10 December 2013** (Public Hearing)

Background

Developers Gardner Crane & Jared Bryson have made application for a rezone and preliminary subdivision approval for the proposed Bryson Meadows subdivision. The property is currently zoned Agricultural (A) and is utilized as such.

Rezone

The application is to rezone parcels #13-023-0022, 13-023-0109, 13-006-0031, 13-006-0025, & 13-006-0002 (total of 38 acres) from Agricultural (A) to 30 acres Residential Moderate (RM) and 8 acres to Residential High (RH). Legal descriptions for each request have been provided.

Residential Moderate (RM)

The City's General Plan Projected Land Use Map identifies this area to be rezoned to Residential Low (RL). The RL zone allows for 1.45 building lots per acre. With 30 acres (not including acreage needed for street right of way), this gives them approximately +/- 43 building lots. The application is for Residential Moderate (RM) which allows 2.8 building lots per acre. At 30 acres (not including acreage needed for street right of way), this gives them +/- 84 building lots. The proposed development has 66 building lots.

Residential High (RH)

The City's General Plan Projected Land Use Map identifies high density zoning through the use of the "floating asterisk". This request does fit in with the area and follows the City's current General Plan. It also provides a good buffer between the freeway on/off ramp and single family housing.

Conclusion

The Planning Commission recommended approval of the rezoning of this property at a public hearing held on November 14, 2013.

Attachments:

- Ordinance 13-18
- Rezone Application
- Current Zoning Map
- General Plan Projected Land Use Map
- Planning Commission Meeting Minutes Nov 14, 2013

ORDINANCE 13-18

AMENDMENT TO CITY'S ZONING MAP – CHANGE OF ZONING Parcels #13-023-0022, 13-023-0109, 13-006-0031, 13-006-0025, & 13-006-0002

30 Acres from Agricultural (A) Zone to Residential Moderate (RM) Zone and 8 Acres from Agricultural (A) Zone to Residential High (RH) Zone

WHEREAS, Uinta Land Company, agent for the property owners of said parcels, has made application for change of zoning of said parcels from current Agricultural (A) Zone to Residential Moderate (RM) and Residential High (RH); and

WHEREAS, on 14 November 2013, the Planning Commission held a public hearing to consider the application for change of zoning and recommended approval of the change of zoning; and

WHEREAS, on 10 December 2013, the City Council held a public hearing to consider the application for change of zoning; and

WHEREAS, in the opinion of the South Weber City Council, rezoning of the property described in this ordinance is consistent with the City's General Plan, and the City Council determined that it is in the best interest of the City to approve this change of zoning.

BE IT THEREFORE ORDAINED by the South Weber City Council that the Zoning Map referred to in section 10-1-5 is amended as follows:

Section I. The following portion of real property is hereby rezoned from the present
Agricultural (A) Zone to Residential Moderate (RM) Zone

Total Number of Acres: 30 +/- acres

Legal Description:

A portion of the SE1/4 of Section 20, and the NE1/44 of Section 29, Township 5 North, Range 1 West, Salt Lake Base & Meridian, located in South Weber, Utah, more particularly described as follows:

Beginning at a point located N89°28'27"W along the Section line 230.00 feet from the Southeast Corner of Section 20, T5N, R1W, S.L.B. & M.; thence South 37.11 feet; thence N87°S4'00"W 192.52 feet; thence S2°21'30"W 87.50 feet; thence S0°41'00"W 156.60 feet; thence N89°21'00"W 100.18 feet; thence North 1.14 feet; thence N89°21'00"W 64.80 feet; thence N0°30'30"E 301.00 feet; thence N88°52'00"W 142.70 feet; thence N0°21'00"W 157.00 feet; thence S57°29'00"W 26.30 feet; thence S54°03'00"W 219.17 feet; thence N84°29'00"W 477.45 feet; thence S1°48'18"W 173.06 feet; thence N89°44'30"W 104.72 feet; thence S0°15'30"W 18.00 feet; thence N84°18'00"W 101.70 feet; thence S33°37'00"W 14.30 feet; thence S0°15'30"W 159.81 feet; thence N89°44'30"W 88.72 feet; thence N0°17'00"E 211.00 feet; thence N1°07'00"E 252.00 feet; thence N0°47'00"W 125.00 feet; thence N1°04'00"E 320.00 feet; thence N0°34'40"E 793.05 feet; thence N0°29'00"E 176.25 feet to the southerly right-of-way line of Interstate 84; thence Southeasterly along the arc of a 11,349.16 foot radius nontangent curve (radius bears: S20°54'17"W) 433.54 feet through a central angle of 2°11'19" (chord: S68°00'03"E 433.51 feet) to a right-of-way marker; thence S51°03'13"E 522.26 feet, the previous 2 (two) courses along said right-of-way; thence S13°58'07"W 191.60 feet; thence Southeasterly along the arc of a 280.00 foot radius nontangent curve (radius bears: S57°28'49"W) 160.63 feet through a central angle of 32°52'12" (chord: S16°05'05"E 158.44 feet); thence S0°21'01"W 504.47 feet; thence along the arc of a 20.00 foot radius curve to the left 31.29 feet through a central angle of 89°38'40" (chord: S44°28'19"E 28.20 feet); thence S89°17'39"E 149.31 feet; thence along the arc of a 285.00 foot radius curve to the right 164.92 feet through a central angle of 33°09'15" (chord: S72°43'02"E 162.62 feet); thence S56°08'24"E 177.00 feet; thence along the arc of a 215.00 foot radius curve to the left 124.18 feet through a central angle of 33°05'36" (chord: S72°41'12"E 122.46 feet); thence S89°14'00"E 76.84 feet; thence South 78.57 feet to the point of beginning.

The following portion of real property is hereby rezoned from the present **Agricultural (A) Zone to Residential High (RH) Zone**

Total Number of Acres: 8 +/- acres

Legal Description:

A portion of the SE1/4 of Section 20, and the NE1/4 of Section 29, Township 5 North, Range 1 West, Salt Lake Base & Meridian, located in South Weber, Utah, more particularly described as follows:

Beginning at a point located N89°28'27"W along the Section line 230.00 feet and North 78.57 feet from the Southeast Corner of Section 20, T5N, R1W, S.L.B. & M.; thence N89°14'00"W 76.84 feet; thence along the arc of a 215.00 foot radius curve to the right 124.18 feet through a central angle of 33°05'36" (chord: N72°41'12"W 122.46 feet); thence N56°08'24"W 177.00 feet; thence along the arc of a 285.00 foot radius curve to the left 164.92 feet through a central angle of 33°09'15" (chord: N72°43'02"W 162.62 feet); thence N89°17'39"W 149.31 feet; thence along the arc of a 20.00 foot radius curve to the right 31.29 feet through a central angle of 89°38'40" (chord: N44°28'19"W 28.20 feet); thence N0°21'01"E 504.47 feet; thence along the arc of a 280.00 foot radius curve to the left 160.63 feet through a central angle of 32°52'12" (chord: N16°05'05"W 158.44 feet); thence N13°58'07"E 191.60 feet to the southerly right-of-way line of Interstate 84; thence S51°03'13"E along said right-of-way 622.14 feet; thence S2°00'00"W 141.00 feet; thence S0°21'00"W 100.00 feet; thence S1°44'00"W 317.00 feet; thence N85°42'00"E 39.31 feet; thence South 77.97 feet; thence East 151.69 feet; thence South 25.14 feet to the point of beginning.

Section II. New zoning maps will be prepared to reflect the change of zoning.

Section III. This ordinance shall take effect upon posting.

PASSED AND ADOPTED by the City Council of South Weber City, South Weber, Davis County, Utah, this 10th day of December, 2013.

MAYOR: Jeffery G. Monroe

ATTEST:

Erika J. Ahlstrom, City Recorder

CERTIFICATE OF POSTING

I, the duly appointed recorder for the City of South Weber, hereby certify that ***Ordinance 13-18: Amendment to City's Zoning Map – Change of Zoning*** was passed and adopted the ____ day of _____, 2013, and certify that copies of the foregoing Ordinance 13-18 were posted in the following locations within the municipality this ____ day of _____, 2013.

1. South Weber Elementary, 1285 E. Lester Drive
2. South Weber Family Activity Center, 1181 E. Lester Drive
3. South Weber City Building, 1600 E. South Weber Drive
4. South Weber City website www.southwebercity.com
5. Utah Public Notice Website www.pmn.utah.gov

Erika J. Ahlstrom, City Recorder

APPLICATION FOR CHANGE OF ZONING

South Weber City
1600 East South Weber Drive
South Weber, Utah 84405
Phone: (801) 479-3177 Fax: (801) 479-0066

OFFICE USE: Application # 2013-05 Fee \$ 480- Receipt # 13076922 Date Received 10/30/13

Owner of Property Michael & Amy Poff, Nicholas & Jenica Lee, John & Janet Boyer, Roger Wynn,
Pay Family Investments LLC

Applicant's Name Uinta Land Company (Gardner Crane / Jared Bryson)
Mailing Address 1222 Preakness Drive City, State, Zip Kaysville, UT 84037
Phone (801) 923-8824 Fax - Email jared@uintalandscape.com

Agent's Name Gardner Crane / Jared Bryson
Mailing Address (Same as above) City, State, Zip Same
Phone Same Fax - Email same

Request: 30 Acres/Sq. Feet be changed from AG zone to RM zone

8 Acres/Sq. Feet be changed from AG zone to RH zone

Property Address: 6500 S 475 E, South Weber, Utah

Parcel Number(s): 13-023-0022 13-006-0031
13-023-0109 13-006-0025 Total Acres or Sq. Feet: 37.98 acres +/-
13-006-0002

Legal Description: (If description is longer than space provided, please submit complete legal description on an addendum sheet.)

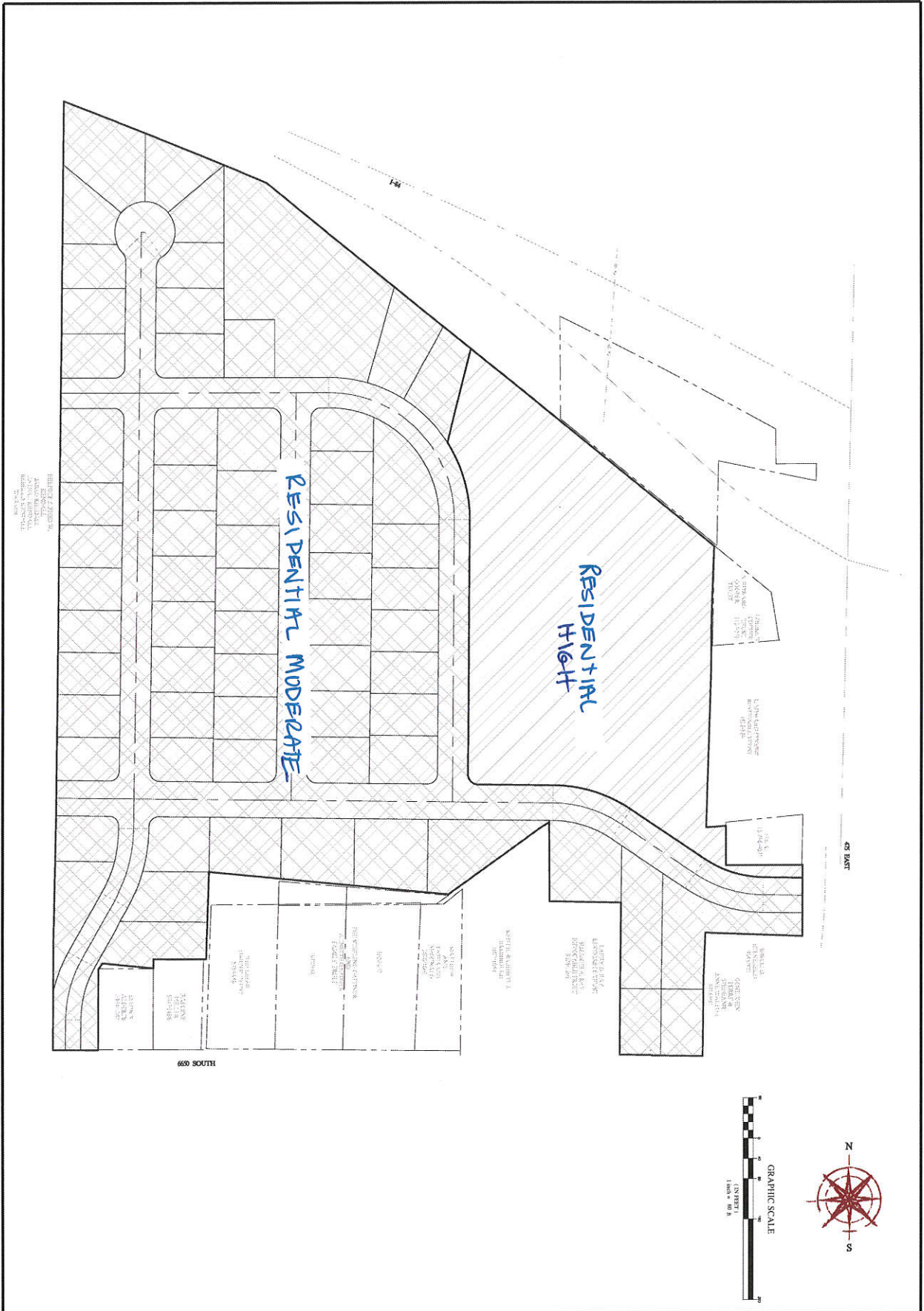
see attached.

What is the proposed use?

- Residential medium single family lots 1/4 - 1/2 acre each
- Residential high for luxury apartments

In what way does the proposal recognize the City's General Plan?

The proposed subdivision helps satisfy The general transportation plan, allows for expansion and access to The Kendall property, alleviates pressure off of 6650 South, provides more rooftops and economic base for future commercial development in The area, provides a regional city detention pond and falls in line to The Heather Cove subdivision to The West.



| REVISION BLOCK | |
|----------------|------|
| # | DATE |
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| 6 | |
| 7 | |
| 8 | |
| 9 | |
| 10 | |

BRYSON MEADOW
 SOUTH WEBER, UTAH
RE-ZONE EXHIBIT

FOCUS
 ENGINEERING AND SURVEYING, LLC
 502 WEST 8360 SOUTH
 SANDY, UTAH 84070 PH: (801) 552-0075
 www.focusnh.com

LEGAL DESCRIPTIONS
PREPARED FOR
UINTAH LAND COMPANY
BRYSON MEADOWS
SOUTH WEBER, UTAH
(October 30, 2013)

PROPOSED
RESIDENTIAL HIGH PARCEL

A portion of the SE1/4 of Section 20, and the NE1/4 of Section 29, Township 5 North, Range 1 West, Salt Lake Base & Meridian, located in South Weber, Utah, more particularly described as follows:

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Contains: 8.0+/- acres

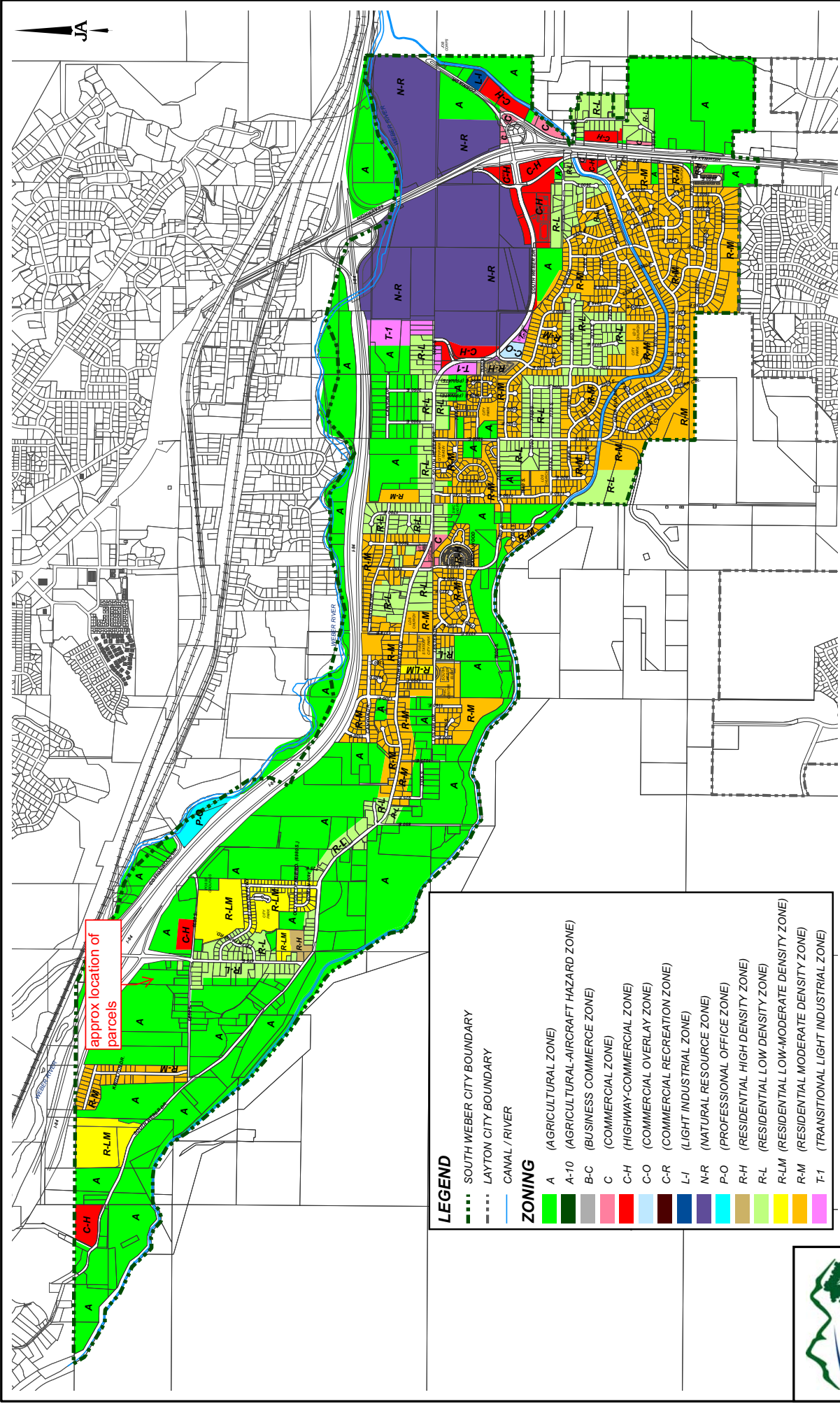
PROPOSED
RESIDENTIAL MODERATE PARCEL

A portion of the SE1/4 of Section 20, and the NE1/4 of Section 29, Township 5 North, Range 1 West, Salt Lake Base & Meridian, located in South Weber, Utah, more particularly described as follows:

Beginning at a point located N89°28'27"W along the Section line 230.00 feet from the Southeast Corner of Section 20, T5N, R1W, S.L.B.& M.; thence South 37.11 feet; thence N87°54'00"W 192.52 feet; thence S2°21'30"W 87.50 feet; thence S0°41'00"W 156.60 feet; thence N89°21'00"W 100.18 feet; thence North 1.14 feet; thence N89°21'00"W 64.80 feet; thence N0°30'30"E 301.00 feet; thence N88°52'00"W 142.70 feet; thence N0°21'00"W 157.00 feet; thence S57°29'00"W 26.30 feet; thence S54°03'00"W 219.17 feet; thence N84°29'00"W 477.45 feet; thence S1°48'18"W 173.06 feet; thence N89°44'30"W 104.72 feet; thence S0°15'30"W 18.00 feet; thence N84°18'00"W 101.70 feet; thence S33°37'00"W 14.30 feet; thence S0°15'30"W 159.81 feet; thence N89°44'30"W 88.72 feet; thence N0°17'00"E 211.00 feet; thence N1°07'00"E 252.00 feet; thence N0°47'00"W 125.00 feet; thence N1°04'00"E 320.00 feet; thence N0°34'40"E 793.05 feet; thence N0°29'00"E 176.25 feet to the southerly right-of-way line of Interstate 84; thence Southeasterly along the arc of a 11,349.16 foot radius non-tangent curve (radius bears: S20°54'17"W) 433.54 feet through a central angle of 2°11'19" (chord: S68°00'03"E 433.51 feet) to a right-of-way marker; thence S51°03'13"E 522.26 feet, the previous 2 (two) courses along said right-of-way; thence S13°58'07"W 191.60 feet; thence Southeasterly along the arc of a 280.00 foot radius non-tangent curve (radius bears: S57°28'49"W) 160.63 feet through a central angle of 32°52'12" (chord: S16°05'05"E 158.44 feet); thence S0°21'01"W 504.47 feet; thence along the arc of a 20.00 foot radius curve to the left 31.29 feet through a central angle of 89°38'40" (chord: S44°28'19"E 28.20 feet); thence S89°17'39"E 149.31 feet; thence along the arc of a 285.00 foot radius curve to the right 164.92 feet through a central angle of 33°09'15" (chord:

S72°43'02"E 162.62 feet); thence S56°08'24"E 177.00 feet; thence along the arc of a 215.00 foot radius curve to the left 124.18 feet through a central angle of 33°05'36" (chord: S72°41'12"E 122.46 feet); thence S89°14'00"E 76.84 feet; thence South 78.57 feet to the point of beginning.

Contains: 30.0 +/- acres



LEGEND

- SOUTH WEBER CITY BOUNDARY
- LAYTON CITY BOUNDARY
- CANAL / RIVER

ZONING

- A (AGRICULTURAL ZONE)
- A-10 (AGRICULTURAL-AIRCRAFT HAZARD ZONE)
- BC (BUSINESS COMMERCE ZONE)
- C (COMMERCIAL ZONE)
- C-H (HIGHWAY-COMMERCIAL ZONE)
- C-O (COMMERCIAL OVERLAY ZONE)
- C-R (COMMERCIAL RECREATION ZONE)
- L-I (LIGHT INDUSTRIAL ZONE)
- N-R (NATURAL RESOURCE ZONE)
- P-O (PROFESSIONAL OFFICE ZONE)
- R-H (RESIDENTIAL HIGH DENSITY ZONE)
- R-L (RESIDENTIAL LOW DENSITY ZONE)
- R-LM (RESIDENTIAL LOW-MODERATE DENSITY ZONE)
- R-M (RESIDENTIAL MODERATE DENSITY ZONE)
- T-1 (TRANSITIONAL LIGHT INDUSTRIAL ZONE)

approx location of parcels

SHEET: **1**
OF 11 SHEETS

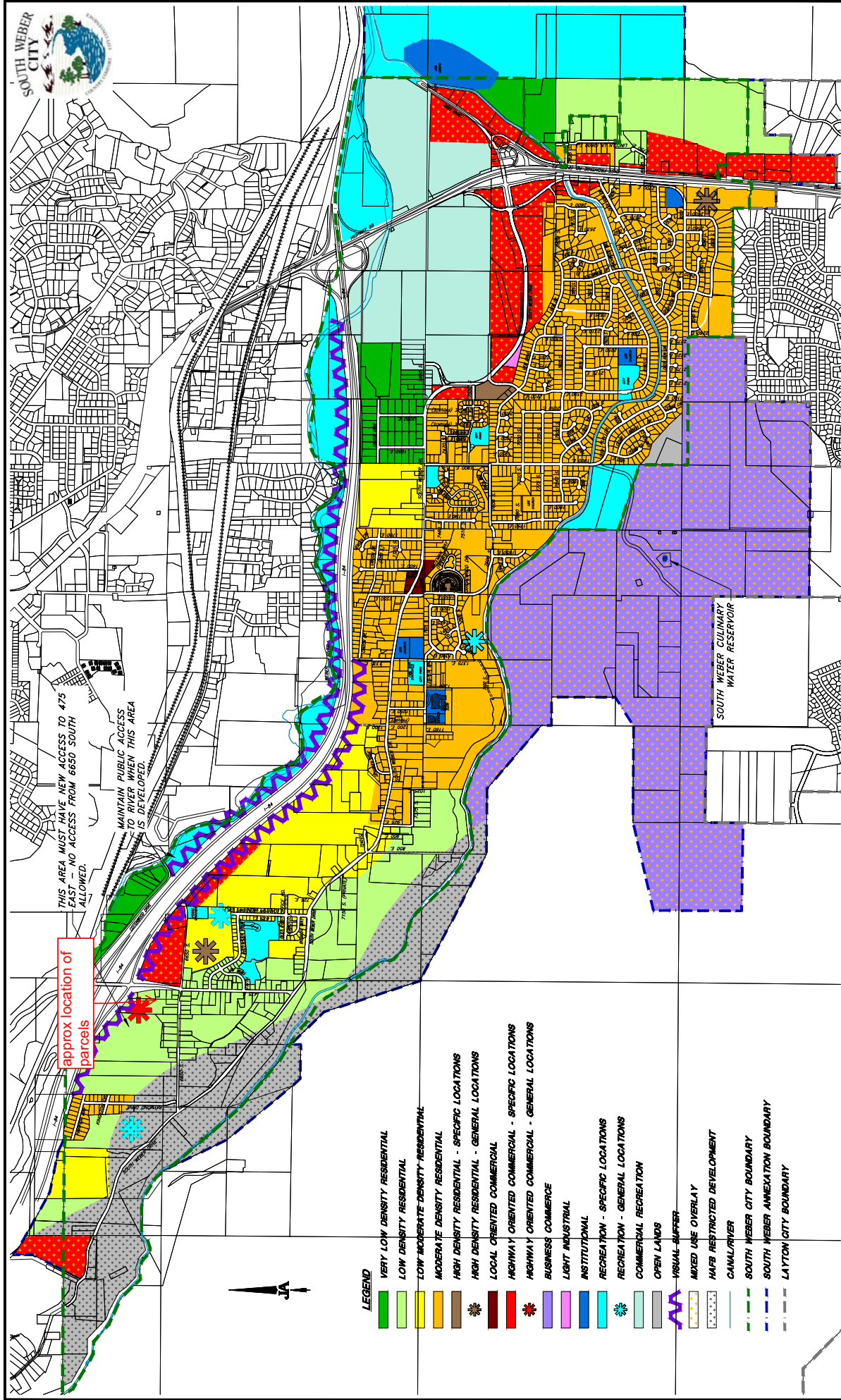
**SOUTH WEBER CITY CORPORATION
PLANNING AND ZONING
ZONING MAP**

JONES & ASSOCIATES
CONSULTING ENGINEERS
1716 East 5600 South
South Ogden, Utah 84403 (801) 476-9767

DESIGNED: BEB
DRAWN: BEB
CHECKED: BKJ

SCALE: 1 in = 1,800 ft
DATE: 09/18/2013





approx location of parcels

THIS AREA MUST HAVE NEW ACCESS TO 475 E. - NO ACCESS FROM 6850 SOUTH ALLOWED.
 MAINTAIN PUBLIC ACCESS TO RIVER WHEN THIS AREA IS DEVELOPED.

SOUTH WEBER CULINARY WATER RESERVOIR

- LEGEND**
- VERY LOW DENSITY RESIDENTIAL
 - LOW DENSITY RESIDENTIAL
 - LOW/MODERATE DENSITY RESIDENTIAL
 - MODERATE DENSITY RESIDENTIAL - SPECIFIC LOCATIONS
 - HIGH DENSITY RESIDENTIAL - GENERAL LOCATIONS
 - HIGH DENSITY RESIDENTIAL - SPECIFIC LOCATIONS
 - LOCAL ORIENTED COMMERCIAL
 - HIGHWAY ORIENTED COMMERCIAL - SPECIFIC LOCATIONS
 - HIGHWAY ORIENTED COMMERCIAL - GENERAL LOCATIONS
 - BUSINESS COMMERCE
 - LIGHT INDUSTRIAL
 - INSTITUTIONAL
 - RECREATION - SPECIFIC LOCATIONS
 - RECREATION - GENERAL LOCATIONS
 - COMMERCIAL RECREATION
 - OPEN LANDS
 - VISUAL BUFFER
 - MIXED USE OVERLAY
 - HAZ/ RESTRICTED DEVELOPMENT
 - CANAL/RIVER
 - SOUTH WEBER CITY BOUNDARY
 - SOUTH WEBER ANNEXATION BOUNDARY
 - LAYTON CITY BOUNDARY

| | | |
|--|---|--|
| SOUTH WEBER CITY CORPORATION GENERAL PLAN | | SHEET: 2 OF SHEETS: 6 |
| CONSULTING ENGINEERS 1716 East 5600 South South Ogden, Utah 84403 (801) 476-9767 | | PROJECTED LAND USE MAP |
| | | |
| SCALE: 1" = 1800' | DESIGNED: _____ DRAWN: _____ CHECKED: _____ | DATE: _____ APP: _____ |
| PROJECT ENGINEER: _____ | DATE: 12/3/2010 | |

1 **SOUTH WEBER**
2 **PLANNING COMMISSION MEETING**

3
4 **DATE OF MEETING:** 14 November 2013

TIME COMMENCED: 6:32 p.m.

5
6 **PRESENT: COMMISSIONERS:**

Delene Hyde
Tim Grubb
Rob Osborne
Rod Westbroek
Rorie Stott (excused)

7
8
9
10
11
12 **CITY PLANNER:**

Barry Burton

13
14 **DEPUTY RECORDER:**

Emily Thomas

15
16 **TRANSCRIBER:**

Michelle Clark

17
18
19

20 A WORK MEETING WAS HELD PRIOR TO THE REGULAR PLANNING COMMISSION MEETING
21 AT 6:00 P.M. TO DISCUSS AGENDA ITEMS, CORRESPONDENCE, AND/OR FUTURE AGENDA ITEMS
22

23
24 **VISITORS:** Jared Bryson, Gardner Crane, Sharon Leak, Dennis Leak, Tony & Stephanie
25 Moser, Glen Campbell, Rachel Wallis, Jared Kendell, Brandon Arnell, Scott Casas, Glen Poll,
26 Kelly BamBrough, Maryann BamBrough, Lynn Poll, Annette Gardner, LaRae Harper, Louise
27 Cooper, Cheryl BamBrough, Kent BamBrough, Larry Ray, Suzanne Ray, Rodger & Raelene
28 Miller, Shelli Stevenson, Illona Stevenson, Daren Gardner, Larry Will, Nicholes Lee, Sandy
29 Hayes, Larry Birt, Jarod Yeager, Justin Poll, Angela Birt, Tina Burns, Trevor Schenk, and
30 Michael Poff.

31
32 **DECLARATION OF CONFLICT OF INTEREST:** There was no conflict of interest declared
33 by the Planning Commission.

34
35 **Commissioner Hyde excused Commissioner Stott from tonight's meeting.**

36
37 **APPROVAL OF THE AGENDA:** Commissioner Grubb moved to approve tonight's
38 agenda as written. Commissioner Westbroek seconded the motion. Commissioners Hyde,
39 Grubb, Osborne, and Westbroek voted yes. The motion carried.

40
41 **APPROVAL OF 24 OCTOBER 2013 MEETING MINUTES:** Commissioner Westbroek
42 moved to approve the minutes of 24 October 2013 as written. Commissioner Osborne
43 seconded the motion. Commissioners Hyde, Grubb, Osborne, and Westbroek voted yes.
44 The motion carried.

45
46 **Commissioner Grubb moved to open the public hearing for Rezone Application #2013-05.**
47 **Commissioner Westbroek seconded the motion. Commissioners Grubb, Hyde, Osborne,**
48 **and Westbroek voted yes. The motion carried.**

***** PUBLIC HEARING *****

49
50
51 **Rezone Application #2013-05: A request to rezone parcels 13-023-0022, 13-023-0109, 13-**
52 **006-0031, 13-006-0025, & 13-006-0002; 30 acres from Agricultural (A) to Residential**
53 **Moderate (RM) & 8 acres from Agricultural (A) to Residential High (RH); Approximately**
54 **located at 6650 South & 475 East; Applicants: Uinta Land Company.:** Jared Bryson, with
55 Uinta Land Company, approached the Planning Commission and extended his gratitude for this
56 special meeting tonight as well as the citizens attendance. He gave a brief overview of the
57 company. He said they focus on land acquisition and development of single family
58 neighborhoods including multi-family. This property is 38 acres. He then identified the
59 Residential High and Residential Moderate Zones. He said 6650 South is a very narrow street
60 with existing homes; therefore, would require an access road from 475 East. The increased
61 rooftops will assist with commercial development to the east of the property. Mr. Bryson
62 explained the red and brown asterisk on the projected land use map. He described the
63 connection to 6650 South requirement and then discussed the city's vehicle transportation map.
64 He said the residential moderate zone is consistent with the Heather Cove Subdivision to the
65 west. There will be codes, covenants, and restrictions (CCR's) with 1400 sq ft above ground
66 level. Landscaping will be completed within 6 months, etc. He compared Heather Cove to
67 Bryson Meadows with the lot size, house size, and design. He then explained the residential
68 high zone. He said this zone will provide for economic viable projects to satisfy the general plan
69 and transportation routes. It will provide multi-family housing. It will also assist the city to
70 meet affordable housing requirements. He said the community will benefit from this residential
71 high zone. He said it will attract more people to the city. It allows for a more robust tax base.
72 He said in conclusion they are asking for 30 acres to be rezoned from agricultural to residential
73 moderate and 8 acres to be rezoned from agricultural to residential high.

74
75 Commissioner Hyde asked if there was any public comment.

76
77 **Sandy Hayes, 110 East Harper Way,** asked about the water problems in that area and how that
78 will be taken care of. Commissioner Hyde said the Planning Commission is aware of the high
79 water table in that area. She also asked about additional traffic on 6650 South and whether or
80 not the city has plans to widen it. Commissioner Hyde said the city has no plans right now to
81 widen 6650 South. Commissioner Grubb said this development has done an excellent job at
82 helping to eliminate traffic on 6650 South.

83
84 Barry Burton, City Planner, said the first plans had all access on 6650 South and the city staff
85 took great efforts to eliminate as much access as possible.

86
87 **Cheryl Bamborough, 390 East 6650 South,** asked how the city knows who will travel what
88 roads. She also would like to know if high density was on the city's master plan? She is
89 wondering how the city can justify going from agriculture to high density. She isn't sure the city
90 needs that. She was always led to believe that the master plan will keep that rural.

91
92 Commissioner Osborne said once high density has been satisfied then the asterisk goes away
93 because the city will have met the criteria.

94
95 **Rodger Miller, 291 East 6650 South,** asked about the general plan. Barry said it calls for low
96 density residential and high density residential and has been like that for many years. Mr. Miller

97 asked if the city really knows what they are getting into with apartments. He said it is not a
98 better place for kids to live or a better place for the community. He has worked with apartments
99 and feels they are no good and the city doesn't want it. He said people are going to travel 6650
100 South and that street needs to be improved. He is concerned about the street connecting to 6650
101 South going west coming out and affecting him.
102

103 **Shelli Stevenson, 6600 South 475 East**, is concerned about what type of fence will be installed.
104 Commissioner Grubb said the developer will be required to install a minimum 6 ft. chain link
105 fence between agricultural property. She is concerned about adding more subdivisions when the
106 current subdivisions in the city aren't full. She is concerned about the increased crime rate.
107

108 Gardner Crane, of Uinta Land Company, clarified that this won't be low income housing.
109

110 **Angela Birt, 475 East 6650 South**, asked if the city has thought about how this will affect the
111 schools. Commissioner Grubb said the school district knows what the city's master plan is. She
112 is concerned about the increased traffic on her street. She is not in favor of this rezone. She said
113 apartments are for people who can't afford homes.
114

115 **Lynn Poll, 826 East South Weber Drive**, asked about the moratorium when Byram Subdivision
116 was approved. Barry said there was a never formal moratorium, but there were water issues that
117 needed to be looked at before the subdivision went in. Commissioner Grubb explained that at
118 that particular time the city was in the middle of reviewing the master plan. Mr. Poll is
119 concerned about the traffic affecting 6650 South and the need for sidewalks. He is concerned
120 about the problems that are created with apartments. He feels 100 families in apartments is too
121 high.
122

123 **Larry Ray, 404 East 6650 South Weber Drive**, is opposed to this development. He said the
124 apartments will have vehicles that will affect all the roads in the city. He feels this project
125 should be tabled and given some time. He would like to see a moratorium on 6650 South.
126

127 **Kelly BamBorough, 750 Cottonwood Drive**, feels before any development is approved, there
128 needs to be something done with the existing streets in the city. He said two vehicles can barely
129 pass each other on 6650 South. He feels it is not fair to the people who have lived there and
130 grown up there. He said he has property and he would like to see 6550 South widened and
131 upgraded before they develop. He said nobody wants apartments down there.
132

133 **Cheryl Bamborough, 390 East 6650 South**, asked if the city has a ladder fire truck? The
134 Planning Commission stated, "yes". She is concerned about the police needs.
135

136 **Tina Burns, of Cornerstone Residential**, said she currently manages apartment complexes.
137 She explained that her company does manage apartments for this developer. She said every
138 resident has an extensive background check, etc. She said this developer builds a very nice
139 community. She said the residents there are a lot like people in this room. She said these people
140 are helpful to a community and care about where they live. There are a lot of people who serve
141 in the military, fire firefighter, police, etc. who rent these types of apartments. She said they do
142 have a "Good Landlord Rule".
143

144 **Jared Kendell, 2020 East 6650 South**, representing the Kendell family, stated they have
145 decided they don't want to develop their family property. He does agree with most of the people
146 here.

147
148 **Amber Nelson, 296 East 6650 South**, said she has young children. She is concerned about
149 what type of buffer will be created. Barry said there would be a fence required between the
150 agricultural property.

151
152 **Trace Kenny, 453 East 6350 South**, is in agreement with most of the people in attendance. He
153 asked about the height of the apartments. Gardner Crane said they will be a three story wood
154 framed building. Mr. Kenny is concerned about the need for curb and gutter on 6650 South. He
155 said his curb is cracking. He is opposed to commercial. He is also concerned about the burden
156 on the infrastructure. He already has low water pressure. He feels the city needs to look at this
157 long term.

158
159 **Tony Moser, 6458 Raymond Drive**, asked why the master plan states on it "no access from
160 6650 South allowed". He is also concerned about the condition of the roads in his subdivision
161 that need repaired. He opposes this development and doesn't think this development will bring
162 any jobs or tax base to the city. He said the city doesn't currently have a police force within the
163 city. He said there is already speeding on 6650 South.

164
165 **Jared Yaeger, 161 Harper Way**, wanted to show respect for Bernice Kendell and stated these
166 are good people in South Weber and he doesn't feel this development is a good idea for the city
167 right now. He feels there are plenty of other subdivisions in the city that need people.

168
169 **Scott Casas, 1470 Canyon Drive**, asked if anyone has addressed the Old Fort Trail and how it
170 will tie into this subdivision.

171
172 **Trevor Schenk, 6455 South Raymond Drive**, questioned if there is a traffic flow study. Barry
173 said it is not a requirement. Gardner Crane said by law a subdivision has to accommodate the
174 traffic that it generates. He said 6650 South, in it's current condition, accommodates this traffic
175 according to the traffic data. He feels the issue at hand is the apartments.

176
177 **Rodger Miller, 291 East 6650 South**, asked if anyone has contacted the Corp of Engineers. He
178 feels this project should be tabled. He said no one in this room is for this development.

179
180 **Sandy Hayes, 110 East Harper Way**, said she was told years ago South Weber Drive would
181 need to be improved. She is wondering why that hasn't been done. Barry said a traffic study
182 will tell you South Weber Drive can handle thousands more vehicles than it does now.

183
184 **Gardner Crane, with Uinta Land Company**, said they respect this whole process. He
185 recognizes that there is a place in every community that meets the needs of different people. He
186 said the challenge is that most single family homes don't want it by them, and he understands
187 that. He said the city staff has explained the same concerns to them. He understands the primary
188 concern is traffic on 6650 South. He said the Kendell family may never sale their property, but
189 cities still have to plan for the future. He said if 6650 South is improved too well, then people
190 will use it even more.

191

192 **Darren Gardner, 307 East 6650 South**, would like to see the developer live in or near this
193 apartment complex.

194
195 Commissioner Grubb said this development plays an extremely big key factor in the city's
196 master plan. He is a believer that people have a right to develop their property.

197
198 **Lynn Poll, 826 East South Weber Drive**, said there isn't a whole lot of building that can go
199 west. He asked how many apartments does the city need to have for build out? Barry stated that
200 the City currently meets the requirement for housing requirements, but this is with the current
201 population. For build-out population of 14,000 residents, this development should satisfy this
202 requirement for the City.

203
204 **Commissioner Grubb moved to close the public hearing for Rezone Application #2013-05.**
205 **Commissioner Westbrook seconded the motion. Commissioners Grubb, Hyde, Osborne,**
206 **and Westbrook voted yes. The motion carried.**

207
208 ******* PUBLIC HEARING CLOSED *******

209
210 Commissioner Osborne respects the Kendells and the right to do with what they want to do with
211 their property. He said no one in this audience wants to write the check to these gentleman for
212 this property. He doesn't think many of those in attendance were in attendance when apartments
213 in other parts in the city were going in because they probably didn't care.

214
215 Commissioner Westbrook said he has lived in this city most of his life. He said the same thing
216 happened in the east end and nobody wanted it there. He said just this past year a road was
217 connected into 7800 South. Since he has lived on 7800 South for 62 years nothing has changed
218 to that road. There is currently a bend in that road that doesn't allow for two vehicles to pass.
219 He said the city is trying to place apartments throughout the city instead of just in the east or just
220 in the west. He feels apartments located right next to the freeway is a better location. He feels
221 this plan has the least amount of impact than anything he has seen. He said someone allowed me
222 to build where I live and someone allowed you to live where you live. He said not everyone that
223 lives in an apartment wants to be there, but that is all they can afford. He would much rather see
224 the higher end apartment that has been suggested verses lower income apartments. He said he
225 has high density a couple blocks away from his home.

226
227 Commissioner Grubb said he is not in favor of any development, but he is in favor of people
228 doing what they want to do with their property. He said the Planning Commission will be
229 reviewing the master plan again starting in January. He hopes that everyone can come together
230 and work together as a community.

231
232 Barry Burton said it looks maybe to some of you that this is coming out of the blue. He has been
233 a city planner for this city for over 23 years and the city has tried to anticipate what will happen
234 with growth. He said it isn't in their power to stop development. It is the American way to
235 develop your property. He was here when Heather Cove came in and some of the people in
236 attendance that live in Heather Cove Subdivision wouldn't be here if neighbors would have
237 stopped that development. He said our children grow up whether we want them to stay or not.
238 He has a son who will be getting married and can't afford a home. He is one of the finest
239 persons he knows and just because he lives in an apartment, it doesn't make him a bad person.

240 He understands there are issues with 6650 South. He understands there are homes so close to
241 that road that to widen that street will greatly affect those who live there. He said this
242 development or pattern of streets is one of those steps that will try to minimize problems. He
243 understands traffic will increase. He said it is just going to take some time to solve these
244 problems. The location of the apartments has been discussed at length and the city staff wants
245 them separated and in locations where there would be minimal impacts to the city. He said this
246 is the best location to minimize the impact. The city is required by state statutes to have
247 apartments. It has to be allowed to happen somewhere.
248

249 Commissioner Hyde appreciates all the work the city staff has done to help 6650 South. She
250 does believe in the general plan. She is in favor of tabling this item until the general plan can be
251 addressed again. She feels there needs to be more input from surrounding property owners. She
252 would like to know what they want to do with their land. She said it is naïve of us to think this
253 property will never develop.
254

255 Commissioner Westbrook said times have changed and the demand is for smaller lots. He said
256 you can drive through the city today and see those that have larger lots that have not been kept
257 up. He does feel the master plan needs to be reviewed again, but doesn't feel this project should
258 be tabled because of it. He feels the city staff has worked, as best as they can, with this project.
259

260 **Commissioner Osborne moved to approve the Rezone Application #2013-05 to rezone**
261 **parcels 13-023-0022, 13-023-0109, 13-006-0031, 13-006-0025, & 13-006-0002; 30 acres from**
262 **Agricultural (A) to Residential Moderate (RM) & 8 acres from Agricultural (A) to**
263 **Residential High (RH); approximately located at 6650 South & 475 East; Applicants: Uinta**
264 **Land Company. Commissioner Westbrook seconded the motion. Commissioners Grubb,**
265 **Hyde, Osborne, and Westbrook voted yes. Commissioner Hyde voted no for reasons stated**
266 **earlier. The motion carried 3 to 1.**
267

268 **Commissioner Grubb moved to open the public hearing for Rezone Application #2013-05.**
269 **Commissioner Westbrook seconded the motion. Commissioners Grubb, Hyde, Osborne,**
270 **and Westbrook voted yes. The motion carried.**
271

272 ******* PUBLIC HEARING *******

273
274 **Preliminary Subdivision Application: Bryson Meadows, proposed 66 lot subdivision to be**
275 **located at approximately 6500 South & 475 East; Developers: Uinta Land Company:**
276

277 Commissioner Hyde asked if there was any public comment. There was none.
278

279 **Preliminary Subdivision**

280 The city staff has met with the Developers at three separate sketch plan meetings where the
281 following conditions were set: (Note: Due to the number of meetings and subsequent revisions,
282 some of the conditions were no longer valid. Those have been removed from this list.)
283

284 Redesign road configuration to better accommodate the City General Plan. Radiuses should accommodate a 30
285 mile per hour speed and should not be a glorified 90 degree bend.

286 Create a "T" intersection at both connections to 6650.

287 Work with City Engineer, Brandon Jones, to create regional detention basin.

288 Geotechnical Report

- 289 Confirmation on jurisdictional wetlands.
290 Install a land drain system (if basements are proposed).
291 Work to resolve issues with Riverdale ditch.
292 o This is an on-going process, but should be completed before coming back to the Planning Commission before final
293 recommendation.
294 Show the apartment parcel as a lot – this will be done through a separate approval.
295 Ensure cul de sacs meet required length.
296 Remedy easement issue shown through lot 108 – what does the easement allow?
297 Remove the note on the plat “connecting to existing Harper”.
298 Near lots 152 and 153, install the sidewalk and parkstrip on both sides. The right of way and property line will be
299 the same line.
300 Provide a written request for cost credits for the cost associated with following the General Plan requirements.
301 o This has not yet been completed, but is in process. Staff has worked with the Developers to incorporate this into
302 the Development Agreement (see draft).
303 Show the improvements coming out of the Poff property connecting to the existing public right of way.
304 Address the location of the connection to 475 East – should follow the existing storm drain easement.
305 Have Fire Chief verify/check the fire flows in the area and approve fire hydrant placement.
306 Install fencing along all areas that border agricultural property – code requires a minimum of six foot (6’) chain
307 link.
308 Contact Jeff Erdman re connection to I-84 culvert for storm water.
309

310 *City Planner:* Barry Burton’s memo of 7 November 2013 is as follows:
311

312 **Zoning:**
313

314 The current zoning will have to be amended to R-M in order to allow this development at the proposed density of
315 2.1 units per acre. This is a departure from the general plan which is recommending low density residential
316 development in this area.
317

318 **Layout:**
319

320 The proposed layout of lots and streets is the result of much negotiation and several revisions after 3 Sketch Plan
321 Committee meetings. I believe it is now a very functional layout for the lots as well as for the street system. Even
322 though there is an access out to 6650 South, the streets are laid out in such a way that little traffic is expected to use
323 that access. As the property to the west of this subdivision is developed extending the two subdivision stub streets,
324 the traffic impact on 6650 S. should be reduced even more.
325 The one problem I note with the streets is that all but one, 6500 S. are shown as 60’ wide. Our ordinance requires
326 them all to be 70’ right-of-ways. I don’t think making this change to 70’ streets will significantly alter the layout or
327 number of lots.
328

329 **Geotechnical:**
330

331 The geotechnical report indicates there are some concerns that should be addressed. I will not go into them all, but it
332 should be noted that the report recommendations should be carefully followed in development of the subdivision.
333 The report indicates there is high groundwater which will impact home construction. Unless the developers are
334 going to install a footing drainage system on all of the lots, it would be wise to require a note on the plat
335 discouraging basements.
336

337 **Recommendation:**
338

339 I believe the developers have taken great measures to respond to the staffs concerns and put together a very
340 workable subdivision layout. The zoning/general plan issue is one that we need to consider very carefully. It is my
341 opinion that the property will likely never be developed at a low density. Due to the amount of improvements and
342 cost of doing what the City is requiring to address traffic concerns, development at the proposed density or greater is
343 the only way the property is likely to ever be developed. I think the General Plan is not realistic in this area and
344 should be revised. I also think, after other failed attempts, we now have the opportunity to acquire the City’s desired

345 access from the property directly onto 475 East by allowing this development to move forward. I recommend
346 approval on this basis.

347

348 *City Engineer:* Brandon Jones, City Engineer, letter of 7 November 2013 in which he
349 recommends the following items being addressed prior to final approval from Planning
350 Commission.

351

352 **GEOTECHNICAL REPORT**

353

354 1. Based upon the presence of shallow groundwater (located at depths between 2 and 7 feet in the original
355 geotechnical report, dated January 2, 2008), we would recommend that basements not be allowed. If the developer
356 wishes to have basements, we would recommend that a land drain system be installed.

357

358 2. The original report only calls for 8" thick roadbase under 3" thick asphalt pavement. This is based upon the
359 subsoil conditions, assumed traffic and a design life of 20 years. We are concerned that this pavement section is not
360 sufficient considering that some of the roads will function as collector roads (with some anticipated truck traffic) and
361 the subsoil conditions have very low structural characteristics (CBR value of 3). We recommend that the pavement
362 design be re-evaluated.

363

364 **WETLANDS**

365

366 3. A Wetland Delineation was performed by Frontier Corporation (Dennis Wenger). Four different areas containing
367 wetlands within the proposed development were identified. Three were suggested to be non-jurisdictional and one
368 (along the Riverdale Ditch) was identified as likely to be jurisdictional by the USACE (United States Army Corps of
369 Engineers). If the Corps determines that the Riverdale Ditch is jurisdictional, the developer will need to acquire a
370 404 permit to relocate or pipe the ditch. The other areas may be exempt from 404 permitting if determined to be
371 non-jurisdictional by the Corps. These regulations and/or permitting will have to be complied with. The developer
372 may choose to change the layout of the subdivision based upon the final determination from
373 the Corps. If changes are significant, the plans should come back to the Planning Commission for approval.

374

375 **PLAT**

376

377 4. All streets must be 70' wide Rights of Way.

378

379 5. The ROW width of the street connection to 6650 South is cut short for the first 113' (approx.) on the west side.
380 The entire 70' Right of Way should be dedicated with this development.

381

382 6. Lots 122, 127 and 128 appear to have little buildable area and may not be feasible to build on with the current lot
383 configuration and restrictions on those lots.

384

385 7. Lot 112 is an awkward shape. For natural use and maintenance purposes, we would encourage the developer to
386 consider selling this portion to the property owner adjacent to this piece (Jaron S. Alberts) or address how this area
387 will be maintained.

388

389 8. There is excess property on the north and south sides of the future road at the street connection to 475 East. For
390 natural use and maintenance purposes, we would encourage the developer to consider selling these portions of
391 property to the property owners adjacent to these pieces or address how these areas will be maintained.

392

393 9. We would recommend that both the streets labeled as 6500 South and 375 East/6450 South be given names rather
394 than coordinates in order to keep them labeled as continuous streets and not having to change coordinates.

395

396 10. Addresses for the lots will be provided by our office.

397

398 11. Lot 167 (detention basin) needs to be labeled as Parcel A and dedicated to the City in the Owner's Dedication.

399

400 12. There is an existing Weber Basin Water Conservancy District easement and culinary water transmission line
401 somewhere along the north boundary line of the proposed development. This needs to be shown on the plat and in
402 the improvement plans.

403
404 13. There is an existing South Weber City storm drain easement across Poff's and Wynn's property. This easement
405 should be vacated with the recordation of the plat.
406

407 **IMPROVEMENTS**

408
409 14. Storm drain inlet boxes are to be placed at the end of the upstream radius in intersections. It appears that, in
410 general, more inlet boxes may be needed. Exact locations can be determined with the final plans.
411

412 15. Frontage improvements (curb, gutter, sidewalk and new asphalt pavement as necessary) will be required along
413 the frontage of Lots 102 and 103 on 6650 South.
414

415 16. The waterline running down what is labeled as 290 East needs to be upsized to a 10" pipe for future growth, as
416 well as the leg heading west on 6450 South.
417

418 17. The storm drain line running down what is labeled as 375 East may need to be upsized for current and future
419 growth. This will be determined by our office.
420

421 18. Lot 167 is proposed to occupy a regional detention basin. A proportionate share analysis needs to be performed
422 in order to determine each party's participation (Developer and City). This analysis will be performed by our office
423 and submitted to the Developer for review and approval.
424

425 19. A Development Agreement is needed in order to handle payment for the upsizing of the detention basin, the
426 storm drain lines and the waterlines. A draft of this agreement should be prepared prior to final approval from the
427 Planning Commission.
428

429 20. The Riverdale Ditch Company's canal traverses the property on the north. The plans show the canal being piped
430 with an 18" pipe. The plans must be submitted to the Riverdale Ditch Company for approval if the USACE permits
431 it being piped (it is likely that a much bigger pipe is going to be required).
432

433 21. All property adjacent to agriculturally zoned property must have a 6' chain link (min.) fence installed.
434

435 22. All the waterlines need to be ductile iron pipe.
436

437 23. UDOT approval will be needed for the connection of the outfall line from the detention basin to the culvert
438 running underneath I-84.
439

440 24. No secondary water lines are shown. This will need to be added and plans submitted to the South Weber
441 Irrigation Company for approval. Also, the subdivision needs to demonstrate that they have sufficient water shares
442 to cover the proposed development.
443

444 *Fire Chief: Tom Graydon*

445
446 Fire hydrants should not be any more than five hundred feet (500') apart at any given point.
447

448 Don not put fire hydrants in the back of the cul-de-sac, they get buried with snow during the winter.
449

450 Plans show two different road width right of ways – should be seventy feet (70') throughout.
451

452 I have serious concerns about the layout of the apartment area as it is currently shown. While this is not the
453 approval for them, approving the overall layout as depicted could limit your apartment options in the future.
454
455
456

457 *Building Official / Public Works:*

458

459 What will be done with the left over property on the Poff lot?

460

461 There are wetlands on lot 114, I don't think there is room to build on this lot.

462

463 There are wetlands in the road how will these be mitigated?

464

465 All roads need to be seventy foot (70') right of way.

466

467 The thirty-five foot (35') strip on the south end of lot 112 is not going to be much more than a weed patch. Maybe
468 some kind of a swap can be made with Albert's to make this a little better.

469

470 *Deputy Recorder:*

471

472 We are missing a signed and notarized affidavit from the Ray family. This needs to be submitted
473 before moving forward for final recommendation with the Planning Commission.

474

475 **Commissioner Grubb moved to close the public hearing for the preliminary subdivision**
476 **application for Bryson Meadows Subdivision. Commissioner Osborne seconded the**
477 **motion. Commissioners Grubb, Hyde, Osborne, and Westbrook voted yes. The motion**
478 **carried.**

479

480 ******* PUBLIC HEARING CLOSED *******

481

482 Commissioner Hyde thanked the developers and Commissioner Grubb, Barry Burton, Brandon
483 Jones, and city staff for all they have done for this project.

484

485 Commissioner Hyde discussed the developers going before the Corp of Engineers to see what
486 they can get mitigated. The Planning Commission discussed the two lots that front 6650 South.
487 Commissioner Hyde feels most people will use 6500 South verses 6650 South. Brandon Jones
488 said to widen 6650 South will take more right-of-way. He said if residents would like to see it
489 improved, it would greatly help the cause if they would be willing to turn over some of their
490 property.

491

492 Commissioner Osborne asked how the power lines will affect some of those lots. Gardner Cane
493 stated they have tried to align lot lines to make minimal impact. Brandon Jones stated when they
494 look at the actual plat, they will look at the buildable areas. Commissioner Hyde asked where
495 the water will go. Brandon said it will go into the culvert and then into the river. Commissioner
496 Hyde asked about the drainage from the Kendell property. Brandon stated the Kendell property
497 doesn't drain in the direction of this subdivision. He said the regional detention basin for this
498 development will be large. He is still running the calculations to come up with the exact size.
499 He said the city will be participating in upsizing a portion of the regional detention basin because
500 right now the city has a deficiency. The size of this detention basin will help contain future
501 development.

502

503 Barry stated he is concerned about the 60' street width and told the developer in his memo that
504 the city standard is 70'. The developers agreed to the 70' wide streets. Barry discussed shifting
505 the lots between 6500 South. Gardner discussed the entrance being maintained by a possible
506 HOA. Commissioner Grubb would like to know what the plan will be for maintenance of the

507 entrance. Discussion took place regarding landscaping 30' on each side of the entrance.
508 Brandon said the entrance on 6650 South will have the same issue. Brandon suggested the
509 developers approaching the Alberts about them getting more property. Commissioner Hyde
510 asked if there can be a right turn only on the furthest west entrance to 6650 South.

511
512 Commissioner Hyde reminded the developers that when construction takes place, trucks should
513 not use 6650 South. Brandon suggested the two lots facing 6650 South need to put money in
514 escrow for curb, gutter and sidewalk. He said most of his comments in his memo are items that
515 need to be addressed at the next level.

516
517 Gardner discussed the wetlands and a small portion that the Army Corp of Engineers has
518 jurisdiction over. He said it is a matter of going to the Army Corp of Engineers and getting their
519 approval, which may take several months. He would request this item to be a condition as they
520 work through the process.

521
522 Brandon discussed the trail concern brought up earlier. He said the trail has been addressed but
523 no one has stated the sidewalks are considered to be a part of the trail. Gardner said they are
524 willing to look at that and try to tie it into the subdivision.

525
526 Commissioner Grubb discussed Brandon's memo concerning the geotechnical report and
527 whether or not basements should be allowed. Brandon is uncomfortable with raising the homes
528 and not installing land drain systems. He feels land drain systems need to be required. Brandon
529 suggested proposing what was done with Canyon Meadows. Gardner said by the next meeting
530 they should have more information to combat that issue.

531
532 Commissioner Grubb asked about the ROW width of the street connection to 6650 South is cut
533 short for the first 113' (approx.) on the west side. The entire 70' Right of Way should be
534 dedicated with this development. Gardner said they are aware of that and have changed it.

535
536 **Commissioner Grubb moved to recommend approval to the City Council the preliminary**
537 **subdivision application for Bryson Meadows, proposed 66 lot subdivision located at**
538 **approximately 6500 South & 475 East, Developers, Uinta Land Company subject to the**
539 **following:**

- 540
541 **1. Address Barry Burton's memo of 7 November 2013**
542 **2. Address Brandon Jones memo of 7 November 2013**
543 **3. Concerning item #1 of Brandon's memo – address the basement level and land**
544 **drain issue.**
545 **4. Concerning item #15 of Brandon's memo - show dedication onto 6650 South on lot**
546 **102 & 103 with the intent to escrow for improvements (discuss the width of 6650**
547 **South with Barry & Brandon)**
548 **5. Identify on Improvement Plans that the Poff home will be removed.**
549 **6. Add a requirement to have a right turn only on the connection of 6650 South.**
550 **Painted arrow and signage.**
551 **7. Plan for both connections on 475 East and 6650 South are dealing with the**
552 **remainder strips on the side of the road.**
553 **8. Address City Staff Backup Report of 14 November 2013.**

554

555 **Commissioner Osborne seconded the motion. Commissioners Grubb, Hyde, Osborne, and**
556 **Westbroek voted yes. The motion carried.**

557 Commissioner Hyde said there is really no reason legally to deny this subdivision.

558

559 **Commissioner Hyde was excused at 9:19 p.m.**

560

561 **Revised Canyon Vistas Subdivision Final Plat, 13 lots, located at 7250 South 1730 East;**

562 **Applicants: Mike Bastian & Mike Schultz:** Barry Burton, City Planner, stated recently, the
563 City Staff met with representatives from Questar Gas in relation to the proposed development.
564 He said there are two companies Questar Gas and Questar Pipeline Company involved in this
565 issue. Questar Gas raised some concerns with what was being proposed. We subsequently met
566 with the developer and discussed changes to the proposed plat. The developer has suggested
567 creating a deed restriction agreement until this is all cleared up.

568

569 The following are comments and items that need to be addressed prior to the recordation of the
570 plat.

571

572 1. 7325 South has been moved south so as to be located on the south side of Lot 5 instead of on
573 the north side as it was submitted previously. This was changed because the previous location
574 would have necessitated a street dedication of a portion of the Questar Gas property in the future.
575 Questar indicated that they are not likely to ever dedicate any portion of their property to a street
576 Right of Way. The moving of the street allows the extension of this road to occur whenever the
577 property is ready to be developed.

578

579 2. The developer is proposing to give Questar access to their property between Lots 4 and 5 with
580 an easement in place of having the road located in that area.

581

582 3. The 20' easement shown on the east side of Lots 3 – 7 is an access and utility line easement.
583 Therefore, in order for this plat to be approved, the "access" rights of this easement must be
584 relinquished. This could be done in exchange for the access provided between Lots 4 and 5.
585 However, written consent for the relinquishing of the access rights for this easement must be
586 received from Questar Gas.

587

588 Brandon discussed removing the 35' easement to be dedicated to Questar Gas from the plat.
589 Barry suggested putting the deed restriction on the plat and in the motion. This will direct the
590 city staff that building permits will not be issued until access easement to Questar is abandoned.

591

592 **Commissioner Grubb moved to recommend approval of the revised Canyon Vistas**
593 **Subdivision Final Plat, 13 Lots, located at 7250 South 1730 East for Mike Bastian and Mike**
594 **Schultz subject to the following:**

595

596 **1. Address items in City Engineer's letter of 7 November 2013.**

597 **a. Clarify 35' strip accessing Questar property to be labeled parcel B and to**
598 **remove any notations regarding an easement on that plat.**

599 **b. Correct the Uinta Pipeline easement label to match Questar requirement.**

600 **c. Add Letter "E" to lots 4, 5, 6, & 7 with definition on the plat as described**
601 **in the engineer's letter item #3.**

602

603 **Commissioner Westbrook seconded the motion. Commissioners Grubb, Osborne, and**
604 **Westbroek voted yes. The motion carried.**

605
606 **OTHER BUSINESS: None.**

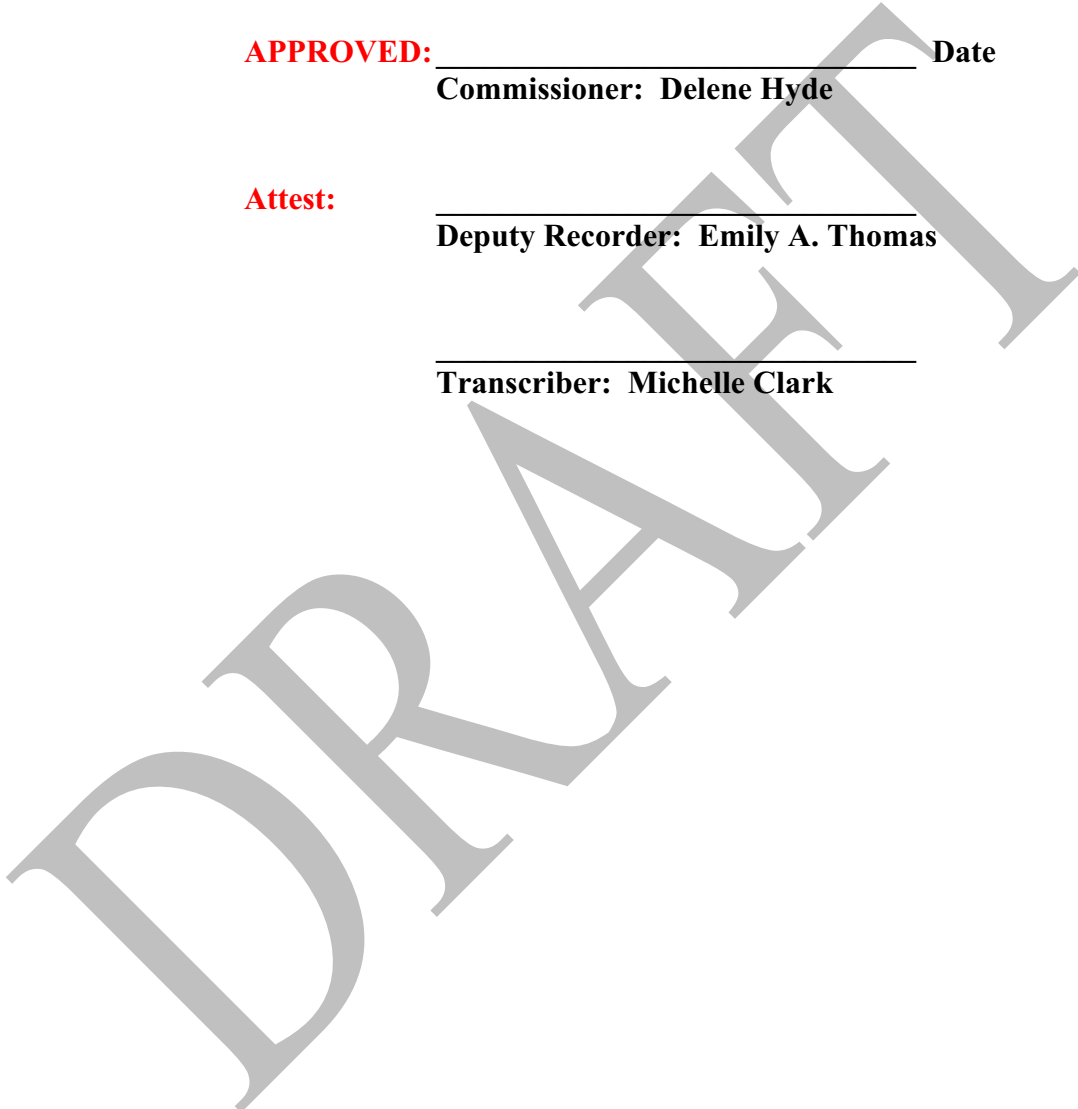
607
608 **ADJOURN: Commissioner Westbrook moved to adjourn the Planning Commission**
609 **meeting at 9:38 p.m. Commissioner Osborne seconded the motion. Commissioners Grubb,**
610 **Osborne, and Westbroek voted yes. The motion carried.**

611
612
613 **APPROVED:** _____ **Date**
614 **Commissioner: Delene Hyde**

615
616
617 **Attest:** _____
618 **Deputy Recorder: Emily A. Thomas**

619
620
621 _____
622 **Transcriber: Michelle Clark**

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**Planning Commission Work Meeting
November 14, 2013**

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Time: Work meeting began at 6:02 p.m.

Attendance: Commissioners Hyde, Grubb, Westbroek, and Osborne, Deputy Recorder Emily Thomas, City Planner Barry Burton, City Engineer Brandon Jones, City Recorder Erika Ahlstrom

Visitors: Mike Bastian

Public Hearing for Rezone Application #2013-05: A request to rezone parcels 13-023-0022, 13-023-0109, 13-006-0031, 13-006-0025, & 13-006-0002; 30 acres from Agricultural (A) to Residential Moderate (RM) & 8 acres from Agricultural (A) to Residential High (RH); Approximately located at 6650 South & 475 East; Applicant: Uinta Land Company.

Commissioner Hyde began the discussion by stating that if the rezone doesn't receive recommendation, then the subdivision discussion is moot. She expressed her concerns that the request does not follow the General Plan for the single family homes. The subdivision has; however, followed the General Plan in regards to transportation. Barry stated that the road is needed regardless of zoning. The request to rezone to Residential High (RH) meets the General Plan and will have little impact on the City as a whole.

Public Hearing for Preliminary Subdivision Application: Bryson Meadows, proposed 66 lot subdivision to be located at approximately 6500 South & 475 East; Developers: Uinta Land Company.

Barry stated that there are some issues with the proposed road widths. Only one road reflects the correct standard of seventy foot right of way. This should be corrected and shouldn't have an impact on the development. Commissioner Hyde inquired about the wetlands in the area. She stated that there is normally a lot of water behind Gardner's, Harper's, and Kendell's properties. Barry stated there are some identified wetlands slightly on the edge of the proposed development and would be the backyards of the lots with the exception of lots 110 and 114. As long as they aren't filling in the wetlands, it shouldn't be an issue.

Commissioner Hyde asked about proposed lots 106, 107, and 108 and how they will be impacted by the wetlands. She asked if the Army Corps of Engineers had been on the property yet. They have not. Barry stated that he was went out to this property a couple of years ago and the wetness is not on this particular piece. Commissioner Grubb added that these concerns are also addressed in the Geotechnical report.

Barry stated that they have made the requested changes to align the roads and have followed the General Plan Transportation Map. The goal is to get traffic away from and off of 6650 South.

Commissioner Hyde asked if the Cooper property was part of this development. It is not

699 at this point. Barry stated that if they decided to add it to the development, most likely it
700 would become part of the RH zoned area and would basically push this area east towards
701 475.

702
703 Commissioner Hyde asked if there were any concerns from each of the Planning
704 Commissioners. Commissioner Osborne stated he did not have any, other than some of
705 the lots are oddly shaped. For example, the lot that pokes into the existing Poff property.
706 He would also like to see a nice entry into the development off of 475 East, something
707 that the apartments can maintain.

708
709 Commissioner Westbroek had no additional comments.

710
711 Commissioner Grubb stated that they have accommodated what the City has asked for
712 and it is a safe development that will be great for the area. He would like to see the road
713 connecting to 6650 South shift to one side or the other rather than leaving excess property
714 for the owners of lot 112 to maintain.

715
716 He suggested also shifting the future road connection onto 475 East towards Mrs.
717 Stephens' property. This would give her a little more property and would leave less
718 maintenance on the other side of the road. Erika stated that Staff has talked with the
719 Developers about creating an entryway to the City with this development. This would
720 then be maintained by the City. Commissioner Hyde stated the entry feature may be
721 better served on the Stephens' side of the future road. City Engineer Brandon Jones
722 added that this road can't be shifted too much further because there is existing
723 infrastructure and we want to keep infrastructure in the road.

724
725 Brandon inquired whether or not the detention basin could be calculated in the density
726 bonus. Barry stated the City Code doesn't allow for this. Brandon stated that they are
727 having to upsize the detention basin per City requirements as this is a future regional
728 detention basin.

729
730 *Revised Canyon Vistas Subdivision Final Plat, 13 lots, located at 7250 South 1730 East;*
731 *Applicants: Mike Bastian & Mike Schultz.*

732
733 Commissioner Hyde asked why this development was back before the Planning Commission.
734 Barry stated that they have shifted their road configuration due to issues related to Questar gas
735 and their unwillingness to participate in a future road. They have an existing access easement
736 that runs behind proposed lots four through seven. Developer Mike Bastian added that he is
737 hoping that once his infrastructure is installed, Questar will be able to utilize the roads in the
738 development and no longer need their access easement behind the lots. Right now they are
739 unwilling to give that easement up. Mr. Bastian stated that they have also added an access strip
740 between lots four and five that can be dedicated to Questar once the current access easement is
741 abandoned. In the meantime, they would like to propose adding a deed restriction to the
742 impacted lots that would not allow a building permit to be pulled until the access easement issue
743 is resolved.

744
745 Barry added that Questar won't "deal" until the road is in place. It is nothing to them to wait it
746 out. Commissioner Grubb stated that Questar will also have to accept and sign the plat before it

747 is recorded. Barry stated that Questar is pushing because they don't want the subdivision there at
748 all. There is noise that comes from the transfer station that can, on rare occasions, be quite loud.
749 There is also a detectable odor at all times – not a huge amount, but can still be smelt. They are
750 afraid of complaints. Mr. Bastian stated that they are within 270 feet from the adjacent
751 development and there haven't ever been any complaints.

752
753 Brandon stated that Staff supports Mr. Bastian's proposal because it places all the risk on the
754 developer. Until the access easement can be resolved, no permits will be issued and it will be up
755 to the developer to get this resolved.

756
757 Commissioner Osborne drew a sketch on the whiteboard of a possible road layout for the
758 development. He suggested removing the cul de sac bulb. Mr. Bastian stated that a lot is lost if
759 this is done. Brandon added that the distances also did not work out well – unless he loses a lot.
760 It is not our job to make sure he can get the maximum use out of the property. He did try to get it
761 in the other location, but because Questar is being difficult it is not the best option.

762
763 The work meeting adjourned at 6:31 p.m. Work meeting minutes transcribed by Deputy
764 Recorder, Emily Thomas.

765

DRAFT

SOUTH WEBER CITY COUNCIL
Staff Backup Report

Item No: **Resolution 13-21 Easton Village Phase Two Final Plat**

Date of Meeting: **26 November 2013** (Public Hearing)
10 December 2013

Background

This is the second phase of the Easton Village development. The Planning Commission granted preliminary approval of the entire development on June 28, 2012. The proposed phase two contains eight additional lots. The Planning Commission recommended approval of the second phase of the subdivision at a public hearing held on September 26, 2013.

This phase of the development is contingent upon approval of the amendment to the current development agreement. If that is not approved, then this phase must wait until a second ingress/egress can be obtained (per the existing un-amended agreement). A Boundary Line Agreement (see information from amended phase 1) must also be recorded.

Tabled by City Council on November 26.

Attachments:

- City Engineer Memo, November 21, 2013
- Application
- Proposed Plat and Improvement Plans
- Approved Preliminary Plat
- Planning Commission Minutes September 26, 2013

RESOLUTION 13-21

FINAL PLAT: EASTON VILLAGE SUBDIVISION, PHASE TWO

WHEREAS, the South Weber City Planning Commission reviewed final plat for Easton Village Phase Two 8-lot Subdivision located at approx. 1100 East and 7500 South, at a public hearing on 26 September 2013, and has recommended approval of the final plat subject to conditions; and

WHEREAS, a review by staff of the final plat and plans has determined the conditions set by the Planning Commission have been met (with the exception of condition #1 below); and

WHEREAS, the South Weber City Council reviewed the final plat for said subdivision at a public hearing on 26 November 2013.

BE IT THEREFORE RESOLVED by the South Weber City Council that the final plat of Easton Village Subdivision Phase Two is hereby approved subject to the following conditions:

1. Boundary Line Agreement: A Boundary Line Agreement needs to be signed by all property owners adjacent to the west line of this subdivision and recorded prior to this plat being recorded.
2. Secondary Water: Improvement plans need to be submitted to the appropriate secondary water provider and a letter provided to the City indicating the secondary water company's approval of the proposed improvements.
3. Public Road Right-of-Way: The City Council approved the installation of a 60 foot right-of-way on 1075 East. South Bench Drive is the standard 70 foot right-of-way.
4. Ingress/Egress: Prior to recording of the plat, an amended development agreement shall be finalized, removing the previous requirement of the agreement for the construction of two ingresses and egresses into and out of the subdivision in conjunction with the next phase of development. The agreement allows for the standard City Code to govern; that a maximum of 30 lots will be allowed without a second means of ingress/egress.
5. Improvements Required Prior To Building Permit: Before the issuance of any building permits, improvements as indicated on improvement plans must be completed, inspected and approved by the city, and all professional fees incurred to date shall be paid in full prior to any building permits being issued.
6. Escrow: Prior to recording of the final plat, the developer will be required to enter into an escrow agreement with the City to ensure completion of all public improvements to be installed as required by subdivision approval. The escrow amount shall be equal to the City Engineer's approved estimated cost of all required public improvements plus 15% of the total cost of all required improvements for contingencies, plus an additional 10% of the total cost of all required improvements as a guarantee fee, for a total of 125% of the City Engineer's approved estimated cost of all required improvements.
7. Recording Period: The developer shall submit the plat and developers agreement to the City within 120 days from the date of approval, along with a check for recording fees [SWC Code Code 11-2-2(C)], for recording of the plat with the County Recorder's office. Plats not recorded within 120 days of final approval by the City Council shall be null and void and must be resubmitted to the City Council.

RESOLUTION 13-21

FINAL PLAT – EASTON VILLAGE SUBDIVISION, PHASE TWO

Page 2

8. Electronic Data: The developer shall submit electronic copies (both dwg and pdf formats) of the plat and construction drawings prior to recording of the plat.
9. Preconstruction: Prior to construction, the developer and construction contractor must hold a preconstruction conference with the City Engineer and City staff to review construction requirements.
10. Official Construction Drawings: Prior to the preconstruction meeting, two sets of mylar drawings must be submitted to the City Engineer to serve as official construction drawings.
11. Commencement of Work: No work on improvements shall be commenced until finalized construction drawings have been approved by the city, final approval of the subdivision plan has been issued by the city council, escrow funds secured and proof provided to the city, and a preconstruction meeting held with the city engineer and other applicable entities. [SWC Code 11-4-2(D)].
12. Fire Protection: The size of buildings shall be compared to the available fire flows in the area in order to establish whether or not fire sprinklers will be required, as determined by the Fire Chief.
13. Inspection and Release of Escrow Funds. The City shall inspect improvements throughout construction. The Developer shall be responsible to pay professional fees incurred for inspections. The City shall notify Escrow's agent in writing as to the installation of the improvement and the amount to be released. Escrow is entitled to release funds from this account only after receiving written notification from the City.
14. As Built Drawings: Reproducible as built drawings will be required prior to the final release of any contingency escrow funds. As built drawings are also required prior to Conditional Acceptance [SWC Code Code 11-4-2(K4)]. These must be supplied by the developer's engineer in electronic format (both dwg and pdf formats).
15. Conditional Acceptance: Notwithstanding the fact that the land on which the improvements will be located is dedicated at the time of the recording of a plat, the city shall not be responsible for the improvements, their construction, and/or maintenance until after a minimum one year guarantee period has expired and there is an official acceptance of the dedicated property and improvements by the city.
16. Professional Fees: Prior to recordation of the final plat, the developer will be required to pay all professional fees in full.

PASSED AND APPROVED by the City Council of South Weber this **10th day of December, 2013.**


MAYOR: Jeffery G. Monroe

ATTEST:

Erika J. Ahlstrom, City Recorder

MEMORANDUM

TO: South Weber City Mayor and Council

FROM: Brandon K. Jones, P.E.
South Weber City Engineer 

CC: Barry Burton – South Weber City Planner
Mark B. Larsen – South Weber City Public Works Director
Erika Ahlstrom – South Weber City Recorder

RE: **EASTON VILLAGE SUBDIVISION PHASE 2**
Final Review

Date: November 21, 2013

Our office has completed a review of the final plat and improvement plans for the Easton Village Subdivision Phase 2.

The current Development Agreement associated with the Easton Village Preliminary Plat does not allow for a second phase to be approved without a second means of ingress and egress being provided. However, an amended Development Agreement is being proposed with this phase that would allow the current City Code to govern the maximum number of lots without two means of ingress/egress. The maximum allowed by City Code is 30 lots. This phase is proposing 8 additional lots which would take the total allowed to the 30 lot maximum.

We recommend approval subject to the amended Development Agreement being approved and the following items be addressed prior to recordation of the plat.

PLAT

1. A Boundary Line Agreement needs to be signed by all property owners adjacent to the west line of this subdivision.


If this is not done, the plat will need to be redrawn in order to match the current west property line.

IMPROVEMENT PLANS

2. The notes on Sheet 2 reference Weber Basin Water Conservancy District standards for secondary water service. It is our understanding that the secondary water will be provided by the South Weber Water Improvement District. Whichever provider is serving the subdivision, needs to have the plans submitted to them and a letter needs to be provided to the City indicating their approval of the proposed improvements.

MEMORANDUM

TO: South Weber City Mayor and Council

FROM: Brandon K. Jones, P.E.
South Weber City Engineer 

CC: Barry Burton – South Weber City Planner
Mark B. Larsen – South Weber City Public Works Director
Erika Ahlstrom – South Weber City Recorder

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IMPROVEMENT PLANS

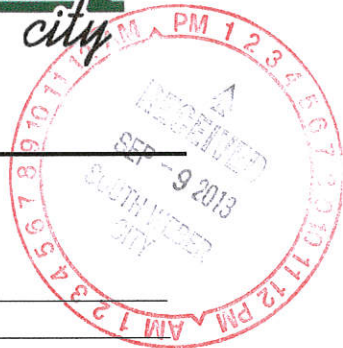
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For Office Use Only

Fees received by: Front Office Date of submittal: 9-9-13
Amount Paid: \$1000 Receipt #: 130745911

Initial Review, all of the required supporting materials have been provided: CS

PC/CC Meeting Date: 9-26-13



Final Plan Application

Project/Subdivision Name: EASTON VILLAGE # 2
Approx. Location: _____
Parcel Number(s): _____ Total Acres: _____
Current Zone: _____
Surrounding Land Uses: _____
Number of Lots: 8 # Lots Per Acre: _____
Phase: _____ of _____ PUD: Yes / No

Contact Information

Developer or Agent

Name: KASTLEROCK EXCAVATION
Company Name: _____
Address: 8085 S. JUNIPER CRT.
City/State/Zip: J. Weber VT
Phone: 801 479 6233 Fax: 801 479 5376
Email: lwayne@kastlerockexcavation.com

Best Way/Preferred Method of Contact:

Email Phone Fax Mail

Developer's Engineer

Name: Reeve & Assoc
Company: _____
License #: _____
Address: _____
City/State/Zip: _____
Phone: _____ Fax: _____
Email: _____

Best Way/Preferred Method of Contact:

Email Phone Fax Mail

Surveyor

Check here if same as Engineer

Name: _____
Company: _____
License #: _____
Address: _____
City/State/Zip: _____
Phone: _____ Fax: _____
Email: _____

Property Owner(s)

Check here if same as Developer

Name: _____
Address: _____
City/State/Zip: _____
Phone: _____ Fax: _____
Email: _____

SUBDIVISION: Easton Village Phase 2

PROPERTY PARCEL NUMBER(S): _____

APPLICANT'S AFFIDAVIT

State of Utah)
County of _____) §

I/We Layne Kap, the sole owner(s)/authorized agent of the owner(s) of the property involved in this application, located at 1075 E. LOSTA ST, swear the statements and answers contained herein, in the attached plans, and other exhibits, thoroughly, to the best of my/our ability, present the argument in behalf of the application requested herewith, and that the statements and information above referred to are in all respects true and correct to the best of my/our knowledge and belief.

Dated this 9 day of Sept, 2013.

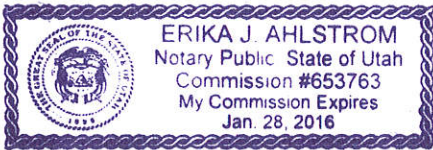
Signed:

Layne Kap
Property Owner or Agent

Property Owner or Agent

Subscribed and sworn to before me on this 9 day of Sept, 2013.

S
E
A
L



Erika J. Ahlstrom
Notary Public

AGENT AUTHORIZATION

State of Utah)
County of _____) §

I/We _____, the sole owner(s) of the real property located at _____, South Weber, Utah, hereby appoint _____ as my/our agent with regard to this application affecting the above described real property, and authorize said agent to appear on my/our behalf before any city commission, board or council considering this application.

Dated this _____ day of _____, _____.

Signed:

Property Owner or Agent

Property Owner or Agent

Subscribed and sworn to before me on this _____ day of _____, _____.

S
E
A
L

Notary Public

Final Plan Requirements

- Complete all conditions/requirements set by the Planning Commission at Preliminary Approval
- Finalized Draft of Covenants, Conditions, and Restrictions (if applicable)
- Finalized Storm Drain Calculations
- Any applicable agreements finalized, signed, and proof of recording with county provided (agreements with South Weber City must be finalized and remain unsigned)
- Finalized set of certified, stamped construction drawings and specifications as prepared by a licensed civil engineer**


**One full sized (24" x 36"), one reduced (11" x 17"), and one electronic PDF form shall be submitted of the following (the north area to point up or to the left):

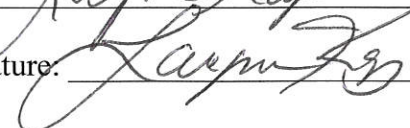
- Format of Final Plat for Recording Required by the County

*All plans must be prepared and stamped by a licensed and/or certified professionals including, but not limited to, architects, landscape architects, land planners, engineers, surveyors, transportation engineers or other professionals as deemed necessary by the City Planner.

Applicant Certification

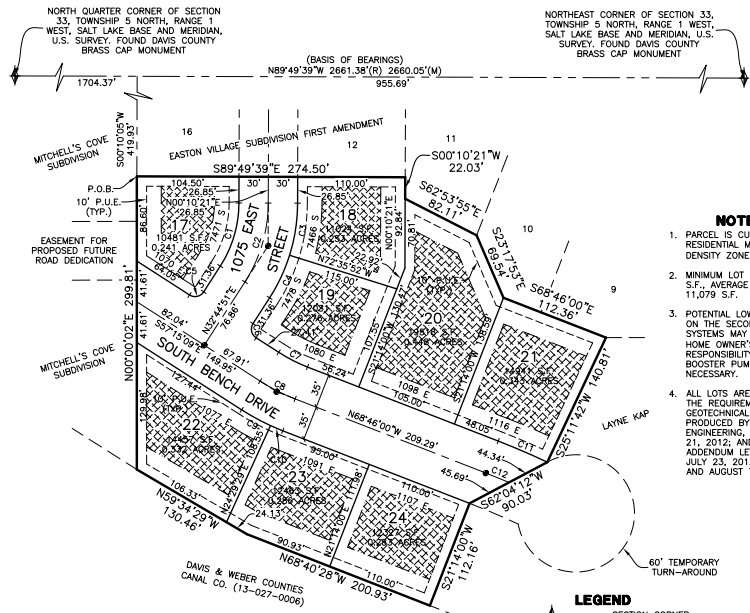
I certify under penalty of perjury that this application and all information submitted as a part of this application are true, complete, and accurate to the best of my knowledge. I also certify that I am the owner of the subject property and that the authorized agent noted in this application has my consent to represent me with respect to this application. Should any of the information or representations submitted in connection with this application be incorrect or untrue, I understand that The City of South Weber may rescind any approval, or take any other legal or appropriate action. I also acknowledge that I have reviewed the applicable sections of the South Weber City Land Development Code and that items and checklists contained in this application are basic and minimum requirements only and that other requirements may be imposed that are unique to individual projects or uses. Additionally, I agree to pay all fees associated with this project, as set by the current adopted Consolidated Fee Schedule as well as any fees associated with any City Consultant (i.e. engineer, attorney). The applicant shall also be responsible for all collection fees incurred including a collection fee of up to 40% (pursuant to the provisions of the Utah Code Ann. §12-1-11). I also agree to allow the Staff, Planning Commission, or City Council or appointed agent(s) of the City to enter the subject property to make any necessary inspections thereof.

Applicant's Signature:  Date: 8-25-13

Property Owner's Signature:  Date: 8-25-13

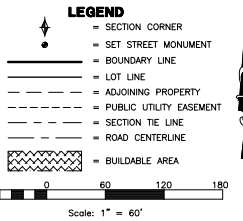
EASTON VILLAGE SUBDIVISION PHASE 2

PART OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 5 NORTH, RANGE 1 WEST, S.L.B.&M., U.S. SURVEY
SOUTH WEBER CITY, DAVIS COUNTY, UTAH
SEPTEMBER, 2013



CURVE TABLE

| # | RADIUS | ARC LENGTH | CHD LENGTH | TANGENT | CHD BEARING | DELTA |
|-----|---------|------------|------------|---------|--------------|------------|
| C1 | 120.00' | 68.22' | 67.31' | 35.06' | S16°27'36\"W | 32°34'30\" |
| C2 | 150.00' | 85.28' | 84.14' | 43.83' | S16°27'36\"W | 32°34'30\" |
| C3 | 180.00' | 94.13' | 93.82' | 27.27' | S08°47'14\"W | 11°13'47\" |
| C4 | 180.00' | 48.21' | 48.06' | 24.25' | S29°04'29\"W | 19°20'43\" |
| C5 | 10.50' | 16.49' | 14.85' | 10.50' | S77°44'51\"W | 90°00'00\" |
| C6 | 10.50' | 16.49' | 14.85' | 10.50' | S12°15'09\"E | 90°00'00\" |
| C7 | 165.00' | 33.16' | 33.10' | 16.64' | S63°00'34\"E | 11°30'51\" |
| C8 | 200.00' | 40.19' | 40.12' | 20.16' | S63°00'34\"E | 11°30'51\" |
| C9 | 235.00' | 33.64' | 33.62' | 16.85' | S61°21'14\"E | 8°12'10\" |
| C10 | 235.00' | 13.58' | 13.58' | 6.79' | S67°06'39\"E | 3°16'41\" |
| C11 | 790.00' | 54.62' | 54.61' | 27.32' | S66°47'09\"E | 3°57'42\" |
| C12 | 755.00' | 25.59' | 25.59' | 12.80' | S67°47'44\"E | 1°56'31\" |



- NOTES:**
- PARCEL IS CURRENTLY ZONED RESIDENTIAL MODERATE DENSITY ZONE (R-M)
 - MINIMUM LOT SIZE IS 9,000 S.F., AVERAGE LOT SIZE IS 11,079 S.F.
 - POTENTIAL LOW PRESSURES ON THE SECONDARY WATER SYSTEMS MAY BE FOUND. HOME OWNER'S RESPONSIBILITY TO INSTALL BOOSTER PUMP AS NECESSARY.
 - ALL LOTS ARE SUBJECT TO THE REQUIREMENTS OF THE GEOTECHNICAL REPORT PRODUCED BY CARTHTECH ENGINEERING, DATED MARCH 21, 2012, AND SUBSEQUENT ADDENDUM LETTERS, DATED JULY 23, 2012, JULY 31, AND AUGUST 7, 2012.

NOTE

THE PROPERTY DEPICTED HEREON IN WHOLE OR IN PART LIES NEAR AN ENVIRONMENTAL SUPERFUND CLEAN-UP SITE MANAGED BY THE UNITED STATES DEPARTMENT OF THE AIR FORCE. POTENTIAL PROPERTY OWNERS SHOULD CONTACT HILL AIR FORCE BASE 75TH AIR BASE WING'S ENVIRONMENTAL MANAGEMENT DIRECTORATE (EM) FOR FURTHER INQUIRY REGARDING THE ENVIRONMENTAL CLEAN-UP SITE. CONTACT PHONE NUMBER FOR ENVIRONMENTAL MANAGEMENT DIRECTORATE IS 801-777-0493. ADDITIONAL MATERIAL (INCLUDING CONTACT INFORMATION) CAN BE FOUND ON THE EPA'S WEBSITE AT: WWW.EPA.GOV/REGION8/SUPERFUND/UT/HILLAFB.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS PLAT IS THE SECTION LINE BETWEEN THE NORTHEAST CORNER AND THE NORTH QUARTER CORNER OF SECTION 33, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, SHOWN HEREON AS: N89°49'39\"W

NARRATIVE

THE PURPOSE OF THIS PLAT IS TO DIVIDE THE BELOW DESCRIBED PROPERTY INTO LOTS AND STREETS. ALL BOUNDARY CORNERS AND REAR LOT CORNERS WERE SET WITH A 5/8\" REBAR AND PLASTIC CAP STAMPED \"REEVE & ASSOCIATES\". ALL FRONT LOT CORNERS WERE SET WITH A LEAD PLUS IN THE TOP BACK OF CURB AT THE EXTENSION OF THE SIDE LOT LINES.

BOUNDARY DESCRIPTION

PART OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 16 OF EASTON VILLAGE SUBDIVISION FIRST AMENDMENT, SAID POINT BEING N89°49'39\"W 955.69 FEET AND S00°10'05\"W 419.93 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 33, THENCE S89°49'39\"E 274.50 FEET; THENCE S00°10'21\"W 22.03 FEET; THENCE S62°53'55\"E 82.11 FEET; THENCE S23°11'42\"E 69.54 FEET; THENCE S68°46'00\"E 112.36 FEET; THENCE S25°11'42\"W 140.81 FEET; THENCE S62°04'12\"W 90.03 FEET; THENCE S21°14'00\"W 112.16 FEET TO THE NORTH LINE OF THE DAVIS & WEBER COUNTIES CANAL COMPANY PROPERTY, THENCE ALONG SAID NORTH LINE THE FOLLOWING TWO (2) COURSES: (1) N68°40'28\"W 200.93 FEET; AND (2) N59°34'29\"W 130.46 FEET; THENCE N00°00'02\"E 299.81 FEET TO THE POINT OF BEGINNING.

CONTAINING 148,260 SQUARE FEET OR 3.358 ACRES

DEVELOPER
LAYNE KAP
8085 S JUNIPER COURT
SOUTH WEBER, UTAH 84405
801-725-9510

SETBACKS
LOT SETBACKS: (60' R.O.W.)
• FRONT SETBACK = 25'
• REAR SETBACK = 10' MINIMUM
ON EACH SIDE
• REAR SETBACK = 25'



Surveyor's Certificate

I, ROBERT D. KUNZ, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT, AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF EASTON VILLAGE SUBDIVISION PHASE 2 IN SOUTH WEBER CITY, DAVIS COUNTY, UTAH, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE DAVIS COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND, I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF SOUTH WEBER CITY, DAVIS COUNTY CONCERNING SURVEY REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 20____.

UTAH LICENSE NUMBER ROBERT D. KUNZ



Owners Dedication And Certification

WE, THE UNDERSIGNED, OWNERS OF THE HEREON-DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS, AS SHOWN ON THE PLAT, AND NAME SAID TRACT OF LAND EASTON VILLAGE SUBDIVISION PHASE 2, AND HEREBY DEDICATE, GRANT AND CONVEY TO SOUTH WEBER CITY, DAVIS COUNTY, UTAH ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER AND ALSO DEDICATE, GRANT AND CONVEY TO SOUTH WEBER CITY, DAVIS COUNTY, UTAH ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS PUBLIC UTILITY EASEMENTS.

THE UNDERSIGNED HEREBY CERTIFY THAT THIS SUBDIVISION HAS MET ALL REQUIREMENTS OF SOUTH WEBER CITY ORDINANCES.

SIGNED THIS _____ DAY OF _____, 20____.

Acknowledgment

STATE OF UTAH _____)
COUNTY OF _____)

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ (AND _____) SIGNER(S) OF THE ABOVE OWNER'S DEDICATION AND CERTIFICATION, WHO BEING BY ME DULY SWORN, DID ACKNOWLEDGE TO ME _____ VOLUNTARILY, AND FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES _____ NOTARY PUBLIC

Acknowledgment

STATE OF UTAH _____)
COUNTY OF _____)

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ (AND _____) BEING BY ME DULY SWORN, AND ACKNOWLEDGED TO ME THEY ARE _____ OF SAID CORPORATION AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES _____ NOTARY PUBLIC

South Weber City Attorney
APPROVED BY THE SOUTH WEBER CITY ATTORNEY THIS _____ DAY OF _____, 20____.

SOUTH WEBER CITY ATTORNEY

South Weber City Planning Commission
APPROVED THIS _____ DAY OF _____, 20____, BY THE SOUTH WEBER CITY PLANNING COMMISSION.

CHAIRMAN, SOUTH WEBER CITY PLANNING COMMISSION

South Weber City Engineer
APPROVED BY THE SOUTH WEBER CITY ENGINEER THIS _____ DAY OF _____, 20____.

SOUTH WEBER CITY ENGINEER

South Weber City Council
PRESENTED TO THE SOUTH WEBER CITY COUNCIL THIS THIS _____ DAY OF _____, 20____, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

ATTEST:

SOUTH WEBER CITY MAYOR

CITY RECORDER

Project Information

Surveyor: R. KUNZ
Designer: M. ANDERSON
Begin Date: _____

Project Name: EASTON VILLAGE SUBD. PH 2
Number: 5061-09
Scale: 1\"=50'
Revision: _____
Checked: _____



Davis County Recorder

ENTRY NO. _____ FILED FOR RECORD AND RECORDED _____ OF _____ IN BOOK _____ OF THE OFFICIAL RECORDS, PAGE _____

RECORDED FOR:

DAVIS COUNTY RECORDER

DEPUTY,

Project Narrative/Notes/Revisions

- 1) 9/4/13 RH - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.
- 2) 10/7/13 RH - REVISED PLANS PER CITY COMMENTS.
- 3) 11/3/13 TH - REVISED PLANS PER CITY COMMENTS.
- 4) 11/19/13 RH - REVISED PLANS PER CITY COMMENTS.

EASTON VILLAGE SUBDIVISION

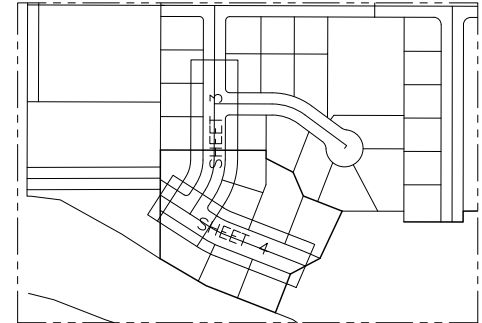
Phase-2 Improvement Plans

SOUTH WEBER CITY, DAVIS COUNTY, UTAH
SEPTEMBER 2013

Reeve & Associates, Inc. - Solutions You Can Build On



Vicinity Map
NOT TO SCALE

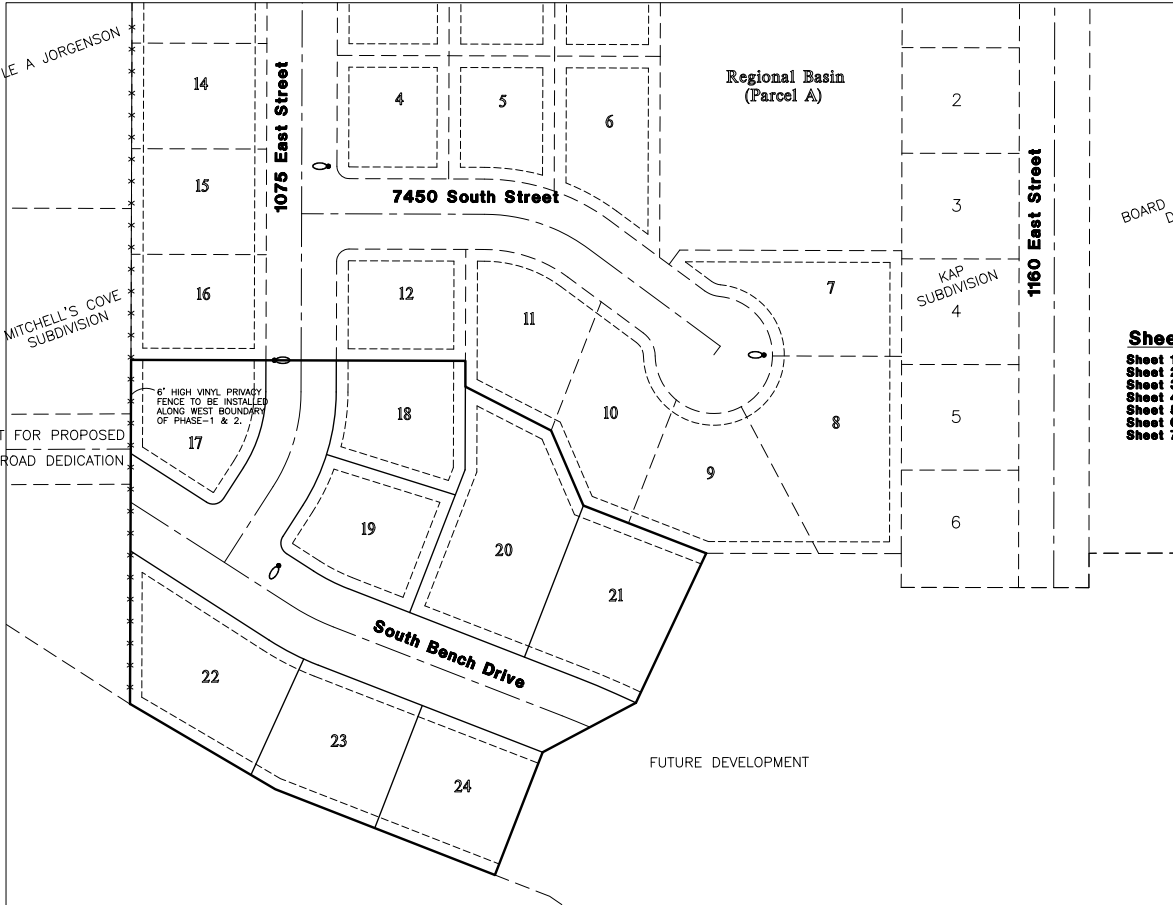


Sheet Index Key Map
NOT TO SCALE

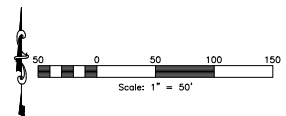
BOARD OF EDUCATION OF
DAVIS SCHOOL

- Sheet Index**
- Sheet 1 - Cover/Index Sheet
 - Sheet 2 - Street Cross-Sections/Legend/Notes
 - Sheet 3 - 1075 East Street 0+50.00 - 14+50.00
 - Sheet 4 - South Bench Drive 25+00.00 - 30+50.00
 - Sheet 5 - Overall Grading Plan
 - Sheet 6 - Storm Water Pollution Prevention Plan
 - Sheet 7 - Storm Water Pollution Prevention Plan

- General Notes**
1. CONSTRUCTION STAKING TO BE PROVIDED BY REEVE & ASSOCIATES, INC.
 2. ANY MODIFICATION TO THIS CONSTRUCTION PACKAGE OR TO THE CONSTRUCTION SCHEDULE SHALL BE APPROVED BY THE ARCHITECT. PRIOR TO SAID APPROVAL, ALL IMPROVEMENT DRAWINGS SHALL BE RESUBMITTED AND APPROVED BY THE ARCHITECT.
 3. THE CONTRACTOR SHALL LOCATE, RETAIN AND PROTECT ALL EXISTING UTILITIES UNLESS OTHERWISE DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
 4. THE CONTRACTOR SHALL MAINTAIN 10 FOOT HORIZONTAL AND 18 INCH VERTICAL SEPARATION, CULINARY WATER LINES, SANITARY SEWER, AND STORM DRAIN LINES.
 5. THE CONTRACTOR SHALL INSTALL ALL SANITARY SEWER MAINS, SERVICE LINES, AND STORM DRAIN LINES PRIOR TO INSTALLING ANY WATER SYSTEM IMPROVEMENTS. ADJUST WATER MAIN DEPTH PER JURISDICTION AS REQUIRED TO AVOID SANITARY SEWER SERVICE LINES.
 6. CONTRACTOR SHALL NOTIFY ARCHITECT OF ALL UTILITY CONFLICTS UPON DISCOVERY.
 7. CONTRACTOR SHALL COORDINATE CONSTRUCTION AND INSTALLATION OF ELECTRICAL, TELEPHONE, NATURAL GAS AND CABLE TV SERVICES WITH THE RESPECTIVE UTILITY COMPANY. OWNER SHALL PAY ALL ASSOCIATED UTILITY COMPANY FEES.
 8. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SLOPE AND CONSTRUCTION OF CONNECTING SEWER PIPING.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER BACKFILLING, COMPACTING, AND PAVEMENT RESTORATION.
 10. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND COMPLY WITH ALL PERMITTING REQUIREMENTS.
 11. ALL THURST BLOCS SHALL BE POURED IN PLACE AGAINST UNDISTURBED SOIL. ALL VALVES, FITTINGS, AND APPURTENANCES TO BE BLOCCED.
 12. ALL EXPOSED NUTS AND BOLTS WILL BE COATED WITH A NON-OXIDE MARK AND WARRIORS IN 8-MIL POLYETHYLENE AS DIRECTED BY GEOTECHNICAL STUDY.
 13. CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCIES STANDARDS. WET DOWN DRY MATERIALS AND SURFACES TO PREVENT BLOWNS.
 14. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS DURING CONSTRUCTION.
 15. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES FOR WARRANTY PERIOD.
 16. ALL EXISTING ASPHALT SHALL BE SAW CUT IN NEAT STRAIGHT LINES BY THE CONTRACTOR PRIOR TO EXCAVATION.
 17. CONTRACTOR TO INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL PVC PROJECT.
 18. THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE PROJECT.
 19. TRAFFIC CONTROL IS TO CONFORM TO THE CURRENT CITY AND/OR STATE TRANSPORTATION ENGINEERS MANUAL.
 20. A UPDATES GENERAL CONSTRUCTION STORM WATER PERMIT MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
 21. ALL WORK SHALL CONFORM TO THE CURRENT EDITION OF ALL LOCAL, D.O.T. & APPLICABLE STANDARD SPECIFICATIONS AND DRAWINGS.



STREET LIGHT NOTE:
ALL PROPOSED STREET LIGHTS TO BE PER SOUTH WEBER CITY STANDARDS - STANDARD RESIDENTIAL STREET LIGHT.



Elevation Datum
SITE BENCHMARK:
TOP OF BRASS CAP MONUMENT LOCATED ON THE NORTH RIGHT-OF-WAY OF LESTER STREET APPROX. 510 FEET EAST OF THE EASTERN MOST BOUNDARY LINE SHARED WITH THE KAP SUBDIVISION.
DAVIS COUNTY SURVEY,
ELEVATION = 4495.410' NAVD'29.

Developer Contact
Layne Kap
8085 S. Juniper Court
South Weber, Utah 84405
PH: (801) 725-5510

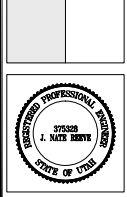
Blue Stakes Location Center
Call: Toll Free
1-800-662-4111
Two Working Days Before You Dig



| REVISIONS | DESCRIPTION |
|-------------|---------------|
| 10-7-13 RH | City Comments |
| 11-3-13 TH | City Comments |
| 11-19-13 RH | City Comments |

**Easton Village Subdivision
Phase-2
Cover/Index Sheet**

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

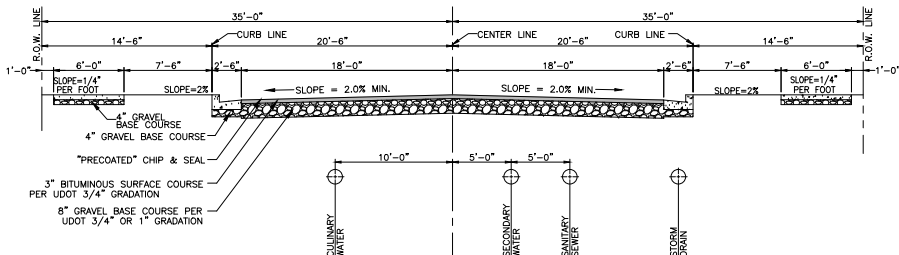


Project Info.
Engineer: J. KYLE BURT, P.E.
Drafted: R. HANSEN
Begin Date: 9-3-13
Name: EASTON VILLAGE SUBDIVISION PHASE-2
Number: 5663-09

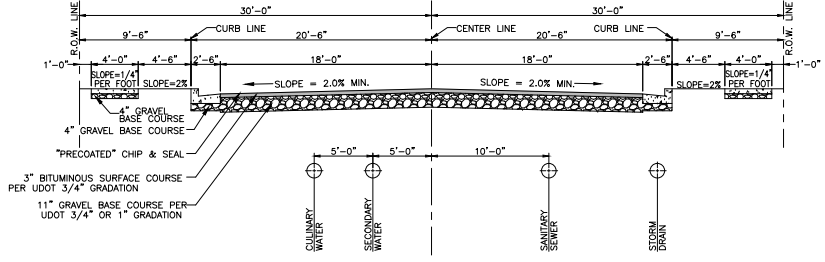
Sheet **7**
1 Sheets

Reeve & Associates, Inc. - Solutions You Can Build On

Reeve & Associates, Inc. - Solutions You Can Build On



**South Bench Drive
Street Section (70' R.O.W.)**
SCALE: NONE
(REFER TO SITE SPECIFIC GEOTECHNICAL REPORT, PREPARED BY EARTHTEC ENGINEERING, DATED MARCH 21, 2012. GEOTECHNICAL REPORT TO GOVERN & CONTROL.)



**1075 East St.
Street Section (60' R.O.W.)**
SCALE: NONE
(REFER TO SITE SPECIFIC GEOTECHNICAL REPORT, PREPARED BY EARTHTEC ENGINEERING, DATED MARCH 21, 2012. GEOTECHNICAL REPORT TO GOVERN & CONTROL.)

Legend

| | | |
|---|---------------------------------------|--|
| — W — = PROPOSED CULINARY WATER LINE | □ = EXISTING CATCH BASIN | L.F. = LINEAR FEET |
| - - - EX.W - - - = EXISTING CULINARY WATER LINE | ● = EXISTING SPRINKLER | NG = NATURAL GRADE |
| — SS — = PROPOSED SANITARY SEWER LINE | ● = PLUG W/ 2" BLOW-OFF | O.C. = ON CENTER |
| - - - EX.SS - - - = EXISTING SANITARY SEWER LINE | ● = AIR-VAC ASSEMBLY | PC = POINT OF CURVE |
| — SD — = PROPOSED STORM DRAIN LINE | ▼ = PROPOSED REDUCER | PRC = POINT OF REVERSE CURVE |
| - - - EX.SD - - - = EXISTING STORM DRAIN LINE | ⬇ = PLUG & BLOCK | PRVC = POINT OF REVERSE VERTICAL CURVE |
| — LD — = PROPOSED LAND DRAIN LINE | ⊙ = STREET LIGHT | PT = POINT OF TANGENT |
| - - - EX.LD - - - = EXISTING LAND DRAIN LINE | — = SIGN | PP = POWER/UTILITY POLE |
| — SW — = PROPOSED SECONDARY WATER LINE | BLDG = BUILDING | P.U.E. = PUBLIC UTILITY BASHMENT |
| - - - EX.SW - - - = EXISTING SECONDARY WATER LINE | BVC = BEGIN VERTICAL CURVE | R/C = REBAR & CAP |
| — IRR — = PROPOSED IRRIGATION LINE | C&G = CURB & GUTTER | RCB = REINFORCED CONCRETE BOX |
| - - - EX.IRR - - - = EXISTING IRRIGATION LINE | CB = CATCH BASIN | RCF = REINFORCED CONCRETE PIPE |
| — OHP — = EXISTING OVERHEAD POWER LINE | C.F. = CUBIC FEET | RIM = RIM OF MANHOLE |
| — TEL — = EXISTING TELEPHONE LINE | C.F.S. = CUBIC FEET PER SECOND | R.O.W. = RIGHT-OF-WAY |
| — GAS — = EXISTING NATURAL GAS LINE | CL = CENTERLINE | SD = STORM DRAIN |
| — — — = EXISTING EDGE OF PAVEMENT | DI = DUCTILE IRON | SS = SANITARY SEWER |
| × — × — = FENCE LINE | EP = EDGE OF PAVEMENT | SW = SECONDARY WATER |
| — — — = MASONRY BLOCK/RETAINING WALL | EVC = END VERTICAL CURVE | TBC = TOP BACK OF CURB |
| — — — = DITCH/SWALE FLOWLINE | FC = FENCE CORNER | TOE = TOP OF SLOPE |
| ● = PROPOSED FIRE HYDRANT | FF = FINISH FLOOR | TOP = TOP OF SLOPE |
| ○ = EXISTING FIRE HYDRANT | FFE = FINISH FLOOR ELEVATION | TOW = TOP OF WALL |
| ● = PROPOSED MANHOLE | FG = FINISHED GRADE | TSW = TOP OF SIDEWALK |
| ○ = EXISTING MANHOLE | FH = FIRE HYDRANT | VPI = VERTICAL POINT OF INTERSECT. |
| ● = PROPOSED SEWER CLEAN-OUT | FL = FLOW LINE | W = CULINARY WATER |
| ⊥ = PROPOSED GATE VALVE | GB = GRADE BREAK | WM = WATER METER |
| X = EXISTING GATE VALVE | HDPE = HIGH DENSITY POLYETHYLENE PIPE | ■ = PROPOSED PAVEMENT |
| ● = PROPOSED WATER METER | INV = INVERT | ■ = PROPOSED CONCRETE |
| ● = EXISTING WATER METER | IRR = IRRIGATION | |
| ■ = PROPOSED CATCH BASIN | LD = LAND DRAIN | |

General Notes

- ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE DEVELOPMENT STANDARDS OF SOUTH WEBER CITY AND THE CITY OF SOUTH WEBER DRAWINGS CONTAINED THEREIN. SOUTH WEBER CITY PUBLIC WORKS REQUIREMENTS SHALL BE MET.
- THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.
- ELEVATIONS SHOWN AT THE CURB LINE ARE TOP OF CURB ELEVATIONS.
- THE STREET STRUCTURAL CROSS SECTION IS PER THE CITY OF SOUTH WEBER CONTAINED WITHIN THESE PLANS.
- WATER LINE PIPE SHALL BE DUCTILE IRON CLASS-51. WASHOUT ASSEMBLIES SHALL CONSIST OF A KUPFERLE FOUNDRY CO. 2" BLOW-OFF HYDRANT (OR CITY-APPROVED EQUIV.) PLACED IN A BOX LOCATED IN THE PARK STRIP. WATER LINES SHALL BE ADJUSTED IN DEPTH AND GATE VALVES IN LOCATION SO AS NOT TO INTERFERE WITH STORM DRAIN CROSSINGS.
- SANITARY SEWER LATERALS SHALL BE GREEN, AND FOUNDATION DRAIN LATERALS SHALL BE WHITE TO PREVENT CONFUSION. FOUNDATION DRAIN MANHOLE LIDS SHALL BE MARKED "DRAIN" AND SHALL BE UNVENTED.
- SECONDARY WATER LINE SHALL BE PVC C-900 CLASS 200 DR-14. ALL SECONDARY WATER VALVE LIDS SHALL BE STAMPED "IRRIGATION".
- METALLIC LOCATOR TAPE REQUIRED (SEE SECTION 3 OF WBWC SPECIFICATIONS).
- REFERENCE SECTION 3 OF WBWC SPECIFICATIONS FOR OTHER SPECIFICATIONS/ REQUIREMENTS TO BE INCLUDED ON CONTRACT DOCUMENTS.



| REVISIONS | DESCRIPTION |
|-----------|-------------|
| DATE | BY |
| 10-27-13 | RH |
| 11-13-13 | RAH |
| 11-13-13 | RAH |
| 11-13-13 | RAH |

Revised: 11-19-13

**Easton Village Subdivision
Phase-2**
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH
**Street Cross-Sections/
Master Legend/Notes**

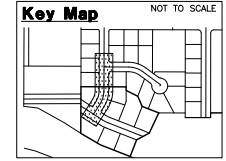


Project Info.
 Engineer: J. MATE REEVE, P.E.
 Drafter: R. HANSEN
 Begin Date: 9-3-13
 Name: EASTON VILLAGE SUBDIVISION PHASE-2
 Number: 5663-09

Sheet **7**
 2 Sheets

| Centerline Curve Data | | | | | | |
|-----------------------|-----------|---------|--------|---------|-------------|-----------|
| # | Delta | Radius | Length | Tangent | Chord | CH Length |
| C1 | 32°34'30" | 150.00' | 85.28' | 43.83' | N16°27'36"E | 84.14' |

| TBC Curve Data | | | | | | |
|----------------|-----------|---------|--------|---------|-------------|-----------|
| # | Delta | Radius | Length | Tangent | Chord | CH Length |
| C4 | 32°34'30" | 129.50' | 73.63' | 37.84' | N16°27'36"E | 72.64' |
| C5 | 32°34'30" | 170.50' | 96.94' | 49.82' | N16°27'36"E | 95.64' |
| C6 | 90°00'00" | 20.00' | 31.42' | 20.00' | N77°44'51"E | 28.28' |
| C7 | 90°00'00" | 20.00' | 31.42' | 20.00' | S12°15'09"E | 28.28' |



Construction Notes:

1) ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY.

CULINARY WATER

W/8 - 8" DUCTILE IRON CLASS-51 WATER

SANITARY SEWER

SS/8 - 8" PVC SDR-35 SEWER LINE

SS/10 - 10" PVC SDR-35 SEWER LINE

STORM DRAIN

SD/15 - 15" RCP STORM DRAIN

SD/18 - 18" RCP STORM DRAIN

SD/24 - 24" RCP STORM DRAIN

SECONDARY WATER

SW/8 - 8" PVC C-900 CLASS 200 DR-14

SECONDARY WATER LINE

Reeve & Associates, Inc.
 4155 S. HARRISON BLVD., SUITE 100, OGDEN, UTAH 84403
 TEL: (801) 471-3300 FAX: (801) 471-3368 WWW.REEVE-ASSOCIATES.COM
 LICENSE: PROFESSIONAL ENGINEERS "A" LICENSE #000000000

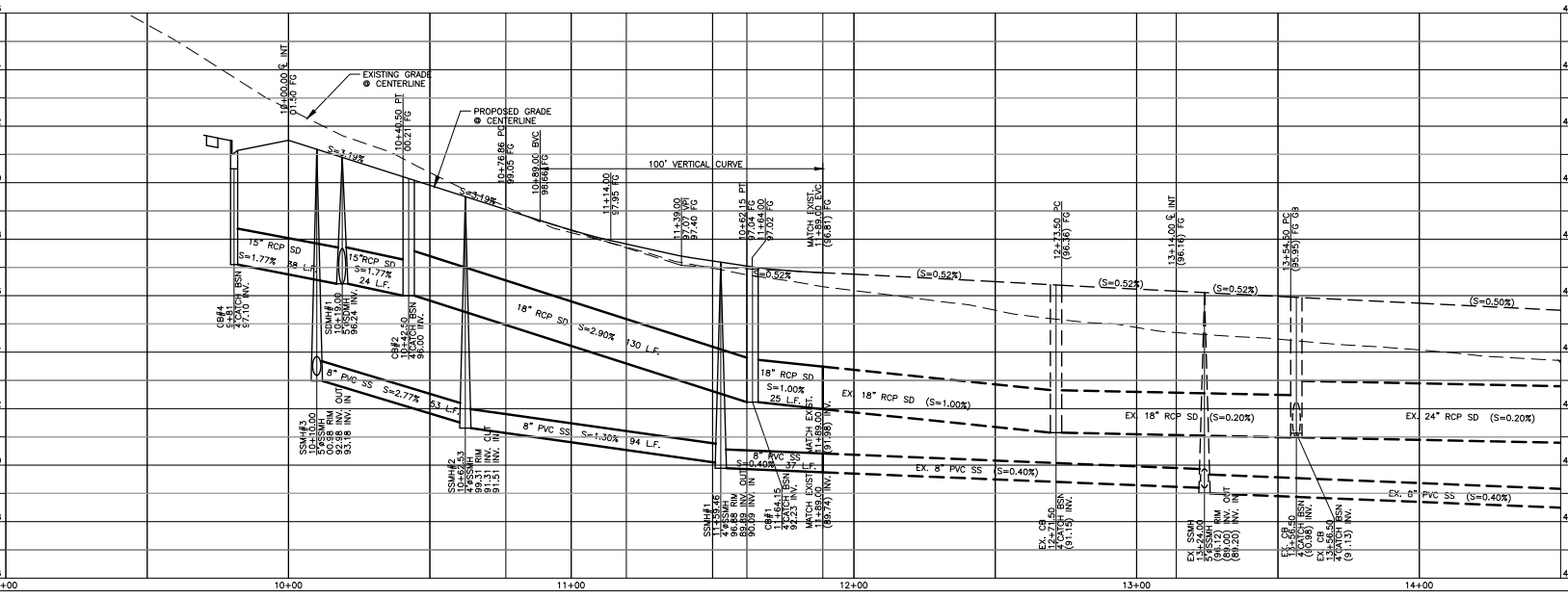
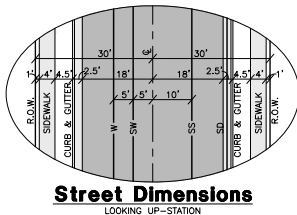
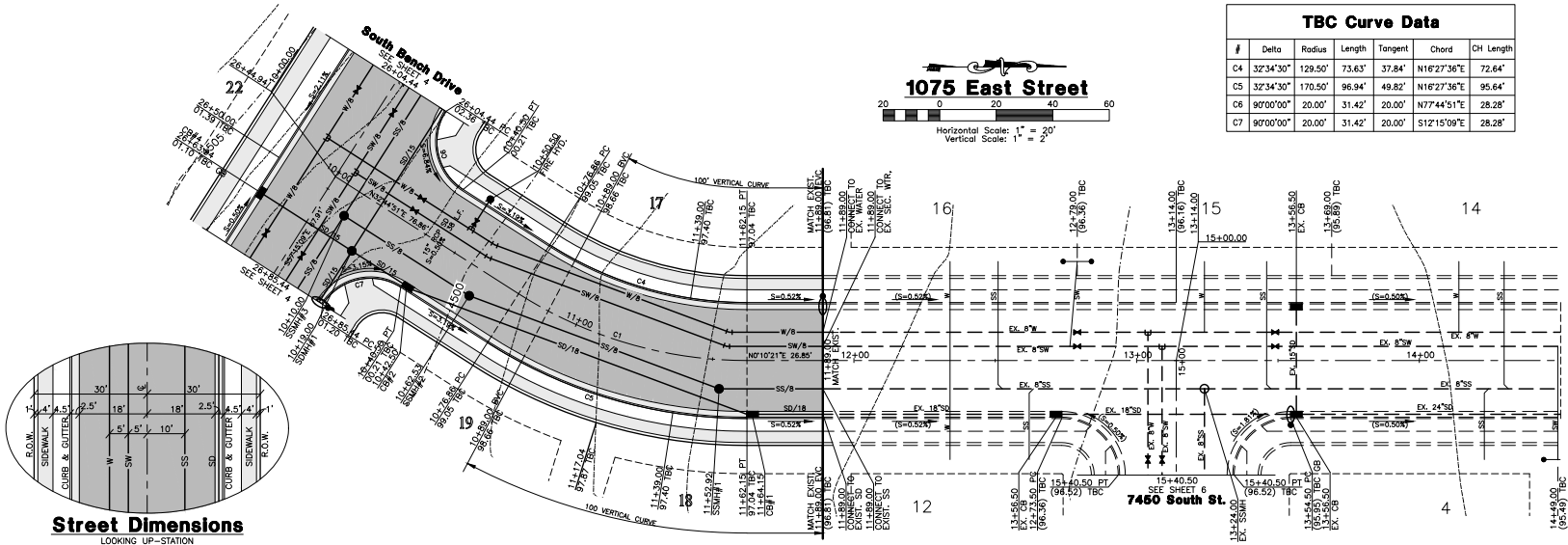
| REVISIONS | DESCRIPTION |
|-----------|--------------------|
| DATE | |
| 10-2-13 | PH - City Comments |
| 11-19-13 | PH - City Comments |
| 11-19-13 | PH - City Comments |

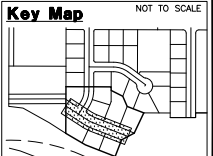
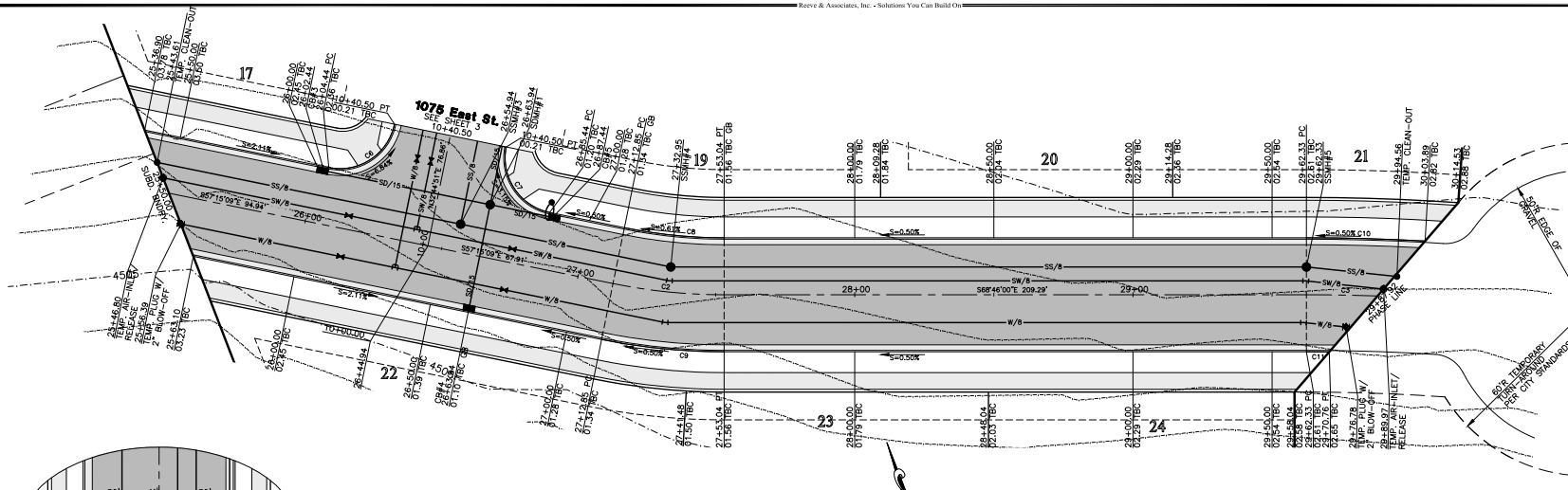
Easton Village Subdivision
Phase-2
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH
1075 East Street
9+50.00 - 14+50.00

Revised: 11-19-13

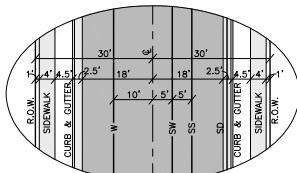
Project Info.
 Engineer: J. Kyle Berry, P.E.
 Drafter: R. Hansen
 Begin Date: 9-3-13
 Name: EASTON VILLAGE SUBDIVISION PHASE-2
 Number: 5663-09

Blue Stakes Location Center
Call: Toll Free 1-800-662-4111
 Two Working Days Before You Dig

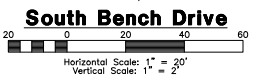




- Construction Notes:**
- ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY.
- CULINARY WATER**
W/8 - 8" DUCTILE IRON CLASS-51 WATER
- SANITARY SEWER**
SS/8 - 8" PVC SDR-35 SEWER LINE
SS/10 - 10" PVC SDR-35 SEWER LINE
- STORM DRAIN**
SD/15 - 15" RCP STORM DRAIN
SD/18 - 18" RCP STORM DRAIN
SD/24 - 24" RCP STORM DRAIN
- SECONDARY WATER**
SW/8 - 8" PVC C-900 CLASS 200 DR-14 SECONDARY WATER LINE



Street Dimensions
LOOKING UP-STATION

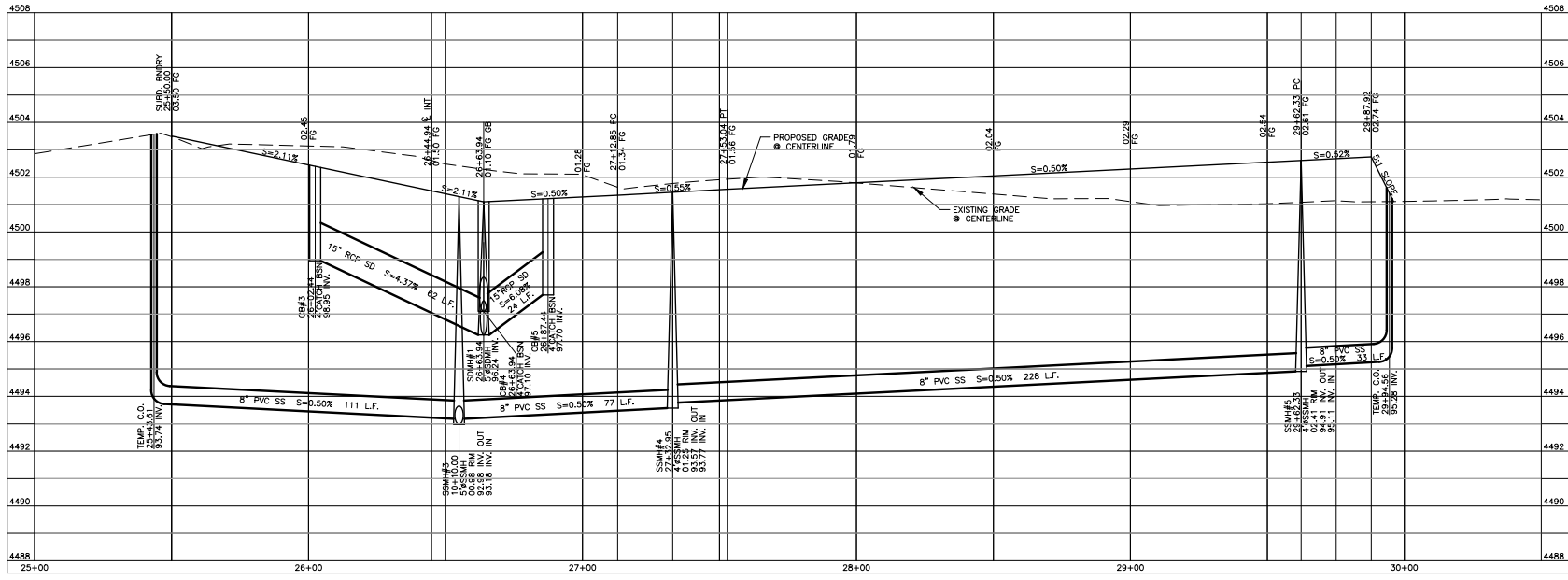


Centerline Curve Data

| # | Delta | Radius | Length | Tangent | Chord | CH Length |
|----|-----------|---------|--------|---------|-------------|-----------|
| C2 | 11°30'51" | 200.00' | 40.19' | 20.16' | S63°00'34"E | 40.12' |
| C3 | 1°56'31" | 755.00' | 25.59' | 12.80' | S67°47'44"E | 25.59' |

TBC Curve Data

| # | Delta | Radius | Length | Tangent | Chord | CH Length |
|-----|-----------|---------|--------|---------|-------------|-----------|
| C6 | 90°00'00" | 20.00' | 31.42' | 20.00' | N77°44'51"E | 28.28' |
| C7 | 90°00'00" | 20.00' | 31.42' | 20.00' | S12°15'09"E | 28.28' |
| C8 | 11°30'51" | 179.50' | 36.07' | 18.10' | S63°00'34"E | 36.01' |
| C9 | 11°30'51" | 220.50' | 44.31' | 22.23' | S63°00'34"E | 44.24' |
| C10 | 3°09'13" | 775.50' | 42.68' | 21.35' | N67°11'23"W | 42.68' |
| C11 | 0°38'24" | 8.20' | 8.20' | 4.10' | N68°26'48"W | 8.20' |



Reeve & Associates, Inc.
IRA

REVISIONS

| DATE | DESCRIPTION |
|----------|--------------------|
| 10-27-13 | RH - City Comments |
| 11-19-13 | RH - City Comments |

Easton Village Subdivision
Phase-2
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH
South Bench Drive
25+00.00 - 30+50.00

Revised: 11-19-13

PROFESSIONAL ENGINEER
 37028
J. MATE REEVE
 STATE OF UTAH

Project Info.
 Engineer: J. MATE REEVE, P.E.
 Drafter: R. HANSEN
 Begin Date: 3-3-13
 Name: EASTON VILLAGE SUBDIVISION PHASE-2
 Number: 5663-09

Blue Stakes Location Center
Call: Toll Free 1-800-662-4111
 Two Working Days Before You Dig

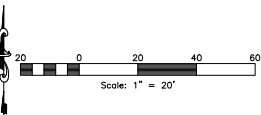


EASEMENT FOR PROPOSED FUTURE ROAD DEDICATION

6' HIGH VINYL PRIVACY FENCE TO BE INSTALLED ALONG WEST BOUNDARY OF PHASE-1 & 2.

FUTURE DEVELOPMENT

FUTURE DEVELOPMENT



| DATE | DESCRIPTION |
|----------|---------------|
| 10-2-11 | City Comments |
| 11-13-13 | City Comments |
| 11-19-13 | City Comments |

Easton Village Subdivision Phase-2
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH
Overall Grading Plan

Revised: 11-19-13



Project Info.
 Engineer: J. MATE REEVE, P.E.
 Drafter: R. HANSEN
 Begin Date: 9-3-13
 Name: EASTON VILLAGE SUBDIVISION PHASE-2
 Number: 5663-09

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Call: Toll Free 1-800-662-4111
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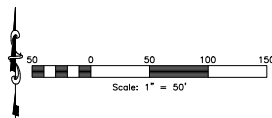
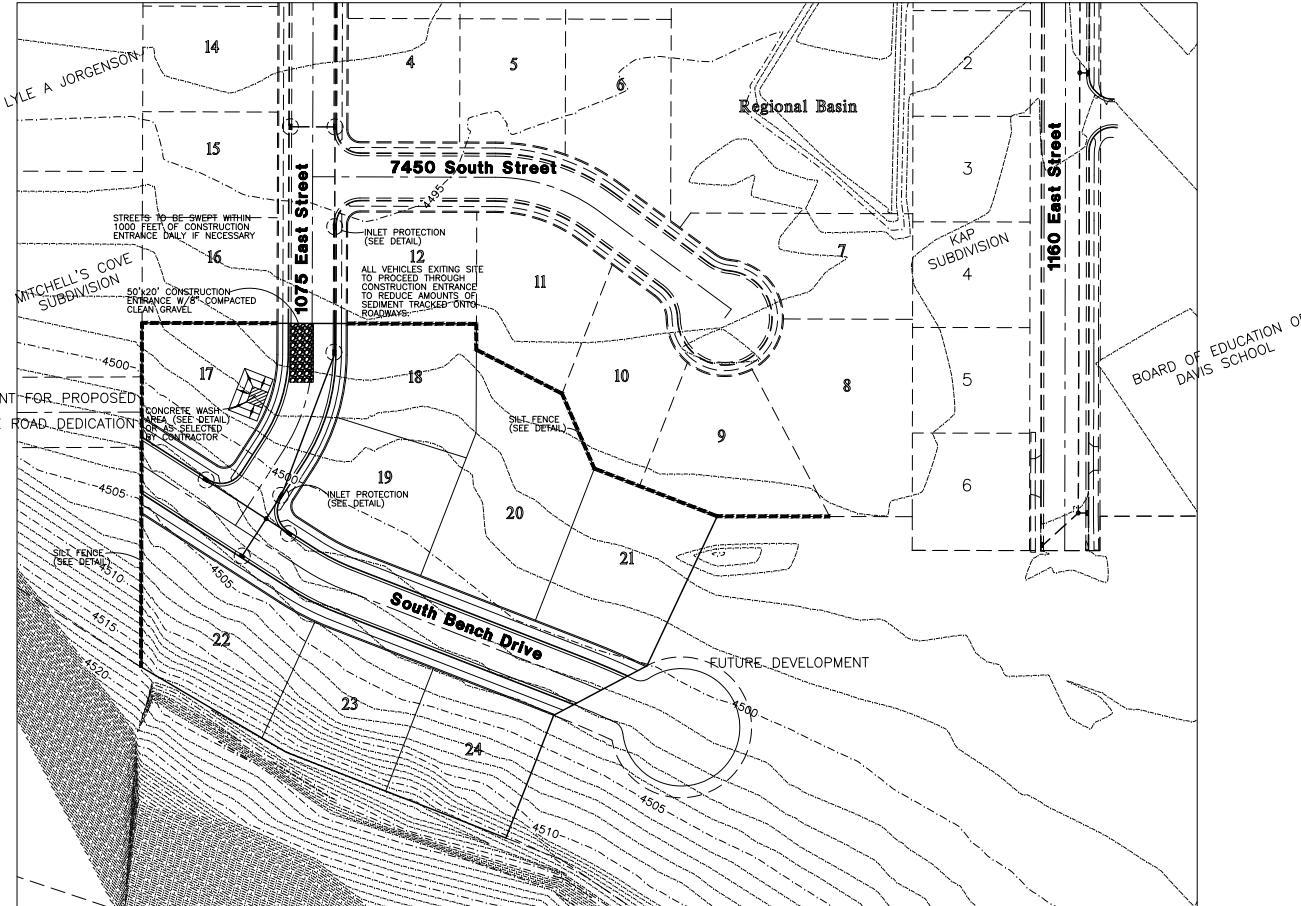
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|-------|--------|
| Sheet | 7 |
| 5 | Sheets |

EASTON VILLAGE SUBDIVISION Phase-2 Storm Water Pollution Prevention Plan Exhibit

SOUTH WEBER CITY, DAVIS COUNTY, UTAH
SEPTEMBER 2013



Vicinity Map
NOT TO SCALE



| Construction Activity Schedule | |
|---|--------------------------------|
| - PROJECT LOCATION..... | SOUTH WEBER CITY, DAVIS COUNTY |
| - PROJECT BEGINNING DATE..... | SEPTEMBER 2013 |
| - BMP'S DEPLOYMENT DATE..... | SEPTEMBER 2013 |
| - STORM WATER MANAGEMENT CONTACT / INSPECTOR..... | TRAVIS ARGYLE (801) 458-2181 |
| - SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER | |

Reeve & Associates, Inc. - Solutions You Can Build On

Reeve & Associates, Inc.

 4155 S. HARRISON BLVD., SUITE 100, OGDEN, UTAH 84403
 TEL: (801) 471-3300 FAX: (801) 471-3308 www.reeve-associates.com
 UTAH LICENSE # 26340 PROFESSIONAL ENGINEER
 UTAH LICENSE # 26340 PROFESSIONAL ENGINEER

| REVISIONS | DESCRIPTION |
|-------------|---------------|
| 10-27-13 RH | City Comments |
| 11-13-13 RH | City Comments |
| 11-19-13 RH | City Comments |

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**Easton Village Subdivision
Phase-2
Storm Water Pollution
Prevention Plan Exhibit**

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

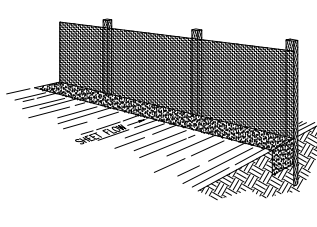


Project Info.
 Engineer: J. MATE REEVE, P.E.
 Drafter: R. HANSEN
 Begin Date: 9-3-13
 Name: EASTON VILLAGE SUBDIVISION PHASE-2
 Number: 5663-09

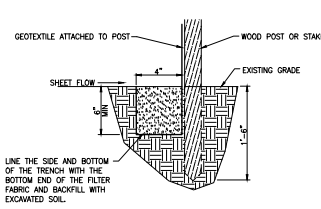
| | |
|----------|----------|
| Sheet | 7 |
| 6 | Sheets |

Notes:

- Describe all BMP's to protect storm water inlets:
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
 - Equipment / building / concrete wash areas:
To be performed in designated areas only and surrounded with silt fence.
 - Soil contaminated by soil amendments:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Areas of contaminated soil:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Fueling areas:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle maintenance areas:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle parking areas:
To be performed in designated areas only and surrounded with silt fence.
 - Equipment storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Materials storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Waste containment areas:
To be performed in designated areas only and surrounded with silt fence.
 - Service areas:
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion.
- Construction Vehicles and Equipment:
 - Maintenance
 - Maintain all construction equipment to prevent oil or other fluid leaks.
 - Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
 - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - Check incoming vehicles and equipment (including delivery trucks, and employees and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
 - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
 - Fueling
 - If fueling must occur on-site, use designated areas away from drainage.
 - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
 - Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
 - Use drip pans for any oil or fluid changes.
 - Washing
 - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
 - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
 - Use phosphate-free, biodegradable soaps.
 - Do not permit steam cleaning on-site.
- Spill Prevention and Control
 - Minor Spills:
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
 - Contain the spread of the spill.
 - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
 - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up properly dispose of contaminated soil.
 - If the spill occurs during rain, cover the impacted area to avoid runoff.
 - Record all steps taken to report and contain spill.
 - Major Spills:
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
 - Maintain good housekeeping practices.
 - Enclose or cover building material storage areas.
 - Properly store materials such as paints and solvents.
 - Store dry and wet materials under cover, away from drainage areas.
 - Avoid mixing excess amounts of fresh concrete or cement on-site.
 - Perform washout of concrete trucks offsite or in designated areas only.
 - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
 - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
 - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
 - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
 - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
 - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is imminent.
 - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that has the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
 - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
 - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
 - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
 - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the Engineer of record or the governing agency.
 - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the Engineer of record.
 - Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
 - Erosion control devices will be modified as need as the project progresses, and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
 - Part III.D.4 of general permit UTR30000 identifies the minimum inspection requirements.
 - Part III.D.4.C identifies the minimum inspection report requirements.
 - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 30000.



Perspective View



Section

INSTALLATION

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fence) at various site grades for most silt fence applications.

| TABLE 1: Recommended Maximum Slope Lengths for Silt Fence (Richardson & Middlebrooks, 1991) | |
|--|------------------------|
| Slope Steepness (%) | Max. Slope Length (ft) |
| <2% | 30.5m (100ft) |
| 2-5% | 22.9m (75ft) |
| 5-10% | 15.2m (50ft) |
| 10-20% | 7.6m (25ft) |
| >20% | 4.5m (15ft) |

PREFABRICATED SILT FENCE ROLLS

- Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- Unroll the silt fence, positioning the post against the downstream wall of the trench.
- Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
- Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
- Bury the loose geotextile at the bottom of the trench in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage.

FIELD ASSEMBLY:

- Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing

should generally be less than three (3) times the height of the fence.

- If a steel or plastic mesh is required to reinforce the geotextile, it shall have a minimum mesh opening of 15.2cm (6").
- Fasten the mesh to the upslope side of the posts using heavy duty wire staples, tie wires or hog rings. Extend the mesh into the bottom of the trench.
- The geotextile shall then be stapled or wired to the posts. An extra 20-50cm (8-20") of geotextile shall extend into the trench.

INSPECTION

- Inspect the silt fence daily during periods of rainfall, immediately after significant rainfall event and weekly during periods of no rainfall. Make any repairs immediately.
- When sediment deposits behind the silt fence are one-third of the fence height, remove and properly dispose of the silt accumulations. Avoid damage to the fabric during cleanout.

REMOVAL

- Silt fence should not be removed until construction ceases and the upslope area has been properly stabilized and/or revegetated.

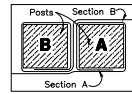
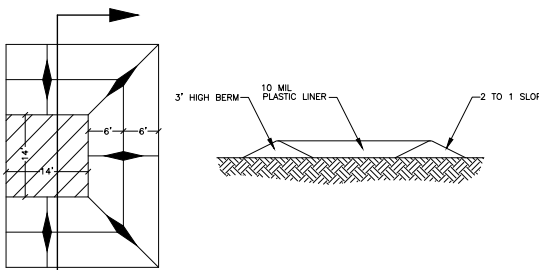


Figure 1:
Top View of
Roll-to-Roll Connection

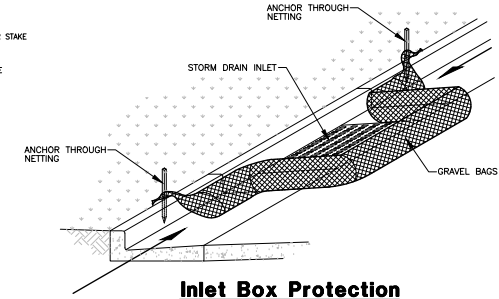
Silt Fence Detail

SCALE: NONE

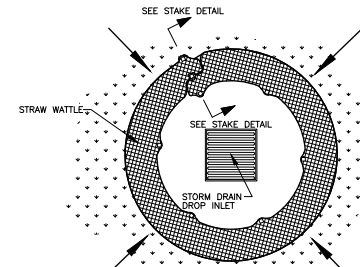


**Concrete Washout Area
w/ 10 mil Plastic Liner**

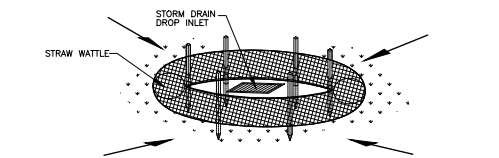
SCALE: NONE



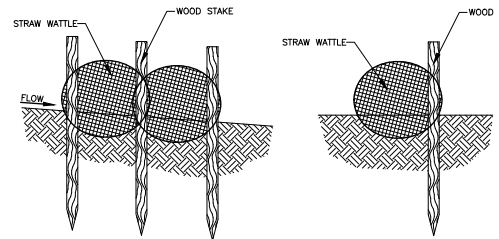
Inlet Box Protection



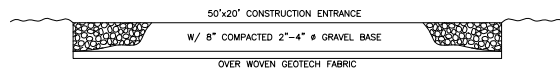
Plan View



Drop Inlet Protection



Stake Detail



Cross Section 50' x 20' Construction Entrance

Reeve & Associates, Inc.

 115 S. HARRISON BLVD. STE. 100, OGDEN, UTAH 84403
 TEL: (801) 471-3300 FAX: (801) 471-3309 WWW.REEVE-ASSOCIATES.COM
 OFFICE: WASHINGTON, D.C. | DENVER, CO. | SALT LAKE CITY, UT

| REVISIONS | DATE | DESCRIPTION |
|-----------|----------|--------------------|
| 1 | 10-27-13 | RI - City Comments |
| 2 | 11-19-13 | RI - City Comments |
| 3 | 11-19-13 | RI - City Comments |

**Easton Village Subdivision
Phase-2**
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH
**Storm Water Pollution
Prevention Plan Exhibit**

Revised: 11-19-13

PROFESSIONAL ENGINEER
 J. MATE REEVE, P.E.
 STATE OF UTAH

Project Info.
 Engineer: J. MATE REEVE, P.E.
 Drafter: R. HANSEN
 Begin Date: 9-3-13
 Name: EASTON VILLAGE SUBDIVISION PHASE-2
 Number: 5663-09

Sheet **7** of 7 Sheets



Vicinity Map

Reeve & Associates, Inc.
 100 S. HARRISON BLVD., SUITE 310, OGDEN, UTAH 84403
 TEL: 469.4400 FAX: 469.4401
 WWW.REEVE-ASSOCIATES.COM



| REVISIONS | DESCRIPTION | DATE |
|-----------|-------------|------|
| | | |
| | | |
| | | |

Easton Village Subdivision
 PART OF THE NE 1/4 OF SECTION 33, T.4N., R. 1W., S.1B. & M., U.S. SURVEY
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH



Project Info.
 Engineer: N. Reeve
 Designer: C. Cave
 Begin Date: 3/1/2012
 Name: EASTON VILLAGE SUBD.
 Number: 5663-09

| | |
|-------|---|
| Sheet | 1 |
| of | 1 |

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 4155 S. HARRISON BLVD., EXECUTIVE BLDG. #310, OGDEN, UTAH 84403, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

7375 South Street

1025 East Street

Lester Street

1160 East Street

7375 South

Easton Village Subdivision

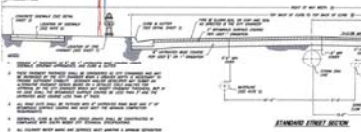
South Weber City, Davis County, Utah

Design Criteria
 TOTAL AREA OF SUBD.....16.87 ACRES
 BASE DENSITY 18.67 X 2.8 = 54.3 LOTS
 NUMBER OF LOTS PROPOSED 40 LOTS

NOTES:
 1. CONTOURS ARE SHOWN WITH A TWO FOOT INTERVAL.

Legend

- SS- PROPOSED SANITARY SEWER LINE
- EXIST SS- EXISTING SANITARY SEWER LINE
- IRR- PROPOSED IRRIGATION WATER LINE
- EXIST IRR- EXISTING IRRIGATION WATER LINE
- CUL- PROPOSED CULINARY WATER LINE
- EXIST CUL- EXISTING CULINARY WATER LINE
- SD- EXISTING STORM DRAIN (SIZE VARIES)
- EXIST SD- EXISTING STORM DRAIN
- LD- PROPOSED LAND DRAIN
- EXIST LD- EXISTING LAND DRAIN
- F- EXISTING FENCE LINE
- FH- PROPOSED FIRE HYDRANT
- SM- PROPOSED SANITARY SEWER MANHOLE
- GV- PROPOSED GATE VALVE
- P- PLUG W/ 2" BLOW-OFF
- M- PROPOSED STORM DRAIN MANHOLE
- B- PROPOSED SINGLE GRATE CATCH BASIN WITH BICYCLE-SAFE GRATE
- R- PROPOSED REDUCERS
- P & B- PLUG & BLOCK
- A-V- AIR-VAC ASSEMBLY
- S- PROPOSED STREET LIGHT
- AS- EXISTING ASPHALT SURFACE
- PS- PROPOSED ASPHALT SURFACE



Line Data

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 89°54'39" E | 64.87 |
| L2 | N 00°00'00" E | 53.41 |
| L3 | N 00°00'00" E | 29.34 |

Curve Data

| CURVE | RADIUS | LENGTH | PC | PT | PI | TS | STATIONING | CHORD LENGTH |
|-------|--------|--------|-----------|-----------|-----------|-----------|------------|--------------|
| C1 | 150.00 | 85.28 | 103+43.30 | 111+25.67 | 119+25.67 | 103+43.30 | 85.28 | 84.14 |
| C2 | 200.00 | 40.19 | 111+25.67 | 120.18 | 125.00 | 111+25.67 | 40.19 | 39.26 |
| C3 | 250.00 | 27.44 | 120.18 | 125.00 | 129.82 | 120.18 | 27.44 | 26.78 |
| C4 | 180.00 | 143.71 | 149+34.4 | 175.30 | 189+47.41 | 149+34.4 | 143.71 | 142.48 |
| C5 | 150.00 | 64.81 | 179+01.11 | 188.00 | 192+00.04 | 179+01.11 | 64.81 | 64.72 |
| C6 | 150.00 | 25.11 | 189+45.40 | 192.21 | 197.39 | 189+45.40 | 25.11 | 25.02 |
| C7 | 115.00 | 65.38 | 192+25.00 | 203.00 | 212+25.00 | 192+25.00 | 65.38 | 64.53 |
| C8 | 180.00 | 50.63 | 171+14.74 | 178.03 | 182+47.14 | 171+14.74 | 50.63 | 50.25 |
| C9 | 180.00 | 43.25 | 171+14.74 | 178.03 | 182+47.14 | 171+14.74 | 43.25 | 42.87 |
| C10 | 160.00 | 33.14 | 181+25.21 | 186.60 | 191+20.00 | 181+25.21 | 33.14 | 32.76 |
| C11 | 230.00 | 33.14 | 181+25.21 | 186.60 | 191+20.00 | 181+25.21 | 33.14 | 32.76 |
| C12 | 750.00 | 24.62 | 193+42.4 | 197.50 | 198+47.39 | 193+42.4 | 24.62 | 24.45 |
| C13 | 750.00 | 110.50 | 197+51 | 208.34 | 218+43.5 | 197+51 | 110.50 | 110.43 |
| C14 | 750.00 | 110.50 | 197+51 | 208.34 | 218+43.5 | 197+51 | 110.50 | 110.43 |
| C15 | 750.00 | 110.50 | 197+51 | 208.34 | 218+43.5 | 197+51 | 110.50 | 110.43 |
| C16 | 750.00 | 110.50 | 197+51 | 208.34 | 218+43.5 | 197+51 | 110.50 | 110.43 |
| C17 | 750.00 | 110.50 | 197+51 | 208.34 | 218+43.5 | 197+51 | 110.50 | 110.43 |
| C18 | 750.00 | 110.50 | 197+51 | 208.34 | 218+43.5 | 197+51 | 110.50 | 110.43 |
| C19 | 750.00 | 110.50 | 197+51 | 208.34 | 218+43.5 | 197+51 | 110.50 | 110.43 |
| C20 | 160.00 | 117.92 | 142+13.54 | 161.78 | 189+47.41 | 142+13.54 | 117.92 | 115.27 |
| C21 | 230.00 | 90.72 | 22+35.59 | 45.96 | 58+58.53 | 22+35.59 | 90.72 | 89.12 |
| C22 | 230.00 | 78.79 | 107+26.59 | 130.19 | 158+05.40 | 107+26.59 | 78.79 | 77.65 |
| C23 | 120.00 | 9.67 | 436.56 | 4.84 | 800+12.56 | 436.56 | 9.67 | 9.66 |
| C24 | 120.00 | 26.26 | 173+25.56 | 173.18 | 173+47.32 | 173+25.56 | 26.26 | 26.31 |
| C25 | 25.00 | 18.69 | 425+00.00 | 0.81 | 538+28.39 | 425+00.00 | 18.69 | 18.20 |
| C26 | 50.00 | 65.02 | 72+33.00 | 98.41 | 120+42.00 | 72+33.00 | 65.02 | 64.81 |
| C27 | 50.00 | 72.65 | 83+12.11 | 144.44 | 153+57.03 | 83+12.11 | 72.65 | 72.43 |
| C28 | 50.00 | 61.04 | 172+15.84 | 165.00 | 148+18.24 | 172+15.84 | 61.04 | 60.88 |
| C29 | 50.00 | 33.08 | 175+43.39 | 171.19 | 150+40.01 | 175+43.39 | 33.08 | 32.48 |
| C30 | 25.00 | 18.69 | 425+00.00 | 0.81 | 538+28.39 | 425+00.00 | 18.69 | 18.20 |
| C31 | 180.00 | 44.24 | 144+44.44 | 22.00 | 180+21.18 | 144+44.44 | 44.24 | 43.25 |
| C32 | 180.00 | 9.96 | 304+31 | 4.83 | 301+20.43 | 304+31 | 9.96 | 9.85 |
| C33 | 180.00 | 44.24 | 144+44.44 | 22.00 | 180+21.18 | 144+44.44 | 44.24 | 43.25 |
| C34 | 180.00 | 55.69 | 174+30.00 | 28.00 | 180+21.18 | 174+30.00 | 55.69 | 55.48 |
| C35 | 115.00 | 72.92 | 187+44.44 | 37.33 | 171+39.48 | 187+44.44 | 72.92 | 71.70 |
| C36 | 60.00 | 68.34 | 69+12.27 | 38.41 | 58+00.00 | 69+12.27 | 68.34 | 67.30 |
| C37 | 60.00 | 68.34 | 69+12.27 | 38.41 | 58+00.00 | 69+12.27 | 68.34 | 67.30 |
| C38 | 60.00 | 68.34 | 69+12.27 | 38.41 | 58+00.00 | 69+12.27 | 68.34 | 67.30 |
| C39 | 60.00 | 68.34 | 69+12.27 | 38.41 | 58+00.00 | 69+12.27 | 68.34 | 67.30 |
| C40 | 25.00 | 18.69 | 425+00.00 | 0.81 | 538+28.39 | 425+00.00 | 18.69 | 18.20 |
| C41 | 25.00 | 18.69 | 425+00.00 | 0.81 | 538+28.39 | 425+00.00 | 18.69 | 18.20 |

STORM DRAIN CALCULATIONS
 AREA OF DETENTION AS PER BRAND JONES,
 CITY ENGINEER:
 217,800 C.F. REQUIRED
 43,713 S.F. X 5' DEPTH = 218,565 C.F. OK

said either the road is built to the fence line or removed back to this property. It was stated that the developer did stop at the fence line.

Commissioner Grubb moved to approve the amended subdivision application for Easton Village amendment to Phase One (16 lots), located at approximately 1160 East Lester Drive for Developer, Layne Kap with the following conditions:

- 1. Prior to recording of amendment, the developer must include a boundary line agreement with adjacent owner to the west; or a quit claim deed to clear up any gaps along the west line.**
- 2. Address all items on Brandon Jones, City Engineer’s, letter of 19 September 2013 to not include item #5 which is no longer an issue.**

Commissioner Westbroek seconded the motion. Commissioners Grubb, Hyde, Osborne, Stott, and Westbroek voted yes. The motion carried.

Recommendation to City Council to Amend December 11, 2012 Development Agreement between South Weber City and Calvin Kap, Keith Kap, and Layne Kap:

Commissioner Hyde said the ordinance was amended after the agreement was approved. Barry said the recommendation is to amend the agreement to coincide with the ordinance. Brandon Jones, City Engineer, said he supports the agreement matching the current city code and allows up to the 30 lots. He said the agreement allows for phase 1 before two means of ingress/egress. Layne explained that when the development agreement was made the city code didn’t require a number of lots for the other road. He said they agreed they wouldn’t do another phase until we had two ways out. Since then the city code has been changed to put a number of 30 units for two ways out.

Commissioner Grubb moved to approve the amendment to 11 December 2012 development agreement between South Weber City and Calvin Kap, Keith Kap, and Layne Kap and to recommend the developer follow the City code allowing up to 30 units. Commissioner Stott seconded the motion. Commissioners Grubb, Hyde, Osborne, Stott, and Westbroek voted yes. The motion carried.

Commissioner Grubb moved to open the public hearing for the preliminary and final application for Easton Village Phase Two Preliminary & Final Plat (8 lots) located at approximately 1160 East Lester Drive, Developer, Kastlerock Excavation. Commissioner Stott seconded the motion. Commissioners Grubb, Hyde, Osborne, Stott, and Westbroek voted yes. The motion carried.

******* PUBLIC HEARING *******

Preliminary and Final Subdivision Applications: Easton Village Phase Two Preliminary & Final Plat (8 lots), located at approximately 1160 East Lester Drive, Developer: Kastlerock Excavation: Layne Kap said they are looking at doing another phase on their project. He is requesting to do eight more lots.

Joe DeLong, 7382 S. 1025 E., he said the city engineer’s recommendation is that the road goes through our living room. He said in 2012 this project was discussed and now it is 2013 and he is

sitting with a home that has not been sold. He has not received an offer. He asked at what point in time is someone going to come to us because the subdivision will need another way out.

Commissioner Grubb said the city is not a developer and right now there is no requirement for a second access. He said there isn't a solution because the other property owners don't want to sale. Commissioner Grubb suggested Mr. DeLong discuss with adjoining property owners whether or not they will sale their property.

Commissioner Grubb moved to close the public hearing for preliminary and final subdivision applications for Easton Village, Phase Two Preliminary & Final Plat (8 lots) located at approximately 1160 East Lester Drive for Developer, Kastlerock Excavation. Commissioner Westbrook seconded the motion. Commissioners Grubb, Hyde, Osborne, Stott, and Westbrook voted yes. The motion carried.

******* PUBLIC HEARING CLOSED *******

Barry Burton, City Planner, said the boundary line agreement applies to this phase as well as phase one. He said the same 8 ft. strip needs to be taken care of in an agreement with a different owner (the Mitchells). Barry stated there is an issue with the owner's dedication on the plat which needs to be revised. The right of way width for phase 2 is not clear as being 60 ft. or 70 ft. Barry said there will be a collector road and questioned whether or not that should be a 70 ft right of way. Commissioner Grubb said the current ordinance is 70 ft. and feels it should be 70 ft. for the entire subdivision. Commissioner Hyde said the Planning Commission has to go by the 70 ft. right of way because it is city code.

Barry discussed 7575 South and suggested naming this street. Brandon discussed the monuments. The Planning Commission discussed the turn around at the east end. Brandon said it is important to provide a grading plan for lots 22, 23, & 24. Layne said because of the property line, they don't get to the toe of the hill. Brandon said a grading plan will show the contours and what would be proposed for the future. Commissioner Hyde said the fencing ordinance requires any property against agricultural property will require a minimum of a 6 ft. chain link fence.

Commissioner Grubb moved to recommend approval of the preliminary and final subdivision applications for Easton Village, Phase Two Preliminary & Final Plat (8 lots) located at approximately 1160 East Lester Drive for Developer, Kastlerock Excavation subject to the following:

- 1. Address all items on City staff letter.**
- 2. Address all items on Brandon Jones, City Engineer's, letter of 19 September 2013 with the addition of the boundary line agreement on the west or quit claim deed.**
- 3. Recommend all the streets in Phase 2 to be 70 ft. private right of way.**
- 4. City Council to make recommendation concerning the name for 7575 South with the developer making suggestions.**

Commissioner Stott seconded the motion. Commissioners Grubb, Hyde, Osborne, Stott, and Westbrook voted yes. The motion carried.

Layne Kap thanked the Planning Commission for their time.

Commissioner Grubb moved to open the public hearing for Preliminary and Final Subdivision Application for Serenity Estates Preliminary & Final Plat (1 lot) located at approximately 1550 East 7400 South for Developer, Kay Martinez. Commissioner Stott seconded the motion. Commissioners Grubb, Hyde, Osborne, Stott, and Westbroek voted yes. The motion carried.

******* PUBLIC HEARING *******

Preliminary and Final Subdivision Applications: Serenity Estates Preliminary & Final Plat (1 lot), located at approximately 1550 East 7400 South, Developer: Kay Martinez: Barry said the name on the plat states Martinez and needs to be changed to Serenity Estates. On the plat there is a piece of ground that is labeled a public road, it is the remnants of the old South Weber Drive. It is his understanding that this road needs to be vacated. He feels to clarify this a separate motion needs to be made to recommend to City Council to vacate this road. Barry said the access to 1550 East is not clear. He said there is a note that there is no access to Sandalwood Drive. He asked how can you prevent an access to Sandalwood Drive.

Ron Martinez, 69 E 200 N, Kaysville, said the telephone poles straddle both properties. He doesn't see the cabinet being a problem either. He said it is not in line with the access. Barry said if the cabinet is a century link than that would be expensive to move. Commissioner Grubb suggested making it a requirement that the cabinet isn't in the way of the access. He discussed the access to Sandalwood Drive and stated there is a sign stating it is a private road. Commissioner Osborne suggested installing a berm along the property line to discourage access. Commissioner Westbroek said if it states on the plat there is no access then whoever purchases the property should understand that.

Kirsten Knowles, 1582 East Sandalwood Drive, discussed how silly this random lot is. She asked why Mr. Martinez can't ask for access to the existing road.

Kirk Redford, 1035 Bateman Way, said as an HOA member of Bateman Estates, they will not allow for parking and access. He recommended not approving this lot because of the access.

Barry read the note stating "ingress/egress to Sandalwood Drive from Martinez Subdivision not allowed." Brandon suggested amending the note on the plat adding no vehicular or pedestrian access.

Commissioner Westbroek moved to close the public hearing for Preliminary and Final Subdivision Applications: Serenity Estates Preliminary & Final Plat (1 lot), located at approximately 1550 East 7400 South, Developer, Kay Martinez. Commissioner Osborne seconded the motion. Commissioners Grubb, Hyde, Osborne, Stott, and Westbroek voted yes. The motion carried.

******* PUBLIC HEARING CLOSED *******

Emily stated the application fee has not been paid. Mr. Martinez would prefer the Planning Commission table this item verses denying.

**Planning Commission Work Meeting
September 26, 2013**

Time: Work meeting began at 6:06 p.m.

Attendance: Commissioners Hyde, Grubb, Stott, Westbroek, and Osborne, Deputy Recorder Emily Thomas, City Planner Barry Burton, City Engineer Brandon Jones

Visitors:

Public Hearing to Amend Subdivision Application: Easton Village Amendment to Phase One (16 lots), located at approximately 1160 East Lester Drive, Developer: Layne Kap

Barry provided an overview of the amendment. The developer is proposing to amend the west boundary line of the development due to conflicts with the property owner to the west. The fence line and deed line do not match. If the proposed amendment is completed it will create a gap. This could cause the County to pick up the excess property on a tax sale. Barry recommends requiring the developer to enter into a boundary line agreement. This way there will not be a gap created.

Recommendation to City Council to Amend December 11, 2012 Development Agreement between South Weber City and Calvin Kap, Keith Kap, and Layne Kap

Barry explained that this agreement requires them to extend Lester through for phase two. Brandon clarified that this does not require an extension of Lester specifically, but rather requires a second means of access before moving on with phase two. Commissioner Hyde asked if this would mean they couldn't have a phase three. Barry clarified that this would mean a second access would have to be done as part of phase three. In keeping with current ordinance, phase two as proposed would be all that they could do – if the agreement is amended. If the agreement is not amended, then phase two cannot move forward.

Commissioner Westbroek inquired how a connection will be made if Lyle Jorgensen is refusing to allow them to connect. He added that he has heard there is a potential connection through the Williams' property. Brandon stated that this is not a viable connection and has been denied by UDOT. It is simply too close to the other intersections that connect onto South Weber Drive.

Commissioner Hyde asked why the agreement should be amended. Brandon stated that the current code allows them to count the number of units from the last point there are two accesses. With the proposed phase two they meet the current ordinance. The development agreement is stricter than current ordinance. We aren't giving them special treatment, just requiring them to follow current ordinance like other developers. The original agreement was put into place to ensure a second access was done at some point because the ordinance at the time was vague in regards to when the second access is required.

Public Hearing for Preliminary and Final Subdivision Applications: Easton Village Phase Two Preliminary & Final Plat (8 lots), located at approximately 1160 East Lester Drive, Developer: Kastlerock Excavation

Commissioner Hyde asked if there were any issues with phase two, if it reaches the point where we can make a recommendation. Brandon suggested naming 7575 south rather than identifying it by coordinates. This is a large street that impacts future developments and could create some issues down the road.

Public Hearing for Preliminary and Final Subdivision Applications: Serenity Estates Preliminary & Final Plat (1 lot), located at approximately 1550 East 7400 South, Developer: Kay Martinez

Commissioner Stott stated that this development is being proposed this way because the PUD/HOA does not want them. Barry added that both HOAs are ticked at him.

Barry stated that the proposed development doesn't have adequate lot width unless old South Weber Drive being considered a public street. Without it the lot is only 30 feet in width. Commissioner Stott stated that it was always the intent to vacate this section of road. Barry added that ten years ago, this was brought up with the City Council and they chose to not act on it at that time. Commissioner Stott added that since then; however, the access to the road has been cut off with the installation of curb and gutter. The road is not plowed or maintained by the City. Commissioner Hyde agreed that it should be vacated. Brandon stated that it is still considered to be a public street and is dedicated as such. If it is not a street, it complicates the proposed development.

Barry stated that there are some possible issues with utilities blocking their proposed access from 1550 east. It appears that there is a large box and a telephone pole directly on the proposed access. Commissioner Grubb inquired whether or not this meets the requirements of a private right of way.

The work meeting adjourned at 6:31 p.m. Work meeting minutes transcribed by Deputy Recorder, Emily Thomas.

SOUTH WEBER PLANNING COMMISSION

Staff Backup Report

Item No: **Funding of Joint Feasibility Study with WBWCD**

Date of Meeting: **Dec. 10, 2013**

RECOMMENDATION

Approve an expenditure of \$20,000 to assist in joint funding with the Weber Basin Water Conservancy district in the development of a feasibility study. This study is for the evaluation of a water reservoir and aquifer storage and recovery project in the gravel pits at the mouth of Weber Canyon in South Weber City.

BACKGROUND

The purpose of the feasibility study is to finally determine whether a storage/recreation reservoir and ASR project is feasible. This project would provide the level study to identify potential options and rough costs associated with a development of a water storage reservoir. The City has long discussed these potential development options, this study will be the first one of its kind that will professionally answer the questions long discussed by this council and previous City leaders. Whatever findings are found through the study the City can then strategically plan for the future, as currently stands the development of the area into a reservoir or aquifer recharge area or only ideas, this study will provide the data necessary to move forward with a reservoir or to plan for other types of uses that could be entertained in the pits once gravel mining operations are terminated.

See attached study document proposal and associated costs provided by Weber Basin Water Conservancy District. Funding for this study will come from budget capital savings. The City Manager would recommend the study to move forward to answer the questions the council has long been asking.

Darren Hess, from Weber Basin Water Conservancy District has been requested to attend the City Council meeting. As such, the study is a joint expenditure of funds to determine if the water district and/or the City should move forward with strategic planning of future uses of the pit areas. Staff recommends approval of the study.

WEBER BASIN WATER CONSERVANCY DISTRICT AND SOUTH WEBER CITY PARSON'S PIT ASR AND RECREATION FACILITY

Bowen Collins & Associates Scope of Services

DATE: October 30, 2013

PROJECT: Feasibility Study for the Parson's Pit ASR and Recreation Facility

PROJECT MANAGER: Jason Luettinger, Bowen, Collins & Associates

PROJECT LOCATION: South Weber City, Utah

BACKGROUND

South Weber City (City) and Weber Basin Water Conservancy District (WBWCD, District) desire to evaluate the feasibility of a new raw water reservoir and aquifer storage and recovery (ASR) project in the gravel pits near the mouth of Weber Canyon. The properties are currently owned and operated by Staker Parsons and Geneva Rock. It is projected that the pits will continue to operate for another 10 to 15 years, after which they will be restored and converted to some future use.

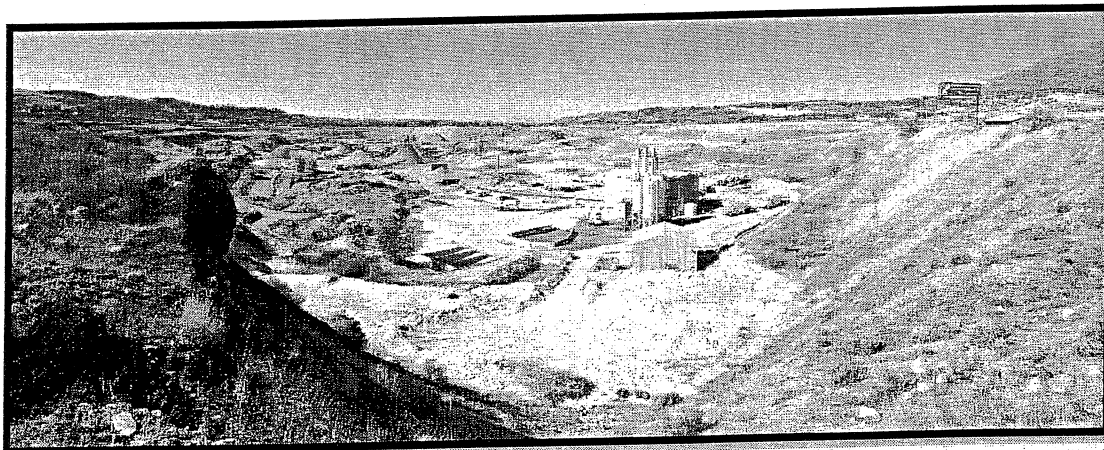


Photo looking west from east edge of Parson's existing gravel pit operation near the mouth of Weber Canyon.

The purpose of this feasibility study is to determine whether a new raw water recreation reservoir and ASR project may be feasible options to restore and recover these areas to the benefit of both the City and District in the future. This feasibility level study will focus primarily on the identification of potential options and costs associated with the development of a water storage reservoir and ASR facility in this area. Areas of potential concerns and fatal flaws, if identified, will be discussed. Water rights related to a change

in point of diversion and availability of water for the proposed projects will be considered. Finally, the study will present a conceptual level layout of the recommended options.

PURPOSE

The purpose of this Feasibility Study is to:

- Evaluate options available to create a water storage reservoir in the Parson's Pit,
- Evaluate slope stability concerns and potential options where the proposed water reservoir will adjoin UDOT property along Interstate 84 and Highway 89,
- Provide a general layout and costs for the proposed reservoir, including associated diversion structures and a pipeline connection to the adjacent ASR facility,
- Evaluate options available to create a new ASR facility in the Geneva Rock Pit,
- Provide a general layout and costs for the ASR facility, including required flow control and metering structures and pipelines,
- Evaluate water rights issues associated with the proposed reservoir and ASR facility, including consideration of a change in point of diversion and availability of water for the proposed projects.

PROJECT TEAM

The project team proposed for this feasibility study will include the following key individuals:

- Jason Luettinger, P.E. – Principal-in-Charge and Project Manager
- Chris Mikell, P.G. – Hydrogeologist and ASR Evaluation Lead
- Ryan Cole, Ph.D., P.E. – Geotechnical Engineer and Reservoir Evaluation Lead
- Jim Riley – Water Rights Specialist

Detailed resumes for each of these individuals will be made available upon request. Each of the team members bring extensive experience with similar projects and successful project histories with the District.

SCOPE OF SERVICES

Task 1 – Project Management and Coordination. BC&A will provide project management services for the feasibility study including coordination of work, management of subconsultants, scheduling of project meetings, and review of schedule and budget. For purposes of scoping, we are anticipating that the following meetings and site visits will be required:

1. Three project coordination meetings with WBWCD and City staff,
2. One full day site visit with geotechnical engineering staff for evaluation of existing conditions.

3. No additional meetings are anticipated with permitting agencies, gravel pit operators, or other project stakeholders as part of this initial feasibility study.

Task 2 – Data Gathering. We will work with the City and District to gather background data necessary to perform an accurate feasibility evaluation. Anticipated data requirements will include:

1. Information regarding potential Utah State mine closure requirements,
2. Estimated property values of the gravel pits and adjoining lands that would be necessary to develop the projects,
3. Water quality and flow data from the Weber River,
4. Available water rights data,
5. Estimated infiltration rates and volumes for the proposed ASR site,
6. Bank run sieve data from Parson's Pit will be necessary to evaluate blending requirements and costs for reservoir lining options,
7. Available aerial photography and topography data,
8. Seismic data relevant to the site evaluation.

Task 3 – Water Rights Evaluation. BC&A will work with Jim Riley Engineering to evaluate how much water is required for storage in the proposed reservoirs, for the ASR project, and for the amount of water required for water to flow through the reservoirs to maintain water quality. We will determine which water rights would or could be utilized for this project, including Larabie Storage Applications, Decreed Water Rights acquired by WBWCD, or shares of stock in Davis & Weber Counties Canal Company. We will evaluate how much water would be available for storage and use under the different water rights due to priority issues on the Weber River. Segregation Applications will then be prepared for enough water from the water rights chosen. Change applications will be evaluated to move the point of diversion to the location where water would be diverted into the ponds. The change applications will address the location and quantity of storage of the new proposed reservoir storage facilities. The change applications may also address a change in nature of use to municipal use, if required. Recharge Applications and Recovery Applications will be evaluated to utilize the water for ASR.

This feasibility study will include evaluation of proposed segregation applications, change applications, recharge applications, and recovery applications. Results of this water rights evaluation will be summarized in a Technical Memorandum to be included in the Feasibility Study Report.

Task 4 – Water Storage Reservoir Evaluation. This task will focus on identifying geotechnical/geologic concerns that could impact overall feasibility and total project costs. As this is a preliminary feasibility study, our efforts will focus on assessing potential fatal flaws, evaluating various reservoir alternatives, and recommendations for further studies and geotechnical data collection. Results of our evaluation will be summarized in a Technical Memorandum to be included in the Feasibility Study Report.

In particular, this task will include:

1. **Background Review and Geologic Evaluation** – Review available published geologic maps and reports with an emphasis on identifying faults and other potential hazards.
2. **State Gravel Pit Closure Review** – Review available final closure information related to the gravel pit to assess potential project cost sharing and savings.
3. **Geologic Evaluation** – Using existing data we will focus on identifying potential fatal flaws or significant geotechnical constraints that could impact project feasibility and construction costs.
4. **Seismicity Evaluation** – The Weber section of the Wasatch Fault Zone is less than one mile from the site and will contribute to embankment and liner design alternatives. As such, the Maximum Credible Earthquake (MCE) will be developed for the site following State Dam Safety requirements.
5. **Liner Options** – Given our understanding of the porous subgrade, we anticipate a reservoir liner system will be needed to reduce infiltration rates and maintain useable reservoir elevations. These liner alternatives will in large measure drive overall construction costs. We plan to evaluate various alternatives (e.g. import clay materials, bentonite amended soils, and geosynthetics) and provide a cost-benefit summary of the various options.
6. **Inlet and Outlet Structures** – Concept level hydraulic and hydrologic evaluations will be performed to assess storage and balance reservoir levels and infiltration. We will also explore the option of combining reservoir infiltration with the ASR Evaluation (Task 5).
7. **Slope Stability Evaluations** – Stability analyses will be performed to assess dam embankment/liner options that represent the most likely and/or feasible reservoir impoundment alternative(s). We will follow State Dam Safety recommendations for our slope stability evaluations.
8. **UDOT Coordination** – We do not plan to meet with UDOT personnel for this study; rather identify potential issues and concern related to reservoir and impoundment adjacent to SR-89.
9. **General Reservoir Layout** – A general conceptual reservoir layout will be developed using results from the evaluations just described. This layout will focus on embankment geometry, liner layout, and inlet and outlet locations.

Task 5 – ASR Facility Evaluation. This task will focus on the hydrogeology and recharge potential for the Geneva Pits that could impact the overall sizing, feasibility and total project costs. For this preliminary feasibility study, our efforts will focus on assessing potential fatal flaws, evaluating various ASR scenario's based on available water rights, and recommendations for further studies or data needs. Results of our evaluation will be summarized in a Technical Memorandum to be included in the Feasibility Study Report.

In particular, this task will include:

1. **Background Review and Geologic Evaluation** – We will review available published geologic maps along with information on the existing Weber Basin ASR project and permit for applicability to ASR project feasibility at the two Geneva Pits.
2. **State Gravel Pit Closure Review** – We will review available final closure information related to the Geneva gravel pits to assess potential ASR project site improvements, and cost sharing and savings. Information on the property value of the Geneva Pits, if provided to us, will be incorporated into the feasibility assessment.
3. **ASR Project Infiltration Rate and Volume Analyses** - We will assess the expected ASR infiltration rates and annual volumes for the Geneva Pits. This information will be compared to the potential ASR water supply identified in the water rights task on a seasonal basis for conceptual sizing of the ASR project and determining feasibility. We will also review water quality information to determine any fatal flaws for use in an ASR project. We will also assess the option of considering reservoir infiltration as part of the ASR project.
4. **ASR Permitting** – We will assess permit requirements for the ASR project and identify future data needs and/or concerns.
5. **General ASR Project Layout** – A conceptual ASR project layout for the Geneva Pits will be developed using results from the Task 5 evaluations described above. This layout will focus on diversion and conveyance piping, flow control and metering vaults, infiltration basin sizing and layout, monitoring wells and/or systems, and the recovery well system.

Task 6 – Cost Summary and Recommendations. We will provide a conceptual level cost summary for the available options and an opinion of construction cost for the recommended layout. A summary of recommendations will be provided along with general layout figures illustrating the proposed concepts.

Task 7 – Feasibility Study Report. We will develop a report to summarize the results of the feasibility study. Each task of the evaluation will be documented in a separate Technical Memorandum as described above. The Feasibility Study Report will include each of these Technical Memorandums, in addition to an Executive Summary and final recommendations and costs. The report will be provided in both bound hard copy and electric format (PDF).

Excluded

The above scope of work anticipates that a general engineering feasibility study will be provided. If more detailed analyses or field investigations are determined to be necessary, BC&A will discuss the addition of these items separately with the District. Specific items that are not provided in the above scope of work include:

1. Geotechnical field investigations (borings, laboratory analyses, etc.),
2. Field survey and mapping,
3. Title research and detailed property valuations.

SCHEDULE

This study will be completed within 90 days of notice to proceed by the District.

BUDGET

The budget proposed for this Feasibility Study is \$39,787.

**Weber Basin Water Conservancy District
Parson's Pit ASR and Recreation Facility
ENGINEERING FEE ESTIMATE**



Updated: 8/28/2013

| TASK | LABOR | OFFICE STAFF | | TECHNICIANS | | | ENGINEERS | | | SUBTOTAL HOURS | SUBTOTAL COST |
|------|-------------------------------------|---------------|----------|-------------|----------|-----------|-----------|-----------|-----------|----------------|-----------------|
| | | OFFICE EDITOR | EDITOR | TECH 2 | TECH 3 | EN 1 | EN 2 | HydroGeb | PM/PIC | | |
| | Hourly Rate | \$64.00 | \$64.00 | \$90.00 | \$109.00 | \$90.00 | \$96.00 | \$137.00 | \$131.00 | | |
| 1 | Project Management and Coordination | | | | | | | 4 | 24 | 29 | \$3,756 |
| 2 | Data Gathering | | | | | 4 | | | 2 | 6 | \$622 |
| 3 | Water Rights Evaluation | | | | | | | | 4 | 4 | \$524 |
| 4 | Water Storage Reservoir Evaluation | | | 8 | 2 | 4 | 8 | | 4 | 26 | \$2,590 |
| 5 | ASR Facility Evaluation | | | 8 | 2 | 4 | | 20 | 2 | 36 | \$4,300 |
| 6 | Cost Summary and Recommendations | | | | | 4 | 8 | 6 | 2 | 20 | \$2,212 |
| 7 | Feasibility Study Report | | | 24 | 2 | 2 | | 12 | 12 | 60 | \$6,286 |
| | Subtotal | 1 | 8 | 40 | 6 | 18 | 16 | 42 | 50 | 181 | \$20,290 |
| | TOTAL LABOR | 1 | 8 | 40 | 6 | 18 | 16 | 42 | 50 | 181 | \$20,290 |
| | | \$64 | \$512 | \$3,600 | \$654 | \$1,620 | \$1,536 | \$5,754 | \$6,550 | \$20,290 | |

EXPENSES

| Item | Unit | Rate | Cost |
|---|--------|--------|-----------------|
| COMMUNICATION/COMPUTER | per hr | \$7.00 | \$1,267 |
| PRINTING /GRAPHICS | LS | \$100 | \$100 |
| AUTO MILEAGE | per mi | \$0.75 | \$450 |
| GEOTECHNICAL ENGINEERING - SUB (GERHART COLE) | LS | | \$13,280 |
| WATER RIGHTS EVALUATION - SUB (JIM RILEY) | LS | | \$4,400 |
| TOTAL EXPENSES | | | \$19,497 |

**LABOR \$20,290
EXPENSES \$19,497
TOTAL \$39,787**

RESOLUTION 13-26

Appointment to Administrative Control Board of Wasatch Integrated Waste Management District

BE IT HEREBY RESOLVED, by the City Council of South Weber City, State of Utah, as follows:

WHEREAS, a vacancy on the Administrative Control Board of the Wasatch Integrated Waste Management District will be created upon the end of term of office of Mayor Jeffery G. Monroe, effective 7 January 2014; and

WHEREAS, it is the desire of the City Council to appoint a new board member to serve on the Administrative Control Board of the Wasatch Integrated Waste Management District.

NOW THEREFORE, the following person is appointed to serve Administrative Control Board of the Wasatch Integrated Waste Management District for a period of two years from January 2014 to January 2016, unless a new appointment is made by the Council:

Councilmember Randy Hilton

PASSED AND ADOPTED by the City Council of South Weber this **10th day of December, 2013.**

APPROVED

Jeffery G. Monroe, Mayor

Attest:

Erika J. Ahlstrom, City Recorder

RESOLUTION 13-27

Appointment to Central Weber Sewer Improvement District Board of Trustees

BE IT HEREBY RESOLVED, by the City Council of South Weber City, State of Utah, as follows:

WHEREAS, a vacancy on the Board of Trustees of the Central Weber Sewer Improvement District will be created upon the end of term of office of Mayor Jeffery G. Monroe, effective 7 January 2014; and

WHEREAS, it is the desire of the City Council to appoint a new board member to serve on the Central Weber Sewer Improvement District Board of Trustees; and

WHEREAS, the board member will receive compensation from Central Weber Sewer Improvement District.

NOW THEREFORE, the following person is appointed to serve on the Central Weber Sewer District Board of Trustees for a period of two years from January 2014 to January 2016, unless a new appointment is made by the Council:

Councilmember Michael Poff

PASSED AND ADOPTED by the City Council of South Weber this 10th day of December 2013.

APPROVED

Jeffery G. Monroe, Mayor

Attest:

Erika J. Ahlstrom, City Recorder



Central Weber Sewer Improvement District

November 20, 2013

Mayor Jeff Monroe
South Weber City
1600 E South Weber Dr.
South Weber, UT 84405

SUBJECT: Central Weber Sewer Improvement District Board

Dear Mayor Monroe:

It is our understanding with the recent municipal election South Weber City will be changing their representative on the Central Weber Sewer Improvement District Board of Trustees. In accordance with our District Bylaws the Appointment Procedure is as follows:

Appointment Procedure. Board members appointed by a municipality shall be designated and appointed by the mayor with the consent and approval of the legislative body of the municipality, and board members appointed by Weber County shall be selected by the chair of the county commission with the consent and approval of the county commission. Nothing shall preclude the mayor of a municipality or the chair of the county commission from naming himself or herself as the prospective board member. Although not mandated by the appointment procedure stated in UTAH CODE ANN. § 17-6-7 (as it existed prior to 1953), municipalities and Weber County are encouraged to appoint elected officials of the appointing authority to the District Board.

At your earliest convenience please notify us in writing of the board member appointed from South Weber City.

Enclosed please find a copy of a W-4 Employee Withholding Tax Form and a Direct Deposit Authorization Form for the new representative from South Weber. For Direct Deposit please complete the form with Bank Routing # and Account #. Please have the new appointed representative return these forms to us at their earliest convenience. Enclosed is a self addressed stamped envelope for the return of the forms.

Mayor Jeff Monroe
November 20, 2013
Page -2-

Our first Board Meeting for 2014 will be on Monday, January 27th. The 2014 Board Meeting Schedule is enclosed.

Please feel free to contact us if you have any questions.

Sincerely,

CENTRAL WEBER SEWER IMPROVEMENT DISTRICT

A handwritten signature in black ink that reads "Lance L. Wood". The signature is written in a cursive style with a large, stylized initial "L".

Lance L Wood, P.E.
General Manager

Enclosures