

## **SOUTH WEBER CITY PLANNING COMMISSION AGENDA**

**PUBLIC NOTICE** is hereby given that the **Planning Commission of SOUTH WEBER CITY**, Utah, will meet in a **REGULAR** public meeting on **Thursday, November 9, 2017**, at the **South Weber City Council Chambers, 1600 East South Weber Drive**, commencing at **6:30 p.m.**

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A WORK MEETING WILL BE HELD PRIOR TO THE REGULAR PLANNING COMMISSION MEETING AT 6:00 P.M. TO DISCUSS  
AGENDA ITEMS, CORRESPONDENCE, AND/OR FUTURE AGENDA ITEMS

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### **THE AGENDA FOR THE REGULAR MEETING IS AS FOLLOWS:**

- 6:30 P.M.      Pledge of Allegiance  
                  Approval of Meeting Minutes – Commissioner Osborne  
                  ▪   October 12, 2017  
                  Approval of Agenda  
                  Declaration of Conflict of Interest
- 6:35 P.M.      **Vote on Amending Code Ordinance:** 10.5P.2 & 3 Residential Patio (R-P), Permitted Uses  
                  and Conditional Uses
- 6:40 P.M.      **Vote on Adopting Code Ordinance:** 10.5Q Visual Buffer Overlay Zone (V-B)
- 6:45 P.M.      Final Subdivision: application for Riverside Place phases 3 & 4 (26 lots) located at  
                  approximately 6650 S Pebble Creek, by applicant Tim Grubb
- 7:00 P.M.      Public Comments – Please keep public comments to 3 minutes or less per person
- 7:15P.M.      Planning Commissioner Comments (Johnson, Pitts, Walton, Osborne, Grub)
- 7:20 P.M.      Adjourn

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THE UNDERSIGNED PLANNING COORDINATOR FOR THE MUNICIPALITY OF SOUTH WEBER CITY HEREBY CERTIFIES THAT A COPY OF THE  
FOREGOING NOTICE WAS MAILED OR POSTED TO:

CITY OFFICE BUILDING  
Utah Public Notice website  
www.utah.gov/pmn

www.southwebercity.com  
TO EACH MEMBER OF THE PLANNING COMMISSION

THOSE LISTED ON THE AGENDA

DATE: November 2, 2017

\_\_\_\_\_  
Lisa Smith, Planning Coordinator

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, INDIVIDUALS NEEDING SPECIAL ACCOMMODATIONS DURING THIS MEETING  
SHOULD NOTIFY LISA SMITH, 1600 EAST SOUTH WEBER DRIVE, SOUTH WEBER, UTAH 84405 (801-479-3177) AT LEAST TWO DAYS PRIOR TO THE  
MEETING.

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\*Agenda times are flexible and may be moved in order, sequence, and time to meet the needs of the Commission\*

# **SOUTH WEBER CITY PLANNING COMMISSION MEETING WORK MEETING**

**DATE OF MEETING:** 12 October 2017

**TIME COMMENCED:** 6:00 p.m.

**PRESENT: COMMISSIONERS:**

**Tim Grubb (excused)  
Debi Pitts  
Rob Osborne  
Wes Johnson  
Taylor Walton (excused)**

**CITY ENGINEER:**

**Brandon Jones**

**CITY PLANNER:**

**Barry Burton**

**CITY MANAGER:**

**Tom Smith**

**Transcriber: Minutes transcribed by Michelle Clark**

**ATTENDEES:** Bruce Nilson (Nilson Homes), Dana Shuler (Jones & Associates), Rob & Amy Nilsson, Cole Fessler, Michael & Joan Freestone, Kent Lybone, Janice Marriott, Jason Bickley, and Tammy Donovan.

**Approval of Meeting Minutes of 14 September 2017 – Commissioner Pitts**

**Public Hearing on Amending Code Ordinances: 11.06 Impact Fees; 10.5P.2 & 3 Residential Patio (R-P), Permitted Uses and Conditional Uses:** Commissioner Osborne has concerns with the Residential Patio Zone (R-P Zone) and doesn't feel ready to vote on this item yet. He is open to discussion and the public hearing, but not voting. He said he isn't convinced that the City needs to update it and likes the one they have now. He doesn't think there is another piece of ground in the City that is good for the zone. He feels the R-P Zone is better for slab on grade. He thinks some of the suggestions and ideas are not in the spirit of that zone. Barry Burton, City Planner, discussed the reasoning behind the changes. He met with Brandon Jones, City Engineer, to address the issue with the visual buffer. He said they met with a developer and discussed how to preserve some of that land. He said the Cook property has the biggest chunk of land that they would like to preserve. He said with lot widths and visual buffer zone that is currently required in the zone, there was a concern that they would never come close to that. Barry said this isn't high density. He said it is four units per acre, which is fairly low. He said with this type of zone there are typically fewer drivers, no children, etc. Commissioner Johnson said typically when you are trying to preserve a trail corridor, this is one of the options. Commissioner Osborne thinks the developer will preserve the open space anyway with the trail and trees that are there. Commissioner Osborne said he really only cares about the trees on the north side, where the trails are at. Commissioner Johnson feels it is another option to use. Commissioner Osborne is concerned about smaller lots. Commissioner Pitts is concerned about losing the trees to the south.

**Public Hearing on Adopting Code Ordinance: 10.5Q Visual Buffer Overlay Zone (V-B):**

Commissioner Osborne said he isn't ready to vote on this item as well. Barry Burton, City Planner, said the Visual Buffer Overlay Zone (V-B Zone) applies to any other zone that is adjacent to I-84. It gives incentives for a developer to preserve the trees along there. Commissioner Osborne asked then why are we entertaining the R-P Zone.

**Public Hearing on Land Use Specifications: Public Works Standards:** *(No discussion on this item)*

**Public Hearing on Conditional Use Permit: Application for twin homes located at approx. 7170 S. 1700 E. (Parcel 13-017-0013) approx. 0.6 acres, by applicant Jason Bickley**

Barry Burton, City Planner, stated Lot 13 is .6 acres or 26,136 square feet and sits in an R-L zone. That zone allows a twin-home as a conditional use. The City recently approved another twin-home on the lot adjacent to the west of this lot. Like that one, this lot has sat vacant for many years and is adjacent to I-84. The proposal is to split the lot in half, more or less, which would provide ample area in each part to meet our ordinance requirement. If successful with this application, the applicant would need to go through a subdivision amendment to split the lot. That amendment would be coming back to the Planning Commission for approval too. All that would really be required in the way of improvements would be to stub an additional water and sewer line into one side of the split.

**ADJOURNED: 6:30 p.m.**

**APPROVED:**

\_\_\_\_\_  
Date

\_\_\_\_\_  
Chairperson: Rob Osborne

\_\_\_\_\_  
Transcriber: Michelle Clark

Attest:

\_\_\_\_\_  
City Manager: Tom Smith

# **SOUTH WEBER CITY PLANNING COMMISSION MEETING**

**DATE OF MEETING:** 12 October 2017

**TIME COMMENCED:** 6:31 p.m.

**PRESENT: COMMISSIONERS:**

Tim Grubb (excused)  
Debi Pitts  
Rob Osborne  
Wes Johnson  
Taylor Walton (excused)

**CITY PLANNER:**

Barry Burton

**CITY ENGINEER:**

Brandon Jones

**CITY MANAGER:**

Tom Smith

**CITY RECORDER:**

Mark McRae (excused)

**Transcriber:** Minutes transcribed by Michelle Clark

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***A PUBLIC WORK MEETING was held at 6:00 p.m. to REVIEW AGENDA ITEMS***

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**PLEDGE OF ALLEGIANCE:** Commissioner Pitts

**ATTENDEES:** Bruce Nilson (Nilson Homes), Dana Shuler (Jones & Associates), Rob & Amy Nilsson, Cole Fessler, Michael & Joan Freestone, Kent Linabaugh, Janice Marriott, Jason Bickley, Tamera Donovan, Isaac Pantone, Anena Roberts, Kari Roberts, Crystal Hansen, Kasey Hansen, Brad Buchanan, Jimmy & Sarah Banks.

Commissioner Osborne excused Commissioner Walton and Grubb from tonight's meeting.

## **APPROVAL OF MEETING MINUTES**

- **September 14, 2017**

Commissioner Pitts moved to approve the meeting minutes of 14 September 2017 as written. Commissioner Johnson seconded the motion. Commissioners Johnson, Osborne, and Pitts voted yes. The motion carried.

**APPROVAL OF THE AGENDA:** Commissioner Johnson moved to approve the agenda as written. Commissioner Pitts seconded the motion. Commissioners Johnson, Osborne, and Pitts voted yes. The motion carried.

**DECLARATION OF CONFLICT OF INTEREST:** (None)

Commissioner Johnson moved to open the public hearing for Amending Code Ordinance: 11.06 Impact Fees. Commissioner Pitts seconded the motion. Commissioners Johnson, Osborne, and Pitts voted yes. The motion carried.

\*\*\*\*\* PUBLIC HEARING \*\*\*\*\*

**Public Hearing on Amending Code Ordinance: 11.06 Impact Fees:** Tom Smith stated the Impact Fee Analysis (IFA) uses the information provided in South Weber City's recently completed Capital Facilities Plan (CFP) and Impact Fees Facilities Plan (IFFP) to calculate the proportionate share for impact fees that the City can charge to new development. South Weber City is projected to grow by 688 equivalent residential units (ERU's) between 2017 and 2027. The maximum gross fee that can be charged is \$2,933.85 per ERU. The existing level of service for park improvements is calculated by taking the total cost of \$1,344,333 and dividing by the existing population of 7,462, which results in a service level of \$180.16 per capita. Because of the growth anticipated to occur in the City, impact fees are a viable means of allowing new development to pay for the impacts that it places on the existing system. This IFFP is developed in accordance with legal guidelines so that an Impact Fee Analysis for Parks, Recreation, and Trails may be prepared, and the City may charge impact fees for Parks, Recreation, and Trails.

Commissioner Osborne asked if there was any public comment. There was none.

Commissioner Pitts moved to close the public hearing for Amending Code Ordinances: 11.06 Impact Fees. Commissioner Johnson seconded the motion. Commissioners Johnson, Osborne, and Pitts voted yes. The motion carried.

\*\*\*\*\* PUBLIC HEARING CLOSED \*\*\*\*\*

Commissioner Osborne moved to recommend approval to the City Council for Amending Code Ordinance: 11.06 Impact Fees. Commissioner Johnson seconded the motion. Commissioners Johnson, Osborne, and Pitts voted yes. The motion carried.

Commissioner Johnson moved to open the public hearing for 10.5P.2 & 3 Residential Patio (R-P), Pitts seconded. Commissioners Johnson, Osborne, and Pitts voted yes. The motion carried.

\*\*\*\*\* PUBLIC HEARING \*\*\*\*\*

**Public Hearing on Amending Code Ordinance: 10.5P.2 & 3 Residential Patio (R-P), Permitted Uses and Conditional Uses:** Barry Burton, City Planner, explained the density change from 6 units to 4 units. He said they will also increase the maximum area from 10 to 20 acres, and remove the requirement for a buffer yard but include a requirement for a screening fence. He said enforcing buffer yards can be extremely difficult. He said often times developers

have sold the lots to the builder. He said bonding for this type of improvement becomes problematic as well. He said it might be years before a lot is built on. He said the purpose for the buffer yard is to minimize the impact and it is his feeling that a fence accomplishes that on its own. Commissioner Osborne asked if there was any public comment.

**Cole Fessler, 7233 S. 1700 E.**, questioned why change it now. He isn't sure why this isn't left the same. Barry said the City Staff feels the 6 units per acre is too high. He said as far as the area goes, in talking to developers, it is financially feasible to do it.

**Commissioner Johnson moved to close the public hearing for 10.5P.2 & 3 Residential Patio (R-P), Pitts seconded. Commissioners Johnson, Osborne, and Pitts voted yes. The motion carried.**

**\*\*\*\*\* PUBLIC HEARING CLOSED \*\*\*\*\***

Commissioner Osborne suggested discussing this item further in a Planning Commission work meeting.

**Commissioner Johnson moved to open the public hearing for Adopting Code Ordinance: 10.5Q Visual Buffer Overlay Zone (V-B). Commissioner Pitts seconded the motion. Commissioners Johnson, Osborne, and Pitts voted yes. The motion carried.**

**\*\*\*\*\* PUBLIC HEARING \*\*\*\*\***

**Public Hearing on Adopting Code Ordinance: 10.5Q Visual Buffer Overlay Zone (V-B)**

Barry Burton, City Planner, discussed the area along I-84 where there are existing native trees. He said a lot of people feel this area needs to be preserved. He said with addition to that there is a proposed trail. He said this ordinance is an overlay zone. He said there is a lot width that is being proposed. He said in order to allow the developer to achieve the density we allow for the underlying lot zone requirement. He said the side yard is adjusted as well. Commissioner Osborne asked if there was any public comment.

**Bruce Nilson, 5617 S. 1475 E.**, said he is the developer interested in developing the Cook property. He understands the interest is preserving the trees in that area. He feels this particular zone is fair to both parties. He then discussed patio homes. He said seniors are looking for smaller lots because of the lifestyle they lead. He invited the Planning Commission to visit some of Nilson Homes' developments.

**Cole Fessler, 7233 S. 1700 E.**, asked about the size of the zone. Barry said it would be from the posse grounds to Cottonwood Cove Subdivision. He said the width varies depending on the trees. Cole states his opinion that the lots aren't buildable, and the city is making changes to encourage the development. Barry notes all the lots in this zone are buildable.

**Commissioner Pitts moved to close the public hearing for Adopting Code Ordinance: 10.5Q Visual Buffer Overlay Zone (V-B). Commissioner Johnson seconded the motion. Commissioners Johnson, Osborne, and Pitts voted yes. The motion carried.**

**\*\*\*\*\* PUBLIC HEARING CLOSED \*\*\*\*\***

**Commissioner Johnson moved to open the public hearing for Land Use Specifications: Public Works Standards. Commissioner Pitts seconded the motion. Commissioners Johnson, Osborne, and Pitts voted yes. The motion carried.**

**\*\*\*\*\* PUBLIC HEARING \*\*\*\*\***

**Public Hearing on Land Use Specifications: Public Works Standards:** Commissioner Johnson said he hasn't had time to review this item since he just received the email. Brandon Jones, City Engineer, said the City has currently adopted city standards and this is an update to those. He said we will adopt the 2017 APWA Specifications. He said it covers public utilities (water, sewer, storm drain, streets, etc.) He said the Legislature requires these be adopted as city code. He said the City Council will also need to adopt. He said we are proposing to amend the paving section. He said they are shooting for a design life of 15 years and seal coat of 20 years. He said the asphalt specification for itself is proposed to change as well. He said some of these changes will help lengthen the life of a road. He said they will also change sidewalk installation from 4 to 6 inches. He feels this will help to prevent sidewalks from breaking. He feels that long term there will be cost savings. He said the street light fixtures will now be different and developers will pay for them up front and the city will ask for them to be installed. Commissioner Osborne suggested adding installation of pipe under the sidewalk for sprinkling system in the park strip. Brandon said that would be one more thing on the list to check. Barry said a lot of communities are becoming concerned with light pollution. He said if you want you can put in a requirement to put in a shield to prevent that. Brandon said that is important to note and would need to be researched. He said the Public Works Department has reviewed this as well.

Commissioner Osborne asked if there was any public comment. There was none.

**Commissioner Pitts moved to close the public hearing for Land Use Specifications: Public Works Standards. Commissioner Johnson seconded the motion. Commissioners Johnson, Osborne, and Pitts voted yes. The motion carried.**

**\*\*\*\*\* PUBLIC HEARING CLOSED \*\*\*\*\***

**Commissioner Johnson moved to table the Land Use Specifications: Public Works Standards until next Planning Commission meeting. Motion died due to lack of a second.**

**Commissioner Pitts moved to recommend approval and move forward to City Council. Commissioner Osborne seconded the motion. Commissioners Osborne, and Pitts voted yes. Commissioner Johnson voted no. The motion carried 2 to 1.**

**Commissioner Pitts moved to open the public hearing for Conditional Use Permit: Application for twin homes located at approx. 7170 S. 1700 E. (Parcel 13-017-0013) approx. 0.6 acres, by applicant Jason Bickley. Commissioner Johnson seconded the motion. Commissioners Johnson, Osborne, and Pitts voted yes. The motion carried.**

**\*\*\*\*\* PUBLIC HEARING \*\*\*\*\***

**Public Hearing on Conditional Use Permit: Application for twin homes located at approx. 7170 S. 1700 E. (Parcel 13-017-0013) approx. 0.6 acres, by applicant Jason Bickley**

**Jason Bickley, 2024 E. Gentile Layton City, Utah**, said he is familiar with the property. He has noticed the recent construction next to this property. He said this is a nice build similar to the twin homes in Peacefield Subdivision in Layton. He said there is a ditch easement along the back. He is proposing to bury that.

Barry Burton, City Planner, said Lot 13 is .6 acres or 26,136 square feet and sits in an R-L zone. That zone allows a twin-home as a conditional use. He said the City recently approved another twin-home on the lot adjacent to the west of this lot. Like that one, this lot has sat vacant for many years and is adjacent to I-84. He explained that the proposal is to split the lot in half, more or less, which would provide ample area in each part to meet the City ordinance requirement. If successful with this application, the applicant would need to go through a subdivision amendment to split the lot. That amendment would come back to the Planning Commission for approval too. All that would really be required in the way of improvements would be to stub an additional water and sewer line into one side of the split. Barry said there is an existing public street. He said it would be nice to get some tax base to help pay for the maintenance on that street. He feels it is a great idea.

Commissioner Osborne asked if there was any public comment.

**Rob Nilsson, 1780 S. 1750 E.**, said he purchased lot 10 in that subdivision and will be building a \$500,000 house on that lot. He said they have multiple friends and acquaintances who are interested in the purchase of these lots for single family dwellings. He has children and is concerned about increasing traffic with these units. He is opposed to this development.

**Tamera Donovan, 7275 S. 1700 E.**, said she is opposed to a multi-unit development. She said the property owners of the lots should be paying taxes to help maintain that road. She said this is a quiet area with not a lot of traffic. She said there are really two building lots. She feels the neighborhood would be better served if the lot was split. She doesn't think it is in the best of the City to take the side of the builder to reduce his cost.

**Mike Freestone, 7197 S. 1700 E.**, said that is a small cul-de-sac. He is concerned about the units going up as rentals.

**Kent Linabaugh, 3000 Connor Street Salt Lake City, Utah**, represent the owners of the lot, he said 30 years ago Mr. & Mrs. Alma Bricker took a purchase money lien with Lot 12 & Lot 13. He said the Bickers' are since deceased. He has worked with Rocky Mountain Power concerning the easement. He said the owners of the lots fully support the efforts of Mr. Bickley.

**Crystal Hansen, 7293 S. 1750 E.**, said she is concerned that this will create more traffic. She said they moved to the area because it was low impact.

**Rob Nilsson, 1780 S. 1750 E.**, said the portrait that these lots have been sitting vacant is completely false. He said these people don't even live in South Weber. He said he is asking for a little piece of his world to be taken into account.

**Cole Fessler, 7233 S. 1700 E.,** said he has been a resident of South Weber for 30 years. He bought his house because of the neighborhood, because of the cul-de-sac, etc. He said they aren't putting two houses in there because they can't fit it. He is opposed to twin homes. He said lots in the area are ½ acre lots.

**Kent Linabaugh, 3000 Connor Street Salt Lake City, Utah,** said he does not lie and he hasn't told an untruth. He is taking a position that he supports this request. He said we have had no other offers on these two lots in 20 years.

**Jason Bickley, 2024 E. Gentile Layton City, Utah** said his parents live in South Weber and he grew up in South Weber. He said he is willing to go with the two lots and work with Barry Burton. He didn't come here thinking he would cause contention.

**Cole Fessler, 7233 S. 1700 E.,** said this is a single-family neighborhood. He said the outcry is because this isn't what the community wants. He said this isn't an area that has several twin homes.

**Tamera Donovan, 7275 S. 1700 E.,** said there is nothing about this application that benefits South Weber City. She said there is nothing in the City mandate that says this is the best use for this property.

**Mike Freestone, 7197 S. 1700 E.,** said he is not happy with the recent construction of the twin home.

**Amy Nilsson, 1780 S. 1750 E.,** said since they have purchased their lot they have had several people who have tried to check into those lots for a single-family home. She feels the standard should be single family dwellings. She said they have been waiting a long time to build and this is a disappointment.

**Jimmy Banks, 7348 S. 1700 E.,** said he offered to purchase one of the lots. He is guessing they are trying to get as much money as they can for the lot. He asked the Planning Commission to take into consideration the citizens' concerns.

**Kent Linabaugh, 3000 Connor Street Salt Lake City, Utah,** said he has not had anyone contact him to purchase these lots.

**Anena Roberts, 7234 S. 1700 E.,** said she thought you couldn't build on the lots because of the power lines. She thinks there is some misunderstanding as to who owns the lots. She feels the people who live down there want to see bigger lots. She feels they should be single family lots.

**Bret Buchanan, 1716 E. 7250 S.,** said he is not a fan of twin homes. He would rather see single family dwellings.

**Commissioner Johnson moved to close the public hearing for Conditional Use Permit: Application for twin homes located at approx. 7170 S. 1700 E. (Parcel 13-017-0013) approx. 0.6 acres, by applicant Jason Bickley. Commissioner Pitts seconded the motion. Commissioners Johnson, Osborne, and Pitts voted yes. The motion carried.**

**\*\*\*\*\* PUBLIC HEARING CLOSED \*\*\*\*\***

Commissioner Johnson said this is not a duplex but twin home which is individually owned by each property owner. He would prefer to see a single-family home. Commissioner Pitts is leaning towards maintaining the integrity of the surrounding property owners.

Barry Burton said at some point when the zone was adopted the community said twin homes was okay and when they zoned the property the community was saying that was okay. He understands that was a long time ago. He said we must follow State law. He said if the city doesn't follow the law, the city is open to legal issues. He said twin homes was always a possibility in this subdivision. He said if they meet those conditions, the City must allow it. Commissioner Johnson said he has seen more and more over the years that the State Legislature is getting more and more restrictive on local communities and what they can do. Commissioner Osborne said he is a huge proponent of allowing people to do what they want on their property. He wouldn't want anyone telling him what to do with his property, if he is following the law. He would recommend the Planning Commission table this item and explore the possibility of splitting the lot to see if two homes can go on the lot.

Barry explained that this is a public hearing and there will not be another public hearing.

Tom Smith discussed the process of public hearings and what steps will be taken from this point. He gave citizens instructions on how to get notification of any public meetings.

**Commissioner Osborne moved to table the Conditional Use Permit: Application for twin homes located at approx. 7170 S. 1700 E. (Parcel 13-017-0013) approx. 0.6 acres, by applicant Jason Bickley until this can be discussed in a work session to explore other options. Commissioner Pitts seconded the motion. Commissioners Johnson, Osborne, and Pitts voted yes. The motion carried.**

**PUBLIC COMMENTS:**

**Tamera Donovan, 7275 S. 1700 E.,** suggested the Planning Commission to get a legal opinion concerning the conditional use permit.

**Kasey Hansen, 7293 S. 1750 E.,** appreciates Mr. Bickley and said he is one who is a proponent of being able to do with what you want with your property. He said with the recent fire, it was difficult for him to get to his home as he was on his way home. He is concerned about increasing traffic in the area.

**Amy Nilsson, 1780 S. 1700 E.,** said we are also concerned that the other lots will turn into twin homes if this is approved.

**ADJOURNED: Commissioner Pitts moved to adjourn the Planning Commission meeting at 8:35 p.m. Commissioner Johnson seconded the motion. Commissioners Pitts, Johnson, and Osborne voted yes. The motion carried.**

**APPROVED:** \_\_\_\_\_ Date \_\_\_\_\_  
Chairperson: Rob Osborne

\_\_\_\_\_  
Transcriber: Michelle Clark

Attest: \_\_\_\_\_  
City Manager: Tom Smith

DRAFT

## **ARTICLE P: RESIDENTIAL PATIO R-P:**

To provide for areas in appropriate locations where residential neighborhoods of moderately high density may be established, maintained and protected. The regulations of this zone are designed to promote an intensively developed residential environment in a one building per lot suitable primarily for adult living.

### **10-5P-2 PERMITTED USES:**

Accessory uses and buildings

Agriculture

Dwellings, single, -family

Home occupations, except preschools and daycare

Pets, the keeping of household pets

### **10-5P-3 CONDITIONAL USES:**

Conditions for approval shall be determined by the planning commission or as otherwise provided in [chapter 7](#) of this title.

Church (temporary churches held in open areas, tents or in temporary structures excluded).

Daycare centers and preschools, whether held within residence or in a separate facility.

Excavations of over two hundred (200) cubic yards, as allowed by section [10-6-2](#) of this title.

Golf courses, public or privately owned, whether or not operated as a business.

Group homes.

Public buildings and public utility buildings and uses.

Public parks and/or playground. Also privately owned playgrounds and recreational grounds or parks not operated as a business in whole or in part to which no admission charge is made.

Schools, public or privately owned.

Temporary businesses only in public parks, church properties or other public properties as approved by the planning commission and not to exceed ninety (90) days in length.

#### 10-5P-4 BUILDING LOT REQUIREMENTS:

- A. Density: There shall be no more than ~~6.0~~ 4.0 dwelling units per acre contained within the boundaries of each phase of every development; except when previously completed phases of the same development have sufficiently low density so that the average is still no more than ~~6.0~~ 4.0 dwelling units per acre.
- B. Lot Area: There shall be a minimum of six thousand (6,000) square feet in each lot on which a single-family dwelling is located. Single-family dwellings shall each be located on a separate lot.
- C. Lot Width: Each lot shall have a minimum width of sixty-five feet (65').

#### 10-5P-5 LOCATION OF STRUCTURES:

All buildings and structures shall be located as provided in [chapter 11](#) of this title and as follows:

Structures	Front Setback	Side Setback	Rear Setback
Dwellings	20 feet from all front lines	6 feet minimum for each side, except 20 feet minimum for side fronting on a street	10 feet
Other main buildings	30 feet from all front lot lines	20 feet minimum for each side	30 feet
Detached accessory buildings and garages	20 feet from all front lot lines	Same as for dwellings, except when the structure is at least 10 feet behind the main building or 10 feet behind a line extending from the rear corners of the main building to the side lot lines parallel to the rear lot line(s); the side and rear setbacks may be reduced to 1 foot; provided, that the structure must be at least 20 feet from main buildings on adjacent lots; and on corner lots the minimum setback for a side facing a street is 20 feet and minimum rear setback adjacent to a side lot line is 10 feet	

#### 10-5P-6 MAXIMUM STRUCTURE HEIGHT:

Main, accessory and temporary buildings and structures are not to exceed twenty five feet (25').

#### **10-5P-7 OFF STREET PARKING AND LOADING:**

The provisions of [chapter 8](#) of this title shall apply and shall be in full force and effect in this zone, except in the case of a bona fide temporary use.

#### **10-5P-8: PERMITTED SIGNS:**

Class 1 signs shall be permitted. For home occupations, class 2 signs will be allowed in addition to class 1 signs. For public and institutional uses as allowed by conditional use permit, class 3 signs will be allowed in addition to class 1 signs.

#### **10-5P-9 SPECIAL CONDITIONS:**

Due to the higher residential densities permitted by this article, the following conditions are required in order to assure a quality livable environment:

- A. Minimum and Maximum Area: The minimum area that may be zoned RP shall be two (2) acres and the maximum area which may be zoned RP in any zone district shall be ~~ten (10)~~ [twenty \(20\)](#) acres.

#### **10-5P-11 LANDSCAPING REQUIREMENTS:**

- A. General Landscaping: At least fifteen percent (15%) of the total site shall be thoroughly landscaped, including an irrigation system to maintain such landscaping. Landscaping shall meet the requirements of [chapter 15](#) of this title. For use of exceptional design and materials, as determined by the planning commission, the landscaping may be reduced to ten percent (10%) of the total site.
- B. Bufferyard Landscaping: ~~Bufferyard A landscaping shall be required between the RP zone and all lower density residential zones and shall meet the requirements of [chapter 15](#) of this title.~~

Screening Fence: A fence of at least six feet (6') in height and that provides a visual screen shall be provided between the RP zone and all lower density residential zones.

## **Article Q Visual Buffer Overlay Zone (V-B)**

### **10.5Q.1 Purpose**

### **10.5Q.2 Description of Area to be Preserved**

### **10.5Q.3 Description of Area Overlay Zone is Allowed**

### **10.5Q.4 Special Provisions**

### **10.5Q.5 Requirements of Underlying Zone**

#### **10.5Q.1 Purpose**

The purpose of this overlay zone is to promote and provide for the preservation of open space and natural vegetation important to reducing the visual and noise impacts of Interstate 84 on adjacent residential development. This overlay zone provides incentives to property owners to develop in a way that will accomplish these objectives. This overlay zone establishes special provisions apply only to those properties that receive this overlay designation and which override the applicable provisions of the underlying zone.

#### **10.5Q.2 Description of Area to be Preserved**

The open spaces to be preserved under the provisions of this article are those areas immediately adjacent to and on the south side of the Interstate 84 Right of Way from The Rocky Mountain Power Substation to 1100 East. This area will be between the I-84 Right of Way and the right of way for Old Fort Rd. as it is proposed and primarily land that contains native vegetation.

#### **10.5Q.3 Description of Area Overlay Zone Allowed**

With the Planning Commission recommendation and City Council approval, this overlay zone may be applied to land that lies adjacent to the south side of Interstate 84 between The Rocky Mountain Power substation and 1100 East and that is at least ten (10) acres in area.

#### **10.5Q.4 Special Provisions**

A. Density Increase and Transference:

The density of the development that would be allowed by the underlying zone within the area being preserved may be increased by 100% and all of the density thereby generated may be transferred to that part of the same property that is not being preserved, and to no other property.

~~B. Lot Size Adjustment:~~

~~The minimum lot size required in the underlying zone may be reduced by 10%.~~

C. Lot Width adjustment:

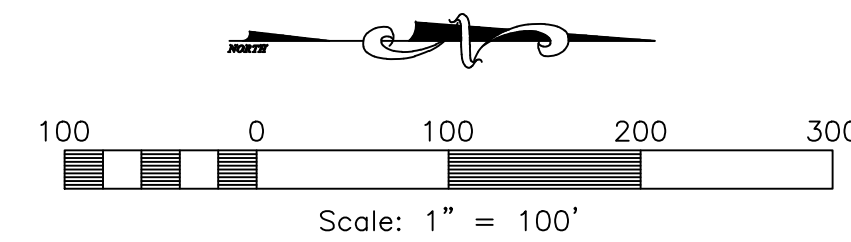
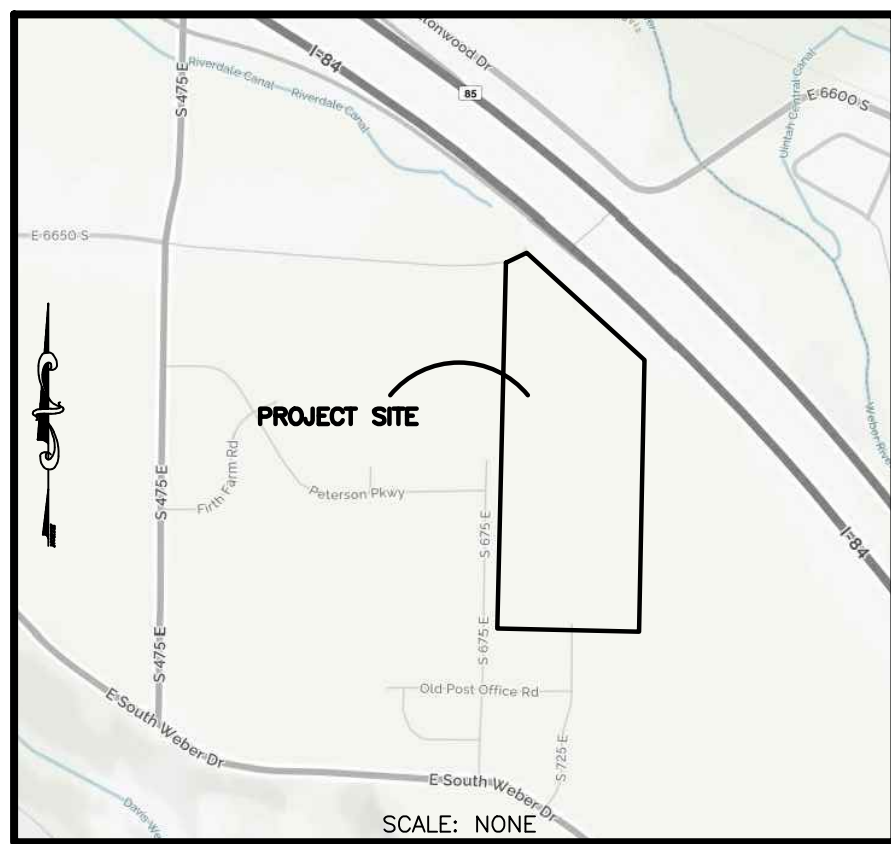
~~The minimum lot width shall be eighty feet (80') with no other lot width restrictions.~~  
The minimum lot width required by the underlying zone shall be reduced by five feet (5').

D. Minimum Side Yard Adjustment:

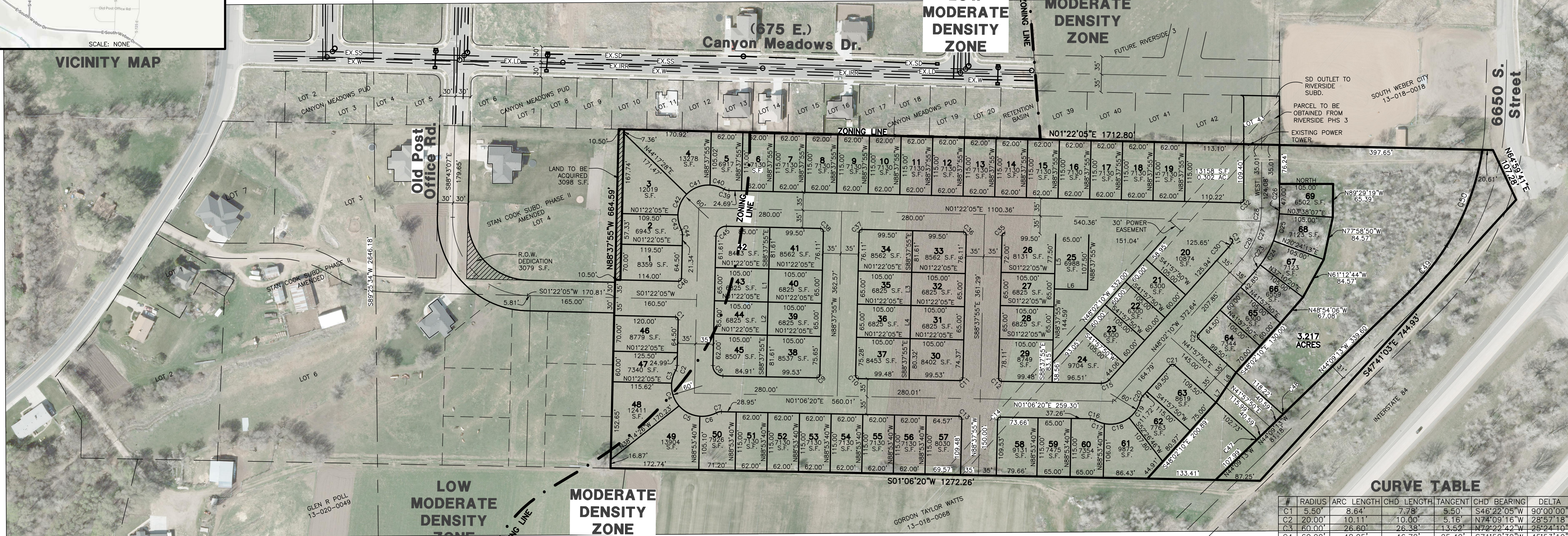
~~The minimum side yard shall be eight feet (8').~~ The minimum side yard required by the underlying zone shall be reduced by two feet (2'), but in no case shall the minimum side yard be less than five feet (5').

**10.5Q.5 Requirements of Underlying Zone**

All other provisions of the underlying zone not modified by this overlay zone remain in full force and effect.

NORTHWEST CORNER OF  
SECTION 28, TOWNSHIP 5  
NORTH, RANGE 1 WEST, SALT  
LAKE BASE & MERIDIAN, U.S.  
SURVEY

VICINITY MAP

(675 E.)  
Canyon Meadows Dr.LOW  
MODERATE  
DENSITY  
ZONEMODERATE  
DENSITY  
ZONE6650 S.  
StreetLOW  
MODERATE  
DENSITY  
ZONEMODERATE  
DENSITY  
ZONE

CURVE TABLE

#	RADIUS	ARC LENGTH	CHD LENGTH	TANGENT	CHD BEARING	DELTA
C1	5.50'	8.64'	7.78'	9.50'	S46°22'05"W	90°00'00"
C2	20.00'	10.11'	10.00'	5.16'	N74°09'16"W	28°57'18"
C3	60.00'	26.60'	26.38'	13.52'	N72°22'42"W	25°24'16"
C4	60.00'	48.05'	46.78'	25.40'	S71°58'38"W	45°53'10"
C5	60.00'	46.67'	45.50'	24.39'	S26°45'02"W	44°34'02"
C6	60.00'	33.94'	33.30'	17.38'	S11°44'28"E	32°18'59"
C7	20.00'	10.11'	10.00'	5.16'	S13°22'19"E	28°57'18"
C8	20.00'	31.51'	28.35'	20.09'	N46°14'12"E	90°15'45"
C9	5.50'	8.61'	7.76'	5.47'	N43°45'47"W	89°44'15"
C10	5.50'	8.66'	7.80'	5.53'	S46°14'13"W	90°15'45"
C11	5.50'	8.61'	7.76'	5.47'	N43°45'47"W	89°44'15"
C12	5.50'	8.66'	7.80'	5.53'	S46°14'13"W	90°15'45"
C13	5.50'	8.66'	7.80'	5.53'	N46°14'13"E	90°15'45"
C14	5.50'	8.61'	7.76'	5.47'	S43°45'47"E	89°44'15"
C15	20.00'	17.15'	16.63'	9.14'	N23°27'55"W	49°08'30"
C16	20.00'	10.11'	10.00'	5.16'	S15°34'59"W	28°57'18"
C17	60.00'	19.27'	19.19'	9.72'	N20°51'30"E	18°24'15"
C18	60.00'	51.53'	49.96'	27.48'	S12°56'56"E	49°12'37"
C19	60.00'	41.30'	40.49'	21.51'	S67°16'21"E	39°26'14"
C20	20.00'	10.11'	10.00'	5.16'	S62°30'49"E	28°57'18"
C21	5.50'	8.64'	7.78'	5.50'	S03°02'10"E	90°00'00"
C22	5.50'	8.64'	7.78'	5.50'	S86°57'50"W	90°00'00"
C23	185.00'	15.47'	15.47'	7.74'	N50°25'55"W	4°47'31"
C24	185.00'	54.14'	53.95'	27.27'	S61°12'44"E	16°46'06"
C25	185.00'	54.14'	53.95'	27.27'	S77°58'50"E	16°46'06"
C26	185.00'	11.74'	11.74'	5.87'	N88°10'57"W	3°38'07"
C27	150.00'	109.86'	107.42'	57.53'	N69°01'05"W	41°57'50"
C28	150.00'	26.04'	26.01'	13.05'	S85°01'34"E	9°56'52"
C29	150.00'	83.82'	82.73'	43.03'	N64°02'39"W	32°00'58"
C30	115.00'	11.14'	11.14'	5.57'	S50°48'41"E	5°33'02"
C31	5.50'	12.00'	9.76'	10.58'	N63°53'27"E	125°02'44"
C32	5.50'	8.77'	7.87'	5.63'	N44°18'57"W	91°22'05"
C33	5.50'	8.64'	7.78'	5.50'	S43°37'55"E	90°00'00"
C34	5.50'	8.64'	7.78'	5.50'	S46°22'05"W	90°00'00"
C35	5.50'	8.64'	7.78'	5.50'	S46°22'05"W	90°00'00"
C36	5.50'	8.64'	7.78'	5.50'	S46°22'05"W	90°00'00"
C37	5.50'	8.64'	7.78'	5.50'	S46°22'05"W	90°00'00"
C38	5.50'	8.64'	7.78'	5.50'	S46°22'05"W	90°00'00"
C39	20.00'	10.11'	10.00'	5.16'	N15°50'44"E	28°57'18"
C40	60.00'	28.90'	28.62'	14.74'	N16°31'23"E	27°36'01"
C41	60.00'	50.72'	49.22'	26.98'	N21°29'35"W	48°25'54"
C42	60.00'	45.02'	43.97'	23.63'	S67°12'10"E	42°59'17"
C43	60.00'	30.25'	29.93'	15.46'	N76°51'29"E	28°53'24"
C44	20.00'	10.11'	10.00'	5.16'	S76°53'26"W	28°57'18"
C45	20.00'	31.42'	28.28'	20.00'	S43°37'55"E	90°00'00"
C46	5.50'	8.64'	7.78'	5.50'	S43°37'55"E	90°00'00"
C47	5.50'	9.01'	8.04'	5.89'	S88°54'19"W	93°52'57"
C48	5.50'	8.27'	7.51'	5.14'	S01°05'41"E	86°07'03"
C49	491.00'	115.47'	115.21'	58.00'	S03°53'28"E	13°28'30"
C50	491.00'	203.38'	201.93'	103.17'	S69°29'42"E	23°43'58"

## DESIGN SPECS.

TOTAL AREA.....23.50 ACRES  
OLD FORT ROAD DEDICATION.....0.93 ACRES  
TREE PRESERVATION AREA.....3.22 ACRES  
NET DEVELOPABLE AREA.....19.35 ACRES  
69 LOTS PROPOSED (2.93 UNITS/AC)

GENERAL PLAN ZONING  
DENSITY CALCS.

LOW DENSITY ZONE AREA.....2.79 ACRES (1.85 UNITS/AC) 5.37 UNITS  
MODERATE DENSITY ZONE AREA.....16.57 ACRES (2.80 UNITS/AC) 46.40 UNITS  
19.79 ACRES (2.80 UNITS/AC) 55.41 UNITS  
60.78 LOTS TOTAL

GENERAL PLAN ZONING  
WITH R-P OVERLAY  
DENSITY CALCS.

LOW DENSITY ZONE AREA.....2.79 ACRES (1.85 UNITS/AC) 5.37 UNITS  
MODERATE DENSITY ZONE AREA.....16.57 ACRES (2.80 UNITS/AC) 46.40 UNITS  
TREE PRESERVATION AREA.....3.22 ACRES (5.60 UNITS/AC) 18.03 UNITS  
69 LOTS TOTAL

## LINE TABLE

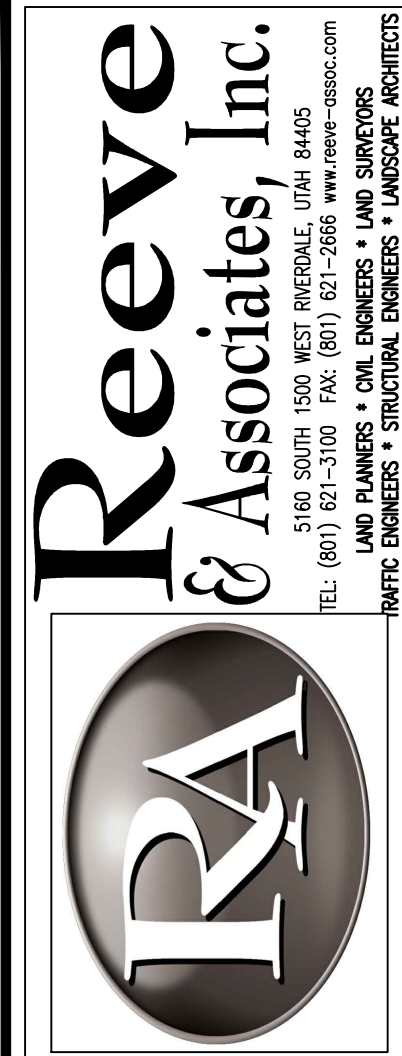
LINE	BEARING	DISTANCE
L1	S88°37'55"E	65.00'
L2	S88°37'55"E	65.00'
L3	S88°37'55"E	65.00'
L4	S88°37'55"E	65.64'
L5	S88°37'55"E	107.50'
L6	S01°22'05"W	65.00'
L7	N56°09'58"W	35.36'
L8	N56°09'58"W	35.36'

## Developer:

Nilson Homes  
Mark Staples  
5617 S. 1475 E.  
Ogden, UT. 84403  
(801) 392-8100

## Stan Cook Property

South Weber City, Davis County, Utah



REVISIONS	DESCRIPTION
DATE	

Stan Cook Property  
PART OF THE NORTHWEST QUARTER OF SECTION 28, T.5N., R.1W., S.1B. & M., U.S. SURVEY  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

## Sketch Plan

Revised: Sept. 27, 2017

Project Info.  
Engineer: N. Reeve  
Designer: C. Cave  
Begin Date: August 28, 2017  
Name: STAN COOK PROPERTY  
Number: 1301-D25

Sheet	1
1	Sheets













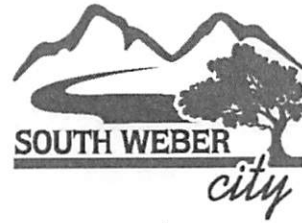


**For Office Use Only**

Fees received by: SK Date of submittal: 9/27/17  
Amount Paid: \$1100.00 Receipt #: 10-025475

Initial Review, all of the required supporting materials have been provided: \_\_\_\_\_

PC/CC Meeting Date: 10/12/17



**Final Plan Application**

Project/Subdivision Name: RIVERSIDE PLACE PHASE 3  
Approx. Location: 6650 S. 475 EAST  
Parcel Number(s): \_\_\_\_\_ Total Acres: 2.921  
Current Zone: \_\_\_\_\_  
Surrounding Land Uses: RESIDENTIAL  
Number of Lots: 12 # Lots Per Acre: \_\_\_\_\_  
Phase: 3 of 6 PUD: Yes / ☒ No

**Contact Information**

**Developer or Agent**

Name: Manchester Group  
Company Name: MB-Riverside  
Address: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_  
Phone: 801-678-1074 Fax: \_\_\_\_\_  
Email: timothygrubb@icloud.com

**Best Way/Preferred Method of Contact:**

☒ Email ☒ Phone \_\_\_\_\_ Fax \_\_\_\_\_ Mail

**Developer's Engineer**

Name: Reeve & Associates  
Company: CHRIS CAVE  
License #: \_\_\_\_\_  
Address: 5160 S. 1560 West  
City/State/Zip: Riverdale 84405  
Phone: 801-621-3100 Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**Best Way/Preferred Method of Contact:**

☒ Email ☒ Phone \_\_\_\_\_ Fax \_\_\_\_\_ Mail

**Surveyor**

☒ Check here if same as Engineer

Name: \_\_\_\_\_  
Company: \_\_\_\_\_  
License #: \_\_\_\_\_  
Address: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**Property Owner(s)**

☒ Check here if same as Developer

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

## Final Plan Requirements

- ☒ Complete all conditions/requirements set by the Planning Commission at Preliminary Approval
- ☒ Finalized Draft of Covenants, Conditions, and Restrictions (if applicable)
- ☒ Finalized Storm Drain Calculations
- ☒ Any applicable agreements finalized, signed, and proof of recording with county provided (agreements with South Weber City must be finalized and remain unsigned)
- ☒ Finalized set of certified, stamped construction drawings and specifications as prepared by a licensed civil engineer\*\*


\*\*One full sized (24" x 36"), one reduced (11" x 17"), and one electronic PDF form shall be submitted of the following (the north area to point up or to the left):

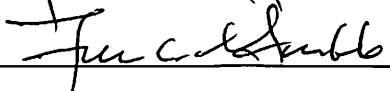
- ☒ Format of Final Plat for Recording Required by the County

\*All plans must be prepared and stamped by a licensed and/or certified professionals including, but not limited to, architects, landscape architects, land planners, engineers, surveyors, transportation engineers or other professionals as deemed necessary by the City Planner.

## Applicant Certification

I certify under penalty of perjury that this application and all information submitted as a part of this application are true, complete, and accurate to the best of my knowledge. I also certify that I am the owner of the subject property and that the authorized agent noted in this application has my consent to represent me with respect to this application. Should any of the information or representations submitted in connection with this application be incorrect or untrue, I understand that The City of South Weber may rescind any approval, or take any other legal or appropriate action. I also acknowledge that I have reviewed the applicable sections of the South Weber City Land Development Code and that items and checklists contained in this application are basic and minimum requirements only and that other requirements may be imposed that are unique to individual projects or uses. Additionally, I agree to pay all fees associated with this project, as set by the current adopted Consolidated Fee Schedule as well as any fees associated with any City Consultant (i.e. engineer, attorney). The applicant shall also be responsible for all collection fees incurred including a collection fee of up to 40% (pursuant to the provisions of the Utah Code Ann. §12-1-11). I also agree to allow the Staff, Planning Commission, or City Council or appointed agent(s) of the City to enter the subject property to make any necessary inspections thereof.

Applicant's Signature:  Date: 9-25-17

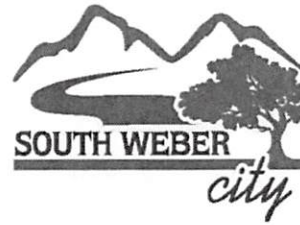
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Amount Paid: \$1100. Receipt #: 10.025476

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PC/CC Meeting Date: 10/12/17



**Final Plan Application**

Project/Subdivision Name: RIVERSIDE PLACE Phase 4  
Approx. Location: 6650 S. 475 East  
Parcel Number(s): \_\_\_\_\_ Total Acres: 4.169  
Current Zone: \_\_\_\_\_  
Surrounding Land Uses: Residential  
Number of Lots: 14 # Lots Per Acre: \_\_\_\_\_  
Phase: 4 of 6 PUD: Yes / No

**Contact Information**

**Developer or Agent**

Name: Tim Gross Manchester Group  
Company Name: MB-Riverside  
Address: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_  
Phone: 801 678 1674 Fax: \_\_\_\_\_  
Email: timothy.gross@icloud.com

**Best Way/Preferred Method of Contact:**

☒ Email ☒ Phone \_\_\_\_\_ Fax \_\_\_\_\_ Mail

**Developer's Engineer**

Name: Reeve & Associates  
Company: Chris Cove  
License #: \_\_\_\_\_  
Address: 5160 S. 1500 West  
City/State/Zip: Riverdale 84405  
Phone: 801-621-3100 Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**Best Way/Preferred Method of Contact:**

☒ Email ☒ Phone \_\_\_\_\_ Fax \_\_\_\_\_ Mail

**Surveyor**

☒ Check here if same as Engineer

Name: \_\_\_\_\_  
Company: \_\_\_\_\_  
License #: \_\_\_\_\_  
Address: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

**Property Owner(s)**

☒ Check here if same as Developer

Name: \_\_\_\_\_  
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\*\*One full sized (24" x 36"), one reduced (11" x 17"), and one electronic PDF form shall be submitted of the following (the north area to point up or to the left):

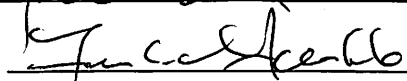
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Applicant's Signature:  Date: 9-25-17

Property Owner's Signature:  Date: 9-25-17

Reeve & Associates, Inc. - Solutions You Can Build On

Project Narrative/Notes/Revisions

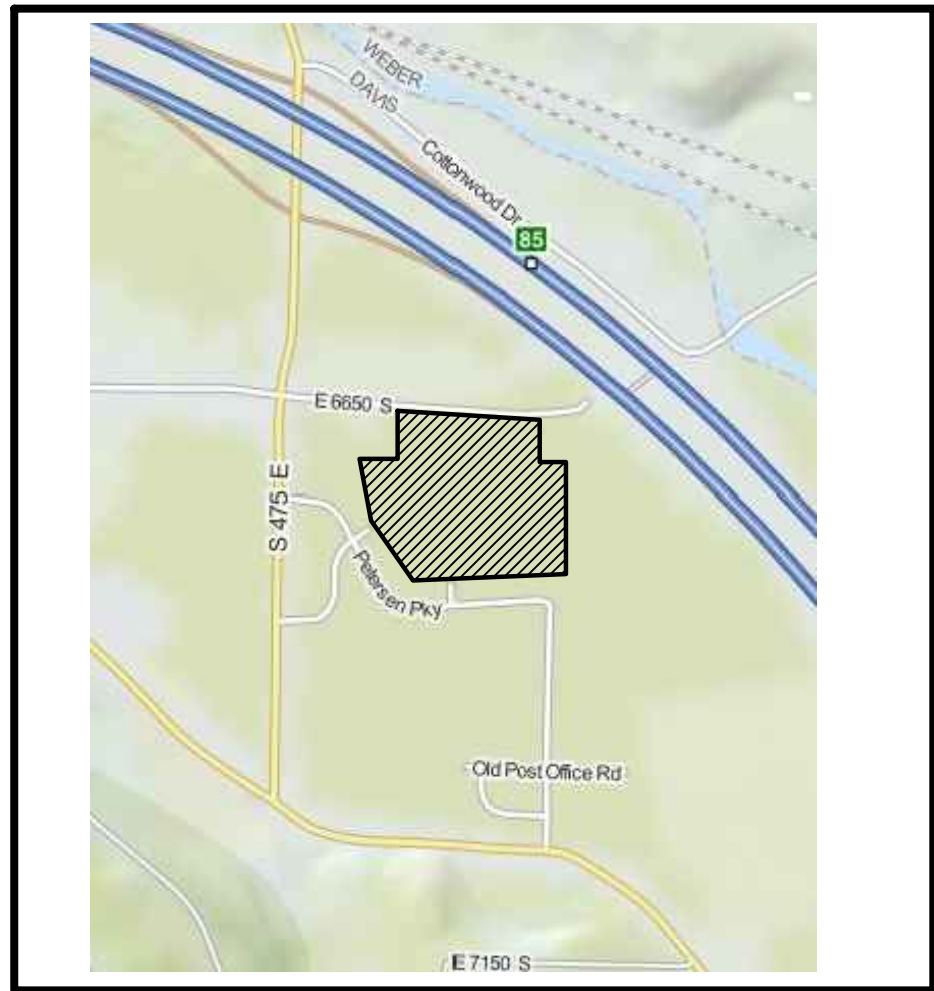
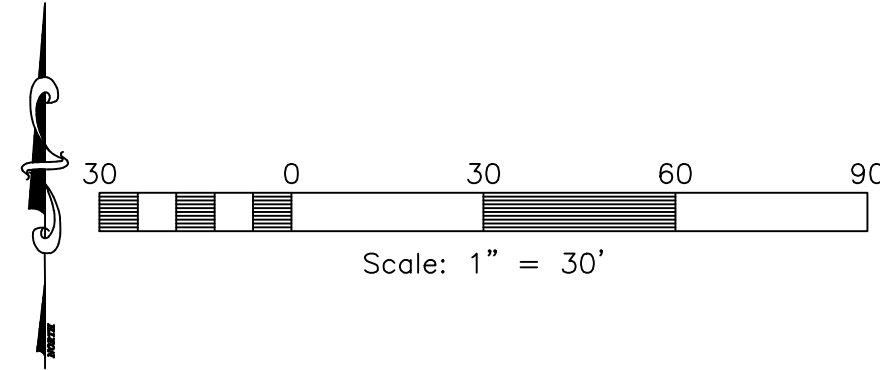
- 12/08/16 CK - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.
- 08/07/17 CK - UPDATED GRADING PER CLIENT REQUEST.
- 09/18/17 CK - MODIFIED PHASING PER CLIENT REQUEST.

# Riverside Place Subdivision

## Phase 3 Improvement Plans

SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
NOVEMBER 2016

Reeve & Associates, Inc. - Solutions You Can Build On



Vicinity Map  
NOT TO SCALE



Sheet Index Key Map  
NOT TO SCALE

Sheet Index

- Sheet 1 - Cover/Index Sheet
- Sheet 2 - Notes/Legend
- Sheet 2.1 - Street Cross-Section
- Sheet 3 - Green Springs Way - 13+50.00 - 17+00.00
- Sheet 4 - Green Springs Way - 17+00.00 - 20+00.00
- Sheet 5 - Pebble Creek Drive - 25+50.00 - 28+00.00
- Sheet 6 - Pebble Creek Drive 21+50.00 - 25+50.00
- Sheet 7 - Grading & Drainage Plan
- Sheet 8 - Utility Plan
- Sheet 9 - Storm Water Pollution Prevention Plan Exhibit
- Sheet 10 - Storm Water Pollution Prevention Plan Details

Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Developer Contact:

Doug Brady  
King's Gate Development  
11 Gatehouse Lane  
Sandy, Utah, 84092  
PH: (801) 792-5123

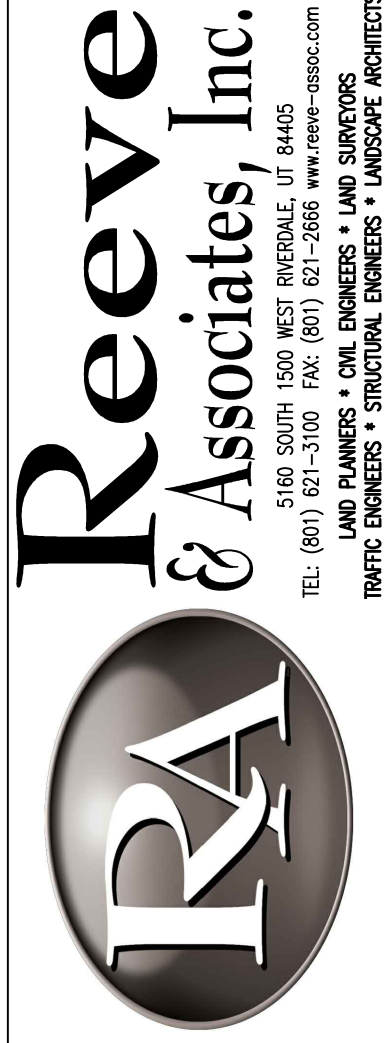
Blue Stakes Location Center

Call: Toll Free  
1-800-662-4111

Two Working Days Before You Dig

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Reeve & Associates, Inc. - Solutions You Can Build On



REVISIONS	DATE	DESCRIPTION
08-07-17	CK	Updated Road Grades
09-18-17	CK	Modified Phasing

Riverside Place Subdivision  
Phase 3

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Cover/Index Sheet



Project Info.

Engineer: J. NATE REEVE  
Drafter: C. KINGSLEY  
Begin Date: NOVEMBER 2016  
Name: RIVERSIDE PLACE  
SUBDIVISION  
PHASE 3  
Number: 6626-01

Sheet  
1  
10  
Sheets

Revised: 09-18-17

General Notes:

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UN-INCORPORATED), INDIVIDUAL PRODUCT MANUFACTURERS, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), AND THE DESIGN ENGINEER. THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW GEOTECHNICAL RECOMMENDATIONS FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, RETAINING WALLS AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH THE PROJECT GEOTECHNICAL ENGINEER.
- TRAFFIC CONTROL, STRIPING & SIGNAGE TO CONFORM TO CURRENT GOVERNING AGENCIES TRANSPORTATION ENGINEER'S MANUAL AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD, INCLUDING OBTAINING REQUIRED INSPECTIONS.
- ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH BY THE GEOTECHNICAL ENGINEER.
- CATCH SLOPES SHALL BE GRADED AS SPECIFIED ON GRADING PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAGMEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY HIMSELF BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS HE MAY PREFER OF THE LOCATIONS OF THE PROPOSED WORK AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK. IF, DURING THE COURSE OF HIS EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO HIM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, HE SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING HIS BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, HE HAS RELIED AND IS RELYING ON HIS OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON HIS OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR. TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR, CONTRACTOR SHALL ACKNOWLEDGE THAT HE HAS NOT RELIED SOLELY UPON OWNER- OR ENGINEER-FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING HIS BID.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
- CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES, AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED, WHERE NECESSARY. SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE HIGHEST QUALITY ARE TO BE USED.
- CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS IN THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.
- CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH LOCAL, STATE AND NATIONAL SAFETY CODES, ORDINANCES, OR REQUIREMENTS FOR EXCAVATION AND TRENCHES.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
- ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE DEVELOPMENT STANDARDS OF SOUTH WEBER CITY AND THE CITY OF SOUTH WEBER DRAWINGS CONTAINED THEREIN. SOUTH WEBER CITY PUBLIC WORKS REQUIREMENTS SHALL BE MET.
- ELEVATIONS SHOWN AT THE CURB LINE ARE TOP OF CURB ELEVATIONS.

Utility Notes:

- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, INTERNET.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS (BY OTHERS). PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CONTRACTOR SHALL POT HOLE ALL UTILITIES TO DETERMINE IF CONFLICTS EXIST PRIOR TO BEGINNING ANY EXCAVATION. NOTIFY ENGINEER OF ANY CONFLICTS. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES TO WHICH NEW UTILITIES WILL BE CONNECTED. PRIOR TO COMMENCING ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE REQUIRED PROCEDURES.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT HIS EXPENSE.
- ALL VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE.
- CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE.
- CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOX WITH NON-SHRINKING GROUT, INCLUDING PIPE VOIDS LEFT BY CUTTING PROCESS, TO A SMOOTH FINISH.
- CONTRACTOR SHALL GROUT WITH NON-SHRINK GROUT BETWEEN GRADE RINGS AND BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX.
- SILT AND DEBRIS IS TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DE-WATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- MAINTAIN A MINIMUM 18" VERTICAL SEPARATION DISTANCE BETWEEN ALL UTILITY CROSSINGS.
- CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL BOLTED FITTINGS MUST BE GREASED AND WRAPPED.
- UNLESS SPECIFICALLY NOTED OTHERWISE, MAINTAIN AT LEAST 2 FEET OF COVER OVER ALL STORM DRAIN LINES AT ALL TIMES (INCLUDING DURING CONSTRUCTION).
- ALL WATER LINES SHALL BE INSTALLED A MINIMUM OF 60" BELOW FINISHED GRADE.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, PIPE EDGE TO PIPE EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, THE SEWER LINE AND WATER LINE SHALL BE LAID IN SEPARATE TRENCHES AND THE BOTTOM OF THE WATER LINE SHALL BE AT LEAST 18" ABOVE THE TOP OF THE SEWER LINE.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.
- THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.
- WATER LINE PIPE SHALL BE DUCTILE IRON CLASS-51. WASHOUT ASSEMBLIES SHALL CONSIST OF A KUPFERLE FOUNDRY CO. 2" BLOW-OFF HYDRANT (OR CITY-APPROVED EQUIV.) PLACED IN A BOX LOCATED IN THE PARK STRIP. WATER LINES SHALL BE ADJUSTED IN DEPTH AND GATE VALVES IN LOCATION SO AS NOT TO INTERFERE WITH STORM DRAIN CROSSINGS.
- SANITARY SEWER LATERALS SHALL BE GREEN, AND FOUNDATION DRAIN LATERALS SHALL BE WHITE TO PREVENT CONFUSION. FOUNDATION DRAIN MANHOLE LIDS SHALL BE MARKED "DRAIN" AND SHALL BE UNVENTED.
- SECONDARY WATER LINE SHALL BE PVC C-900 CLASS 200 DR-14. ALL SECONDARY WATER VALVE LIDS SHALL BE STAMPED "IRRIGATION".
- ALL WATER LINE CONSTRUCTION TO BE PER SOUTH WEBER WATER IMPROVEMENT DISTRICTS STANDARDS AND SPECIFICATIONS.

Geotechnical Report Notes

- ALL LOTS ARE SUBJECT TO THE REQUIREMENTS OF THE GEOTECHNICAL REPORT PREPARED BY GSH DATED DECEMBER 3, 2015.
- THE SHALLOW TO MODERATELY SHALLOW GROUNDWATER ENCOUNTERED AT THE SITE MAY AFFECT THE INSTALLATION OF UTILITIES.
- GSH RECOMMENDS THAT THE TOP OF HABITABLE FLOOR SLABS BE ESTABLISHED A MINIMUM 3.0 FEET ABOVE MEASURED GROUNDWATER OR A MINIMUM 1.5 FEET ABOVE THE LEVEL CONTROLLED BY A SUBDRAIN SYSTEM. A SUBDRAIN SYSTEM WILL DEPEND ON THE AVAILABILITY OF A DOWN GRADIENT POINT OF GRAVITY DISCHARGE SUCH AS A LAND DRAIN. THE DEPTH OF THE LAND DRAIN WILL CONTROL THE ALLOWABLE DEPTH FOR FOUNDATIONS.
- QUALIFIED GEOTECHNICAL ENGINEER FROM GSH WILL NEED TO VERIFY THAT ALL NON-ENGINEERED FILLS, TOPSOIL, DELETERIOUS MATERIAL AND/OR DISTURBED SOILS HAVE BEEN COMPLETELY REMOVED PRIOR TO THE PLACEMENT OF STRUCTURAL SITE GRADING FILLS, FLOOR SLABS, FOOTINGS, FOUNDATIONS, OR RIGID PAVEMENTS.
- NATURAL OR IMPORTED FINE-GRAINED COHESIVE SOILS ARE NOT RECOMMENDED FOR USE AS TRENCH BACKFILL IN STRUCTURALLY LOADED AREAS.
- ON SITE GRANULAR SOILS MAY BE REUTILIZED AS SITE GRADING FILLS IF THEY MEET REQUIREMENTS OF GEOTECHNICAL REPORT. FINE GRAINED CLAY/SILT SOILS ARE NOT RECOMMENDED FOR RE-UTILIZATION AS STRUCTURAL FILL.

Survey Control Note:

THE CONTRACTOR OR SURVEYOR SHALL BE RESPONSIBLE FOR FOLLOWING THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS) MODEL STANDARDS FOR ANY SURVEYING OR CONSTRUCTION LAYOUT TO BE COMPLETED USING REEVE & ASSOCIATES, INC. SURVEY DATA OR CONSTRUCTION IMPROVEMENT PLANS. PRIOR TO PROCEEDING WITH CONSTRUCTION STAKING, THE SURVEYOR SHALL BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON AN ALTA SURVEY, IMPROVEMENT PLAN, OR ANY ELECTRONIC DATA PROVIDED. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN FIVE (5) EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY REEVE & ASSOCIATES, INC. AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION STAKING.

- W— = PROPOSED CULINARY WATER LINE

—EX.W— = EXISTING CULINARY WATER LINE

—SS— = PROPOSED SANITARY SEWER LINE

—EX.SS— = EXISTING SANITARY SEWER LINE

—SD— = PROPOSED STORM DRAIN LINE

—EX.SD— = EXISTING STORM DRAIN LINE

—LD— = PROPOSED LAND DRAIN LINE

—EX.LD— = EXISTING LAND DRAIN LINE

—SW— = PROPOSED SECONDARY WATER LINE

—EX.SW— = EXISTING SECONDARY WATER LINE

—IRR— = PROPOSED IRRIGATION LINE

—EX.IRR— = EXISTING IRRIGATION LINE

—OHP— = EXISTING OVERHEAD POWER LINE

—TEL— = EXISTING TELEPHONE LINE

—GAS— = EXISTING NATURAL GAS LINE

— = EXISTING EDGE OF PAVEMENT

× — × = FENCE LINE

— — — = DITCH/SWALE FLOWLINE

● = PROPOSED FIRE HYDRANT

○ = EXISTING FIRE HYDRANT

● = PROPOSED MANHOLE

○ = EXISTING MANHOLE

● = PROPOSED SEWER CLEAN-OUT

⌵ = PROPOSED GATE VALVE

⌵ = EXISTING GATE VALVE

■ = PROPOSED WATER METER

■ = EXISTING WATER METER

■ = PROPOSED CATCH BASIN

□ = EXISTING CATCH BASIN

● = EXISTING SPRINKLER

⌵ = PLUG W/ 2" BLOW-OFF

● = AIR-VAC ASSEMBLY

▼ = PROPOSED REDUCER

⌵ = PLUG & BLOCK

○ = STREET LIGHT

⌵ = SIGN

BLDG = BUILDING

BVC = BEGIN VERTICAL CURVE

C&G = CURB & GUTTER

CB = CATCH BASIN

C.F. = CUBIC FEET

C.F.S. = CUBIC FEET PER SECOND

CL = CENTERLINE

DI = DUCTILE IRON

EP = EDGE OF PAVEMENT

EVC = END VERTICAL CURVE

FC = FENCE CORNER

FF = FINISH FLOOR

FFE = FINISH FLOOR ELEVATION

FG = FINISHED GRADE

FH = FIRE HYDRANT

FL = FLOW LINE

GB = GRADE BREAK

HDPE = HIGH DENSITY POLYETHYLENE PIPE

INV = INVERT

IRR = IRRIGATION

LD = LAND DRAIN

Legend

- L.F. = LINEAR FEET

NG = NATURAL GRADE

O.C. = ON CENTER

PC = POINT OF CURVE

PRC = POINT OF REVERSE CURVE

PRVC = POINT OF REVERSE VERTICAL CURVE

PT = POINT OF TANGENT

PP = POWER/UTILITY POLE

P.U.E. = PUBLIC UTILITY EASEMENT

R/C = REBAR & CAP

RCP = REINFORCED CONCRETE BOX

RCB = REINFORCED CONCRETE PIPE

RIM = RIM OF MANHOLE

R.O.W. = RIGHT-OF-WAY

SD = STORM DRAIN

SS = SANITARY SEWER

SW = SECONDARY WATER

TBC = TOP BACK OF CURB

TOE = TOE OF SLOPE

TOP = TOP OF SLOPE

TOW = TOP OF WALL

TSW = TOP OF SIDEWALK

VPI = VERTICAL POINT OF INTERSECT.

W = CULINARY WATER

WM = WATER METER

■ = NEW PAVEMENT

■ = NEW CONCRETE

Erosion Control General Notes:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT OPEN FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE GOVERNING AGENCIES.

Maintenance:

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

EXPPOSED SLOPES:

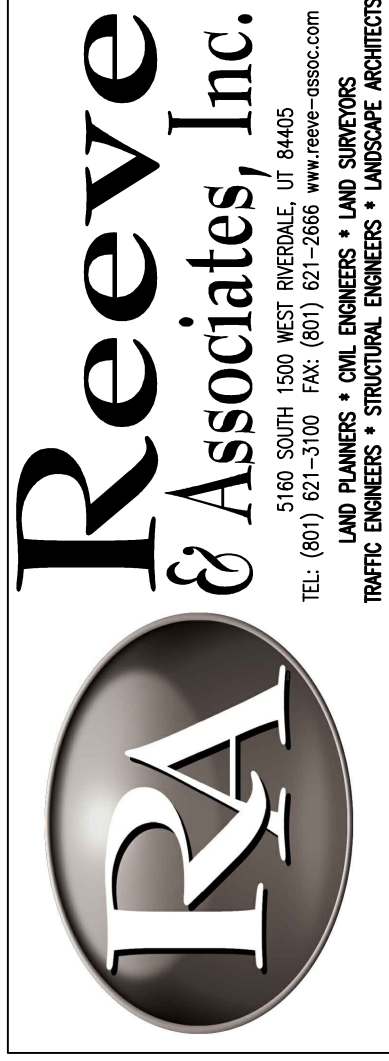
- ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:
- Spraying DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
  - TRACKING STRAW PERPENDICULAR TO SLOPES
  - INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

Flood Information Data

FLOOD ZONE DESIGNATION "X" PER F.E.M.A. FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL NUMBERS 49011C0089E DATED JUNE 18, 2007.

AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

(THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THE SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP OR THE LOCATION OF THE FLOOY ZONE BOUNDARY. IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THE SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.)



REVISIONS	DESCRIPTION
DATE	
08-07-17	CK Updated Road Grades
09-18-17	CK Modified Phasing

Riverside Place Subdivision Phase 3

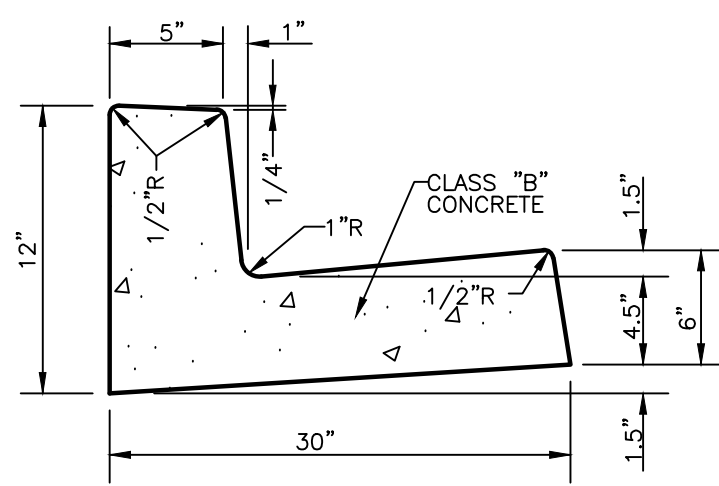
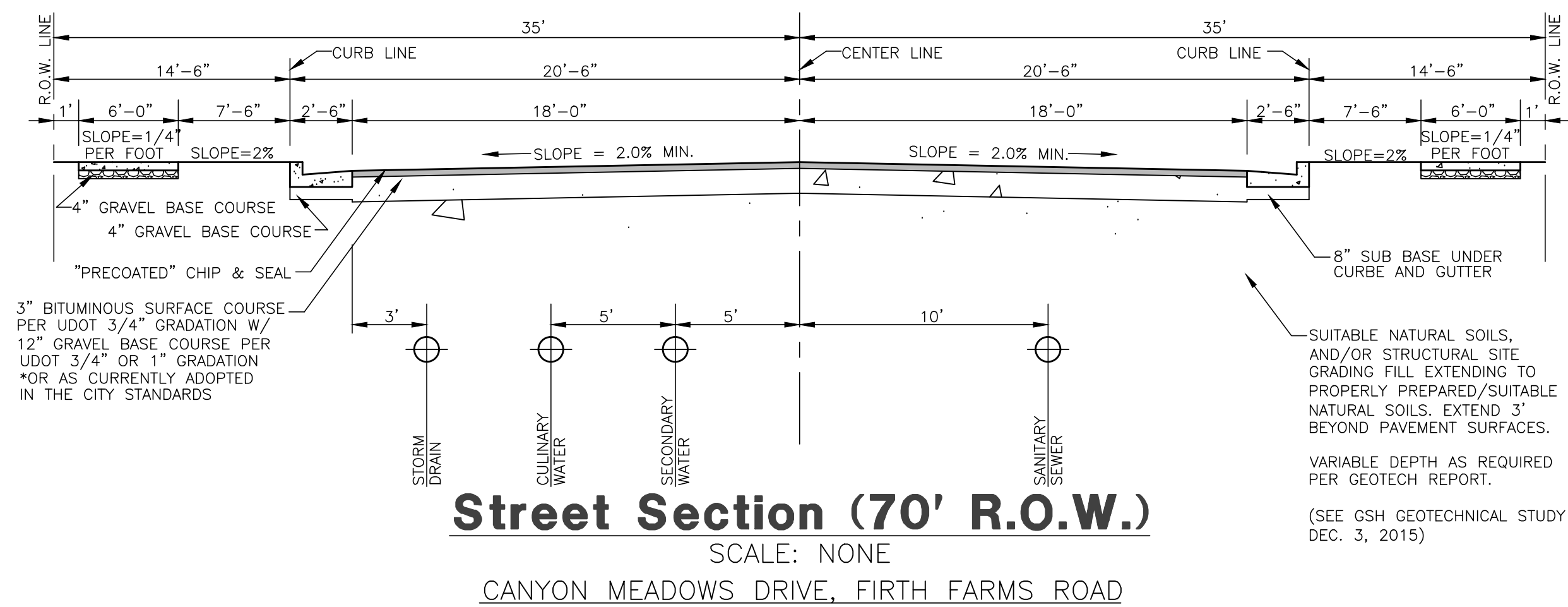
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Notes/Legend

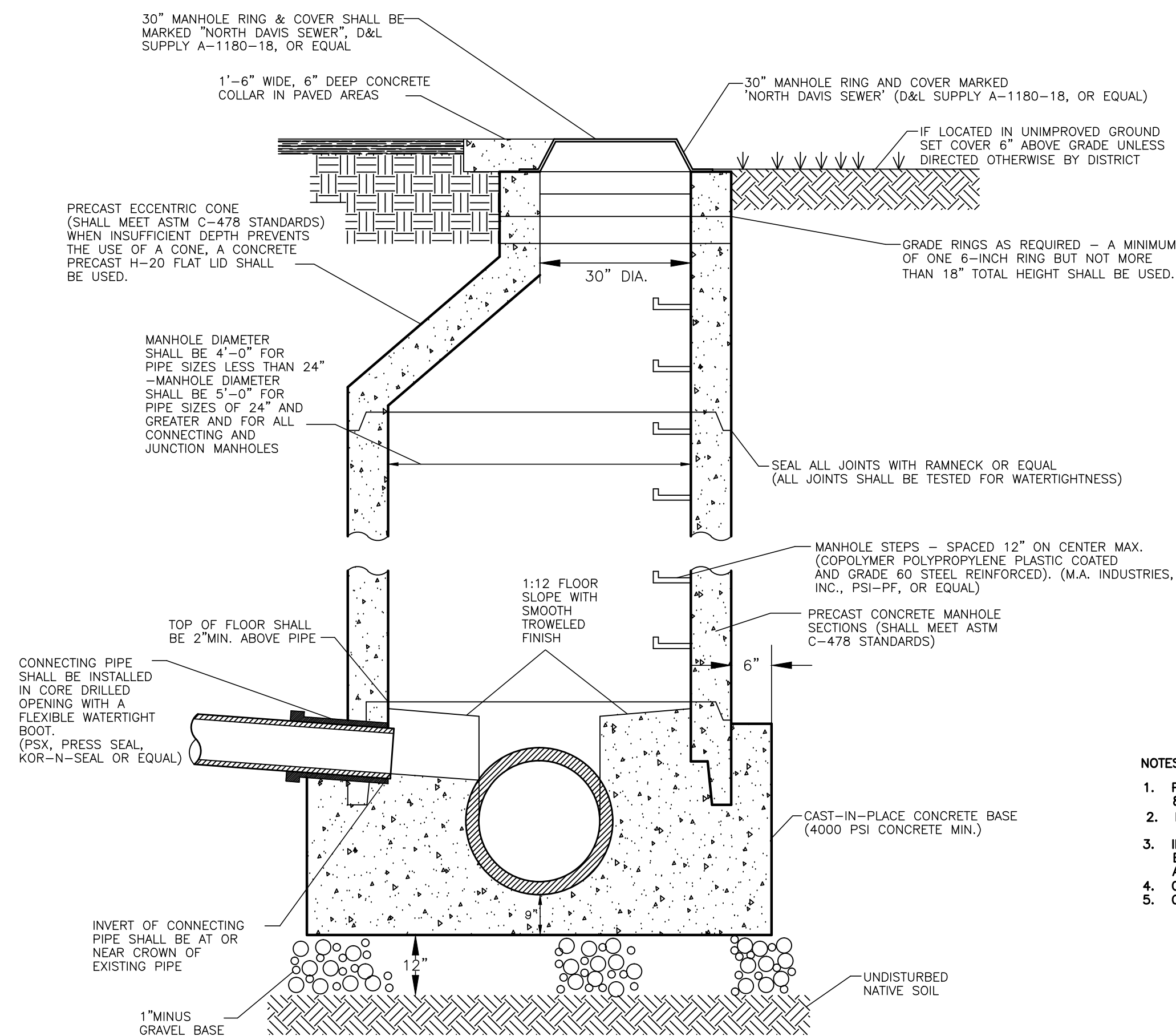


<b>Project Info.</b>	
Engineer,	J. NATE REEVE
Drafter,	C. KINGSLEY
Begin Date,	NOVEMBER 2016
Name,	RIVERSIDE PLACE
	SUBDIVISION
	PHASE 3
Number:	6626-01

Sheet	10
2	Sheets



**On-Site 'L' Type  
Curb & Gutter**  
SCALE: NONE

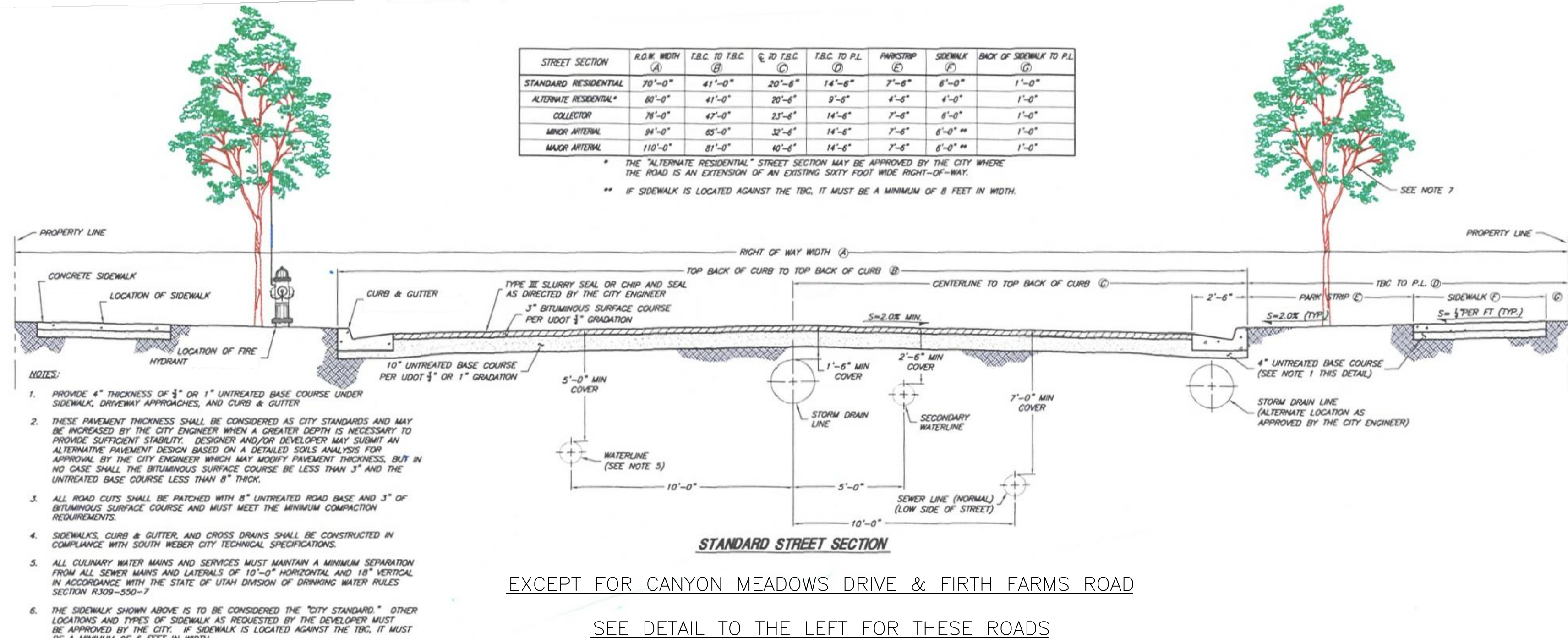


**NOTES:**

1. PERMIT REQUIRED FROM CENTRAL WEBER SEWER IMPROVEMENT DISTRICT 801-713-3011 BEFORE CONNECTION TO 30" RCP.
2. INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING SEWER AND OTHER UTILITIES, PROPER BACKFILLING, COMPACTING,
3. INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING SEWER AND OTHER UTILITIES, PROPER BACKFILLING, COMPACTING, AND CEMENT CURB PROTECTION.
4. CONTRACTOR SHALL NOTIFY DISTRICT 48 HOURS BEFORE INSTALLATION BEGINS
5. CONTRACTOR SHALL GUARANTEE WORK FOR A PERIOD OF ONE YEAR.

## Central Weber Sewer District Standard Manhole Connection Detail

SCALE: NONE



EXCEPT FOR CANYON MEADOWS DRIVE & FIRTH FARMS ROAD

SEE DETAIL TO THE LEFT FOR THESE ROADS

Revised: 09-18-17

# Riverside Place Subdivision Phase 3

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

## Street Cross-Section



**Project Info.**

Engineer:  
J. NATE REEVE

Drafter:  
G. KINGSLEY

Begin Date:  
NOVEMBER 2016

Name: RIVERSIDE PLACE

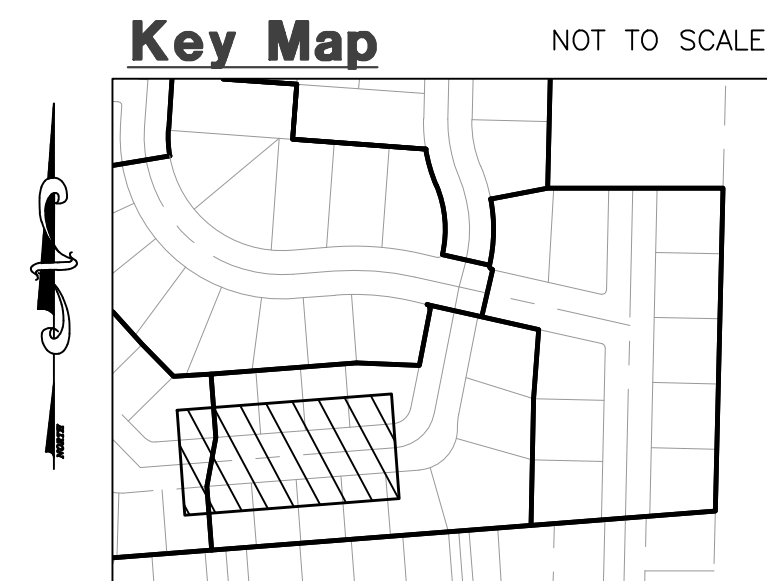
SUBDIVISION  
PAGE 3

PHASE 3  
Number: 6626-0

Sheet 10

2.1

REVISIONS	
DATE	DESCRIPTION
08-07-17	CK Updated Road Grades
09-18-17	CK Modified Phasing



1) ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY

- ② CONSTRUCT HANDICAP RAMP PER ADA AND COUNTY REQUIREMENTS.

CULINARY WATER

NOTE: 5' MIN. COVER REQUIRED OVER CW LINES

W - 1" TYPE K COPPER SERVICE LATERAL

W/8 - 8" DIP W/POLY WRAP WATER LINE

W/10 = 10" DIP W/POLY WRAP WATER LINE

SANITARY SEWER

SS - 4" PVC SDR 35 SERVICE LATERAL

SS/8 - 8" PVC SDR-35 SEWER LINE

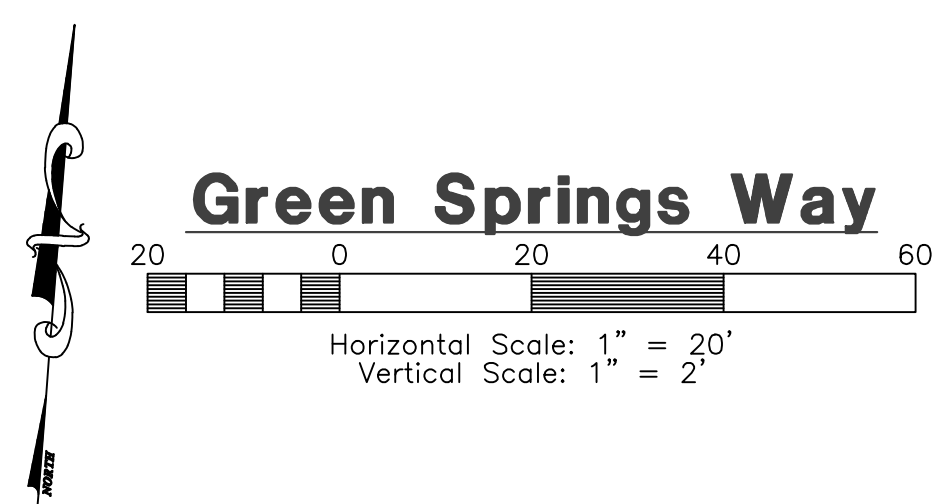
STORM DRAIN

SD/15 - 15" RCP STORM DRAIN

## SECONDARY WATER

SW - SECONDARY SERVICE LATERAL  
PER CITY STANDARDS

SW/8 - 8" PVC C-900 DR-14  
SECONDARY WATER LINE



Blue Stakes Location Center

**Call. Toll Free**

**Call: Toll Free  
1-800-660-1111**

**Two Working Days Before You Dig**

# Riverside Place Subdivision Phase 3

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

**Green Springs Way**  
**13+50.00 - 17+00.00**

**Project Info.**

Engineer:  
J. NATE REEVE

Drafter:  
C. KINGSLEY

Begin Date:  
NOVEMBER 2016

Name: \_\_\_\_\_

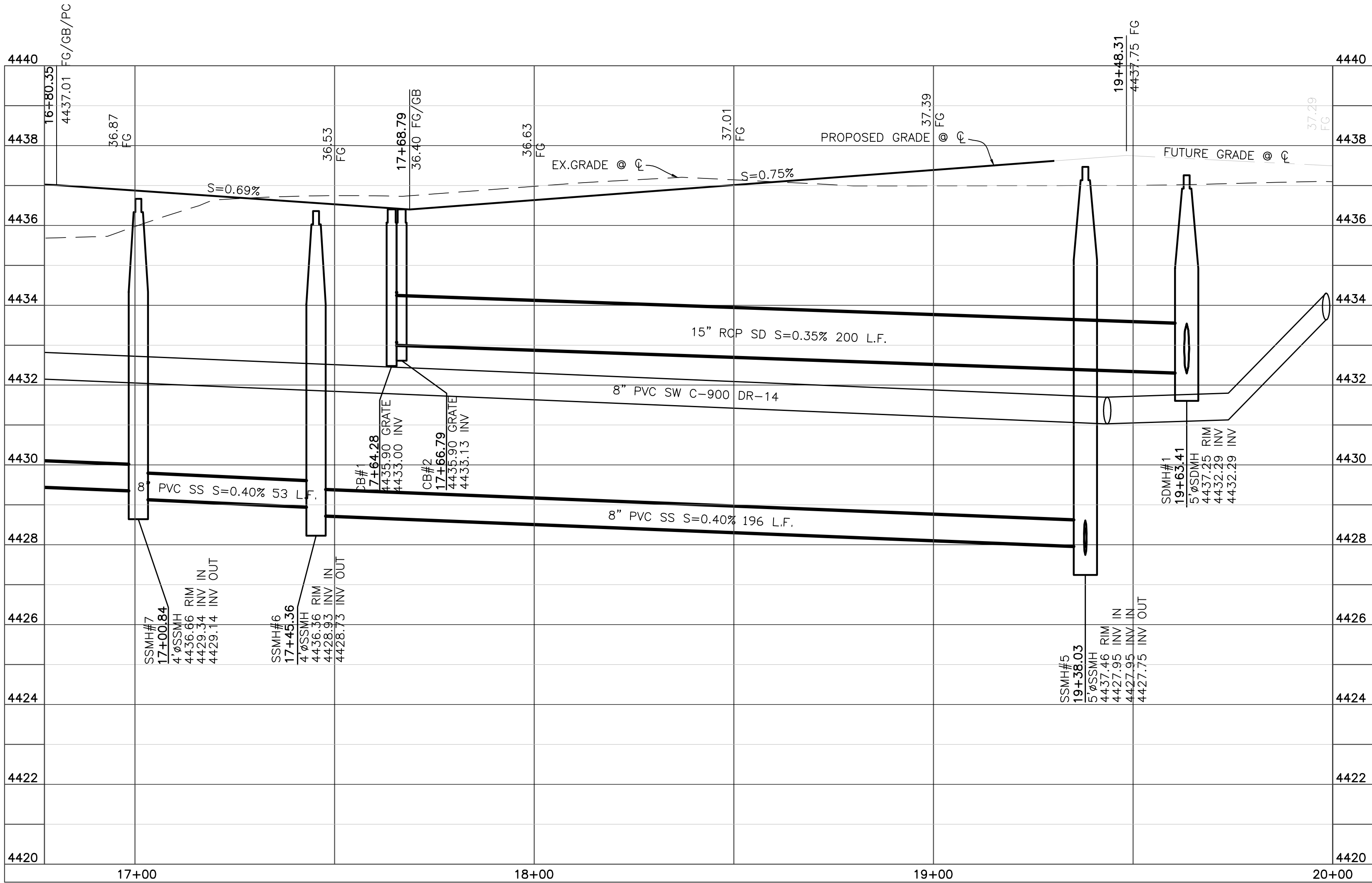
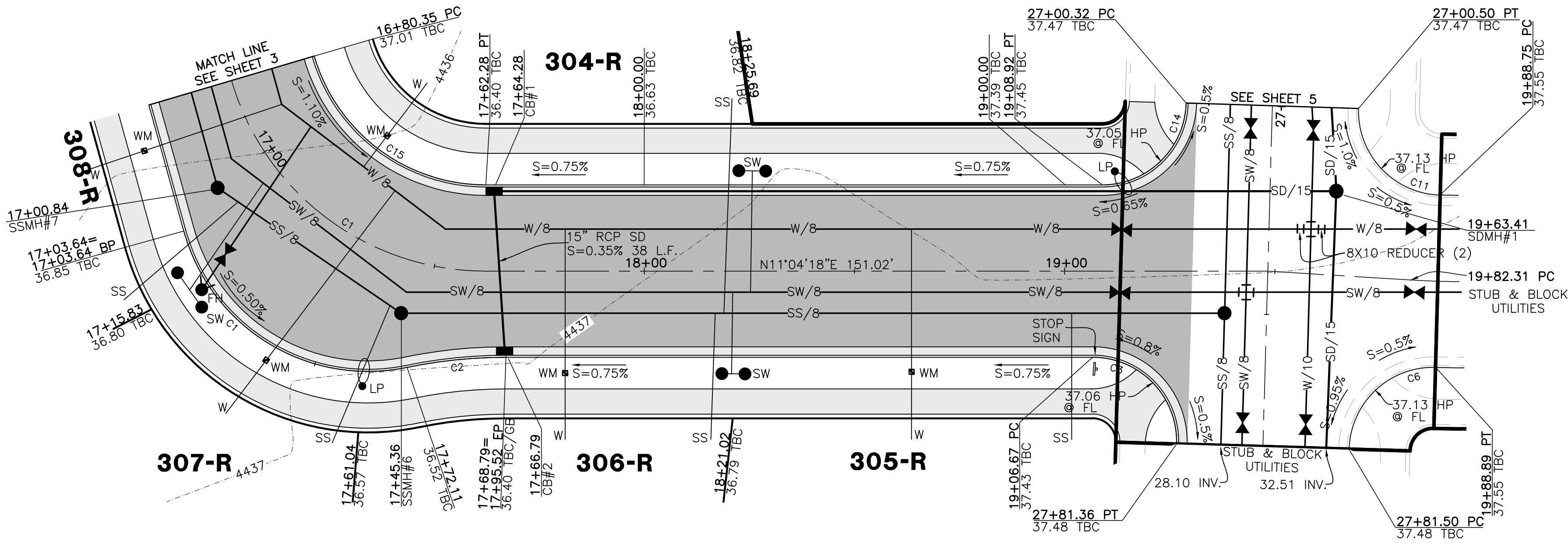
RIVERSIDE PLACE  
SUBDIVISION  
PHASE 3

Number: 6626-0

Sheet

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10  
Sheets



### Key Map

NOT TO SCALE



### Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND COUNTY REQUIREMENTS.

#### CULINARY WATER

NOTE: 5" MIN. COVER REQUIRED OVER CW LINES  
W - 1" TYPE K COPPER SERVICE LATERAL  
W/8 - 8" DIP W/POLY WRAP WATER LINE  
W/10 - 10" DIP W/POLY WRAP WATER LINE

#### SANITARY SEWER

SS - 4" PVC SDR 35 SERVICE LATERAL  
SS/8 - 8" PVC SDR-35 SEWER LINE

#### STORM DRAIN

SD/15 - 15" RCP STORM DRAIN

#### SECONDARY WATER

SW - SECONDARY SERVICE LATERAL  
PER CITY STANDARDS  
SW/8 - 8" PVC C-900 DR-14  
SECONDARY WATER LINE

### Green Springs Way

Horizontal Scale: 1" = 20'  
Vertical Scale: 1" = 2'

### TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	CH Length
C1	86°13'25"	45.50'	68.47'	42.60'	N42°28'09"E	62.19'
C2	11°42'51"	114.50'	23.41'	11.75'	S5°12'52"W	23.37'
C3	91°35'22"	20.00'	31.97'	20.56'	S56°51'59"W	28.67'
C6	90°04'43"	20.00'	31.44'	20.03'	S32°17'59"E	28.30'
C7	35°33'26"	220.50'	136.84'	70.70'	N5°02'20"W	134.65'
C8	24°09'53"	179.50'	75.71'	38.42'	S10°44'07"E	75.15'
C9	24°09'53"	220.50'	93.00'	47.20'	S10°44'07"E	92.31'
C10	35°35'49"	179.50'	111.52'	57.63'	N5°01'09"W	109.74'
C11	89°52'53"	20.00'	31.37'	19.96'	N57°43'13"E	28.26'
C14	88°24'38"	20.00'	30.86'	19.45'	N33°08'01"W	27.89'
C15	74°30'34"	42.50'	55.27'	32.32'	N48°19'35"E	51.46'

### Centerline Curve Data

#	Delta	Radius	Length	Tangent	Chord	CH Length
C1	74°30'34"	63.00'	81.93'	47.91'	N48°19'35"E	76.28'
C2	37°26'32"	200.00'	130.70'	67.78'	N4°05'47"W	128.38'
C3	24°09'53"	200.00'	84.35'	42.81'	N10°44'07"W	83.73'

Blue Stakes Location Center

Call: Toll Free  
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### Riverside Place Subdivision Phase 3

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Green Springs Way  
17+00.00 - 20+00.00

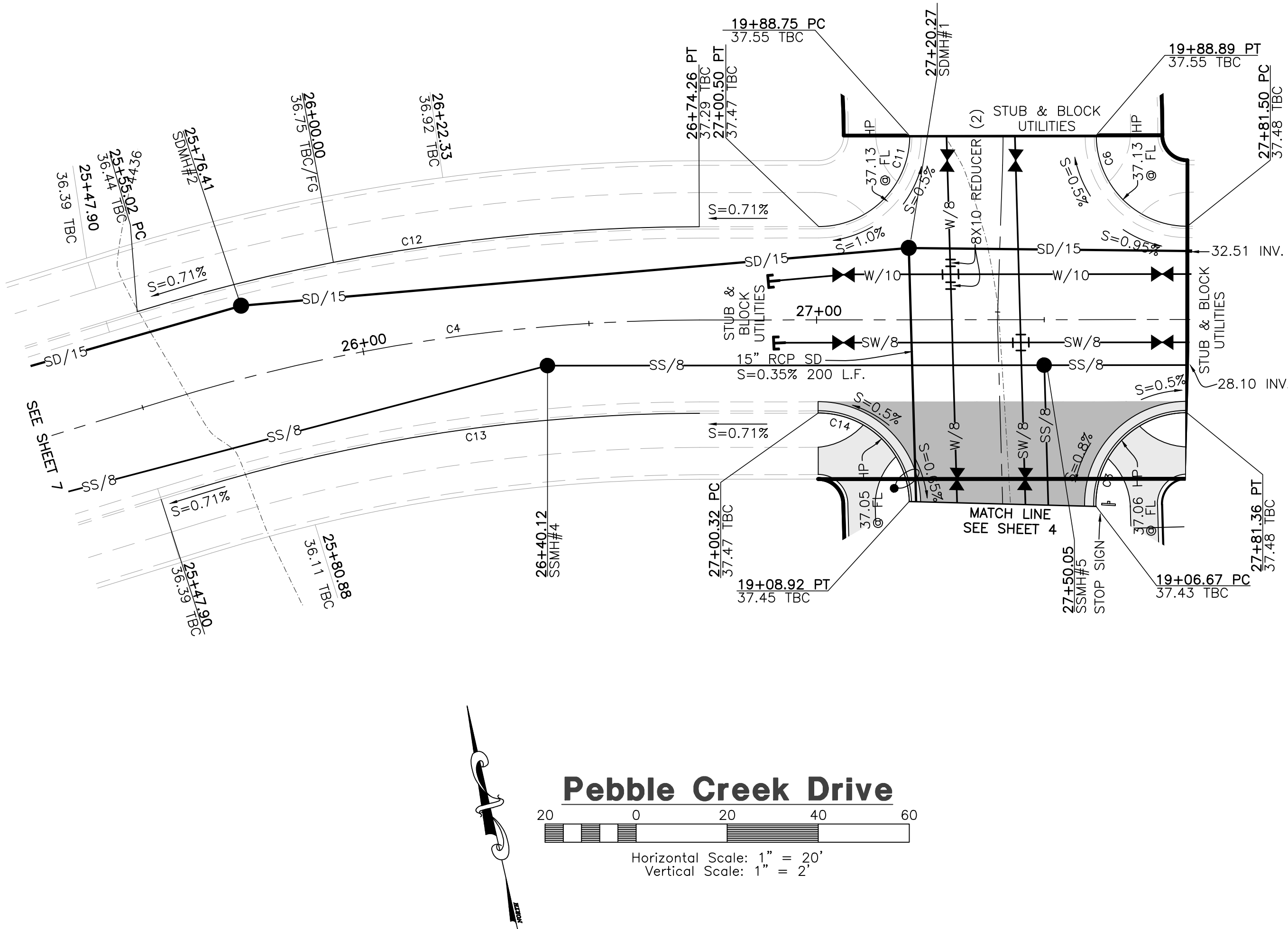
Revised: 09-18-17



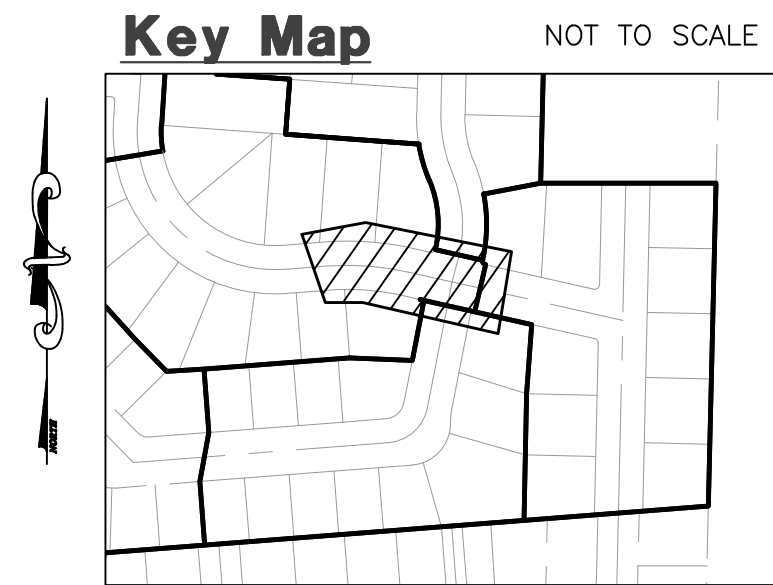
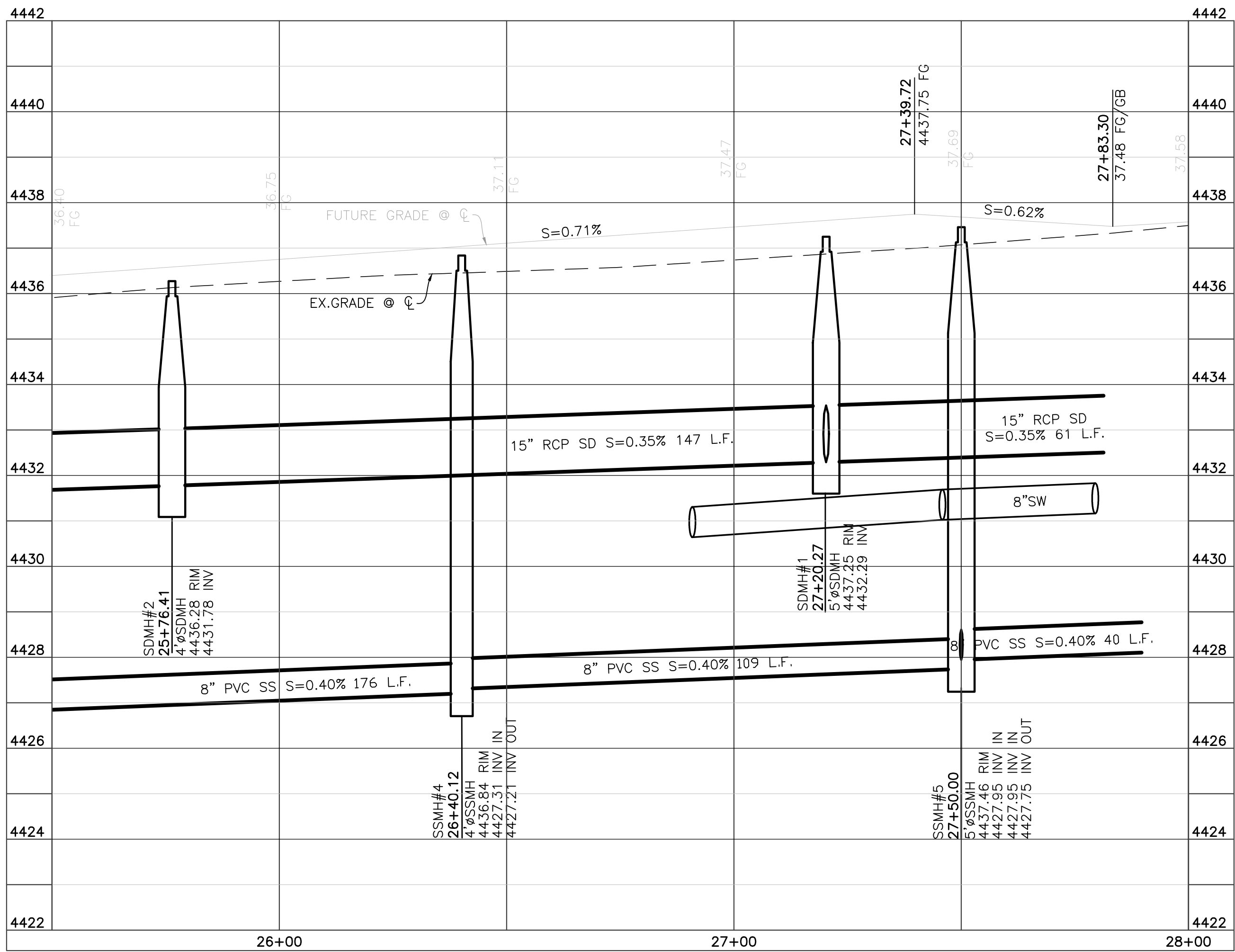
#### Project Info.

Engineer:  
J. NATE REEVE  
Drafter:  
C. KINGSLEY  
Begin Date:  
NOVEMBER 2016  
Name:  
RIVERSIDE PLACE  
SUBDIVISION  
PHASE 3  
Number: 6626-01

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305-R



Construction Notes:

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- 2) CONSTRUCT HANDICAP RAMP PER ADA AND COUNTY REQUIREMENTS.

CULINARY WATER

NOTE: 5' MIN. COVER REQUIRED OVER CW LINES  
W - 1" TYPE K COPPER SERVICE LATERAL  
W/8 - 8" DIP W/POLY WRAP WATER LINE  
W/10 - 10" DIP W/POLY WRAP WATER LINE

SANITARY SEWER

SS - 4" PVC SDR 35 SERVICE LATERAL  
SS/8 - 8" PVC SDR-35 SEWER LINE

STORM DRAIN

SD/15 - 15" RCP STORM DRAIN

SECONDARY WATER

SW - SECONDARY SERVICE LATERAL  
PER CITY STANDARDS  
SW/8 - 8" PVC C-900 DR-14  
SECONDARY WATER LINE

TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	CH Length
C3	91°35'22"	20.00'	31.97'	20.56'	S56°51'59"W	28.67'
C4	78°37'13"	20.00'	27.44'	16.38'	N38°01'44"W	25.34'
C5	101°22'47"	20.00'	35.39'	24.43'	N51°58'16"E	30.95'
C6	90°04'43"	20.00'	31.44'	20.03'	S32°17'59"E	28.30'
C11	89°52'53"	20.00'	31.37'	19.96'	N57°43'13"E	28.26'
C12	17°04'48"	420.50'	125.35'	63.14'	N85°52'44"W	124.89'
C13	17°04'48"	379.50'	113.13'	56.99'	N85°52'44"W	112.71'
C14	88°24'38"	20.00'	30.86'	19.45'	N33°08'01"W	27.89'

Centerline Curve Data

#	Delta	Radius	Length	Tangent	Chord	CH Length
C4	17°05'18"	399.80'	119.24'	60.07'	S85°52'37"E	118.80'

Blue Stakes Location Center

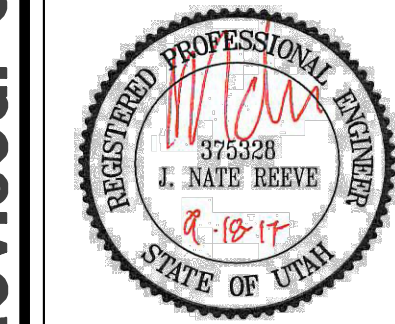
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Revised: 09-18-17

Riverside Place Subdivision  
Phase 3

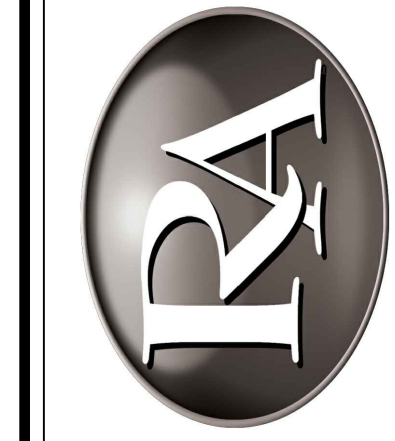
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Pebble Creek Drive  
25+50.00 - 28+00.00



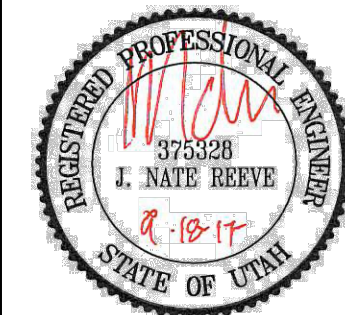
Project Info.  
Engineer:  
J. NATE REEVE  
Drafter:  
C. KINGSLEY  
Begin Date:  
NOVEMBER 2016  
Name:  
RIVERSIDE PLACE  
SUBDIVISION  
PHASE 3  
Number: 6626-01

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5  
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Sheets



REVISIONS	DATE	DESCRIPTION
08-07-17	CK	Updated Road Grades
09-18-17	CK	Modified Phasing

Revised: 09-18-17



**Project Info.**  
Engineer:  
J. NATE REEVE  
Drafter:  
C. KINGSLEY  
Begin Date:  
NOVEMBER 2016  
Name:  
RIVERSIDE PLACE  
SUBDIVISION  
PHASE 3  
Number: 6626-01

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**Riverside Place Subdivision  
Phase 3**  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
**Pebble Creek Drive  
21+50.00 - 25+50.00**

REVISIONS	DATE	DESCRIPTION
	08-07-17	CK Updated Road Grades
	09-18-17	CK Modified Phasing

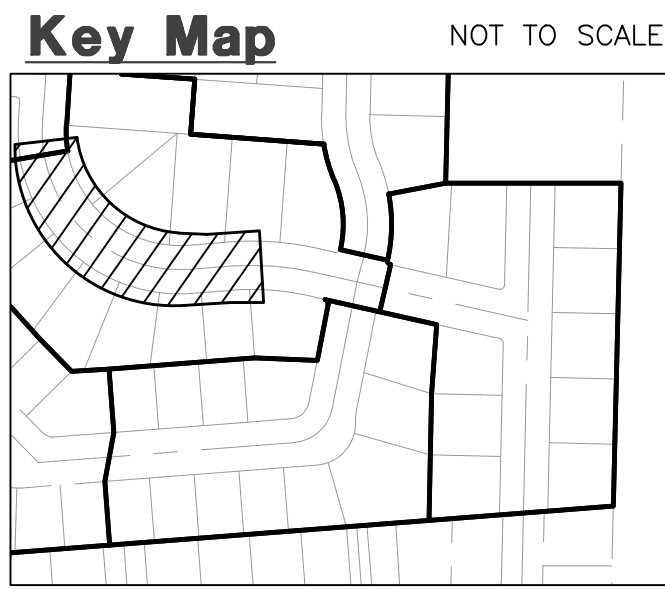
Reeve & Associates, Inc.

5160 SOUTH 1500 WEST RIVERDALE, UT 84405  
TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-assoc.com

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**Construction Notes:**

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**CULINARY WATER**

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W - 1" TYPE K COPPER SERVICE LATERAL  
W/8 - 8" DIP W/POLY WRAP WATER LINE  
W/10 - 10" DIP W/POLY WRAP WATER LINE

**SANITARY SEWER**

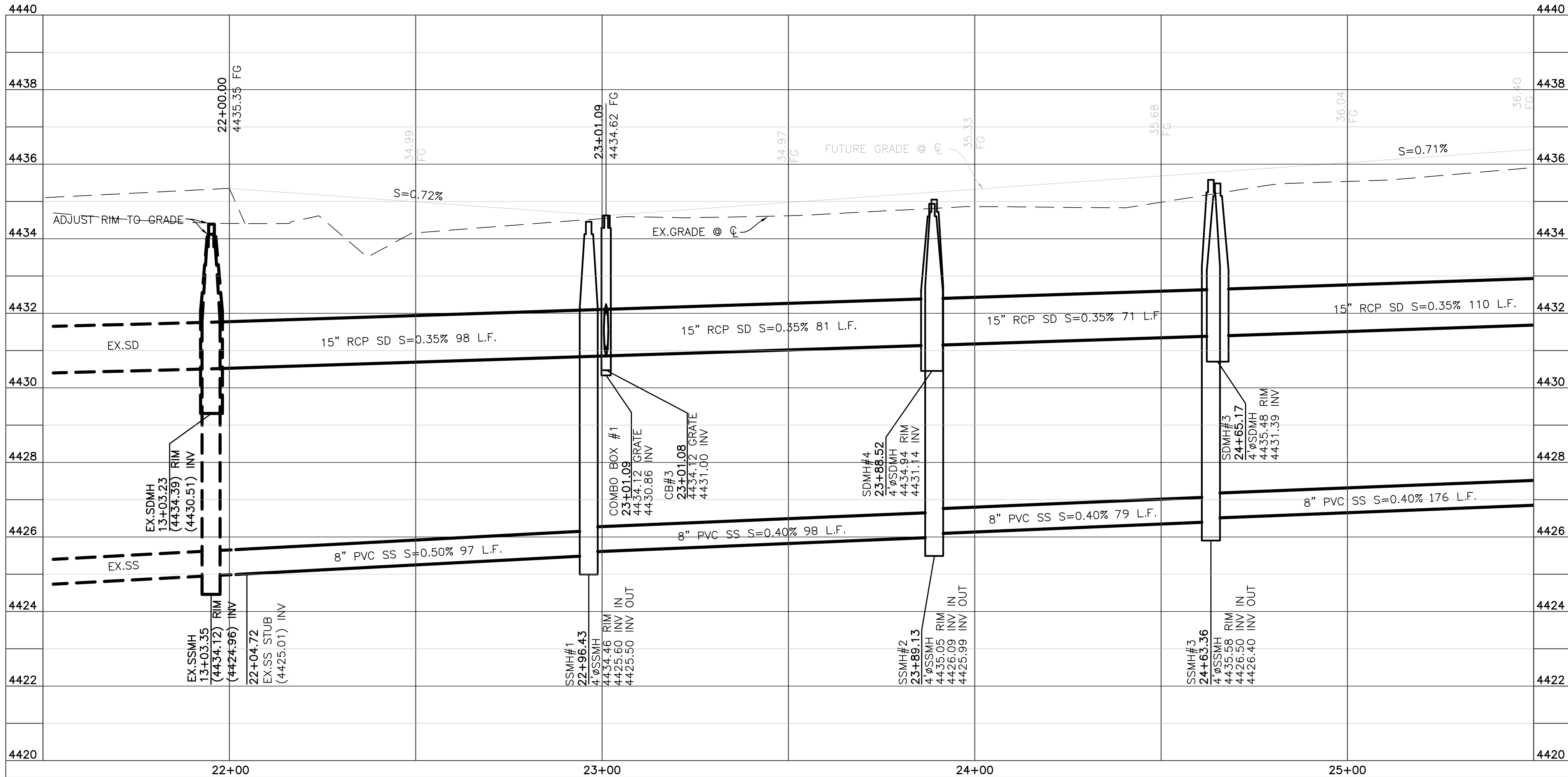
SS - 4" PVC SDR 35 SERVICE LATERAL  
SS/8 - 8" PVC SDR-35 SEWER LINE

**STORM DRAIN**

SD/15 - 15" RCP STORM DRAIN

**SECONDARY WATER**

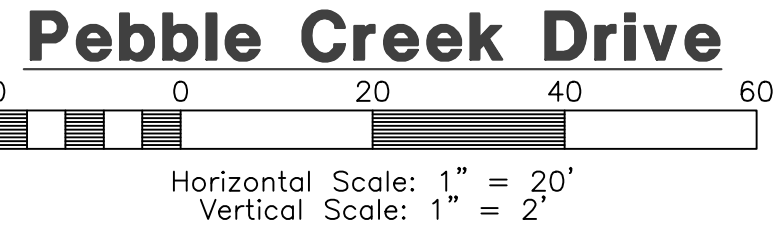
SW - SECONDARY SERVICE LATERAL  
PER CITY STANDARDS  
SW/8 - 8" PVC C-900 DR-14  
SECONDARY WATER LINE



TBC Curve Data						
#	Delta	Radius	Length	Tangent	Chord	CH Length
C22	84°48'03"	179.50'	265.67'	163.91'	S52°01'06"E	242.08'
C23	84°48'03"	220.50'	326.35'	201.35'	S52°01'06"E	297.37'

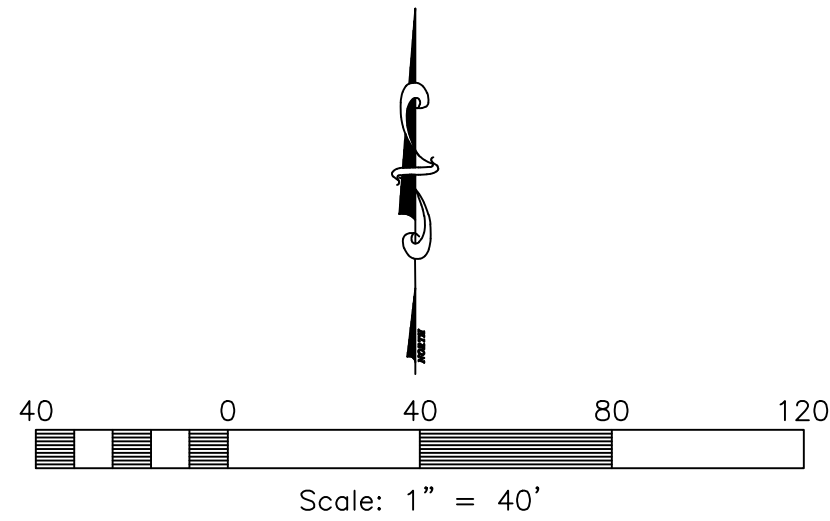
Centerline Curve Data						
#	Delta	Radius	Length	Tangent	Chord	CH Length
C5	98°20'18"	200.00'	343.27'	231.45'	S45°14'59"E	302.66'

Blue Stakes Location Center  
**Call: Toll Free  
1-800-662-4111**  
Two Working Days Before You Dig



Elevation Datum

PROJECT BENCHMARK - POINT 101, NW ¼ SECTION 28,  
T5N, R1W, SLB&M.  
EL. - 4231.192' (NAVD 88 PER RTK VRS OBSERVATION)



Revised: 09-18-17

Riverside Place Subdivision  
Phase 3

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Grading & Drainage Plan



Project Info.	
Engineer:	J. NATE REEVE
Drafter:	C. KINGSLEY
Begin Date:	NOVEMBER 2016
Name:	RIVERSIDE PLACE SUBDIVISION PHASE 3
Number:	6626-01

Sheet	10
7	Sheets

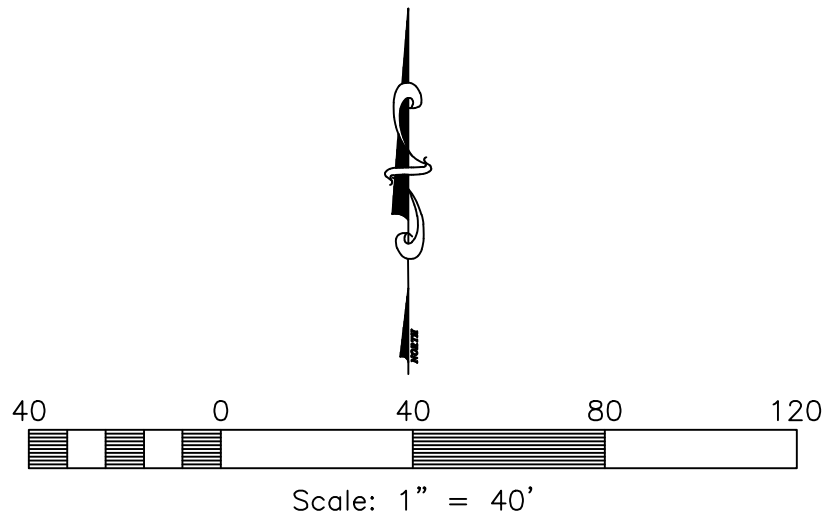
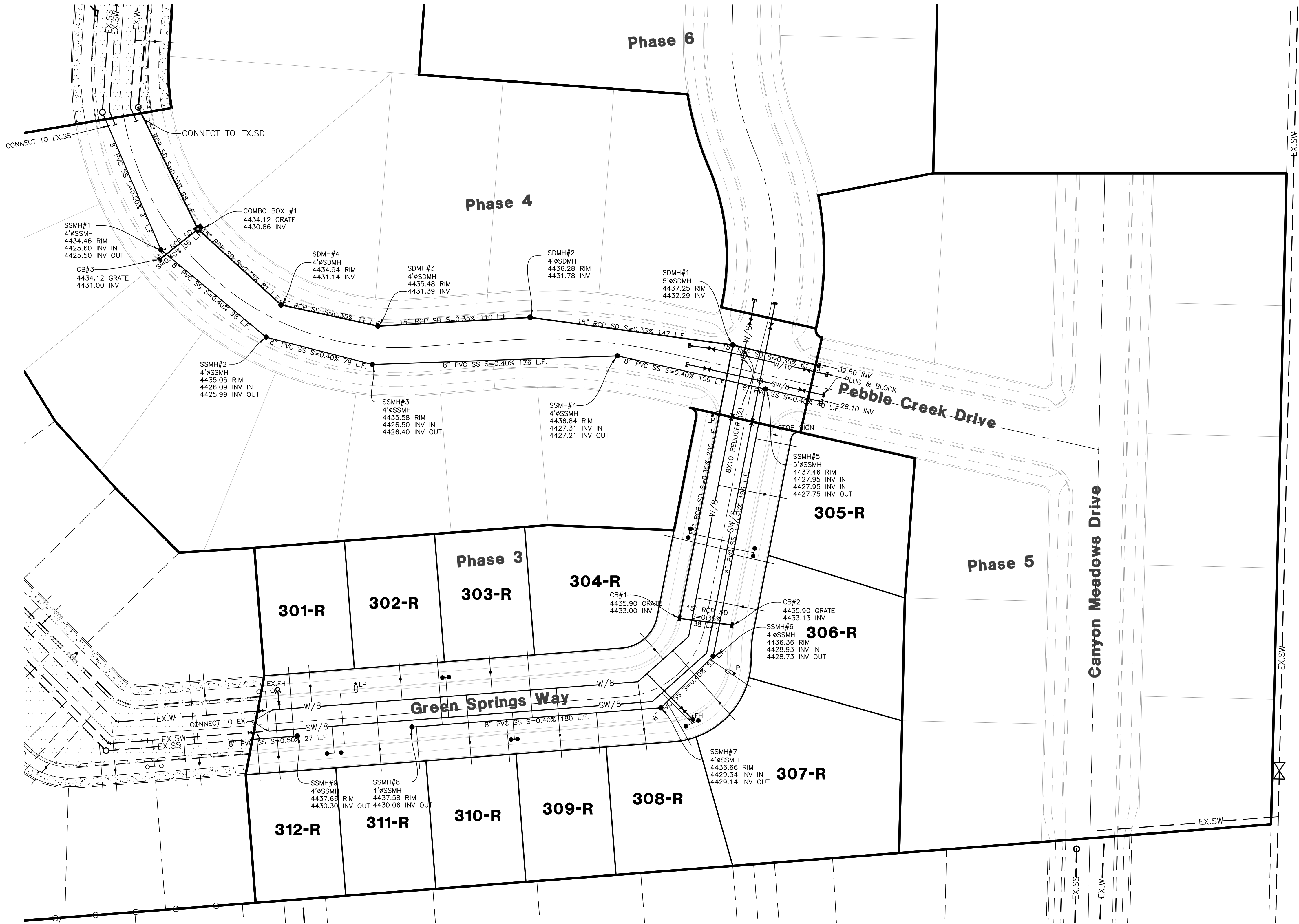
REVISIONS	DESCRIPTION
DATE	
08-07-17	CK Updated Road Grades
09-18-17	CK Modified Phasing

**Reeve & Associates, Inc.**

**IRA**

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TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-assoc.com

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Riverside Place Subdivision  
Phase 3

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Utility Plan



<b>Project Info.</b>	
Engineer:	J. NATE REEVE
Drafter:	C. KINGSLEY
Begin Date:	NOVEMBER 2016
Name:	RIVERSIDE PLACE SUBDIVISION PHASE 3
Number:	6626-01

Sheet	10
8	Sheets

REVISIONS	DESCRIPTION
DATE	
08-07-17	CK Updated Road Grades
09-18-17	CK Modified Phasing

**Reeve & Associates, Inc.**

**RA**

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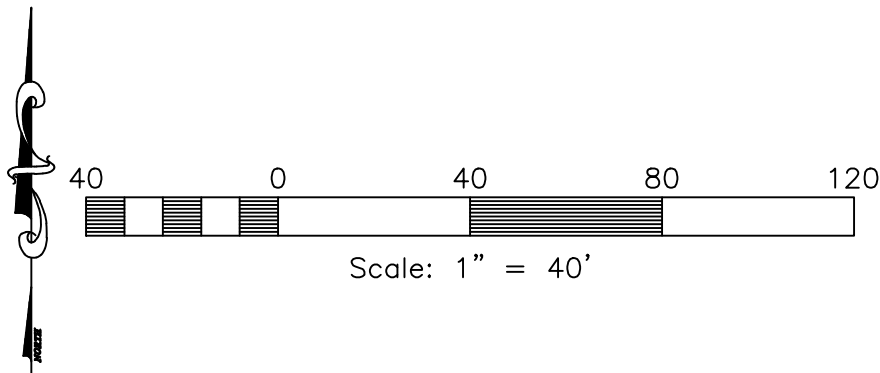
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# Riverside Place Subdivision

## Phase 3

### Storm Water Pollution Prevention Plan Exhibit

SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
AUGUST 2017



Construction Activity Schedule	
- PROJECT LOCATION.....	SOUTH WEBER CITY, WEBER COUNTY, UTAH
- PROJECT BEGINNING DATE.....	SEPTEMBER 2017
- BMP'S DEPLOYMENT DATE.....	SEPTEMBER 2017
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....	
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER	

Revised: 09-18-17

Reeve & Associates, Inc.

5160 SOUTH 1500 WEST RIVERDALE, UT 84405  
TEL: (801) 821-3100 FAX: (801) 621-2666 www.reeve-assoc.com  
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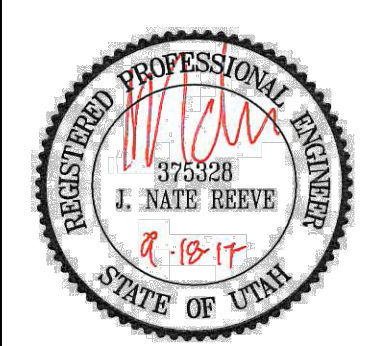
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REVISIONS	DATE	DESCRIPTION
	08-07-17	CK Updated Road Grades
	09-18-17	CK Modified Phasing

Riverside Place Subdivision  
Phase 3

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Storm Water Pollution  
Prevention Plan Exhibit

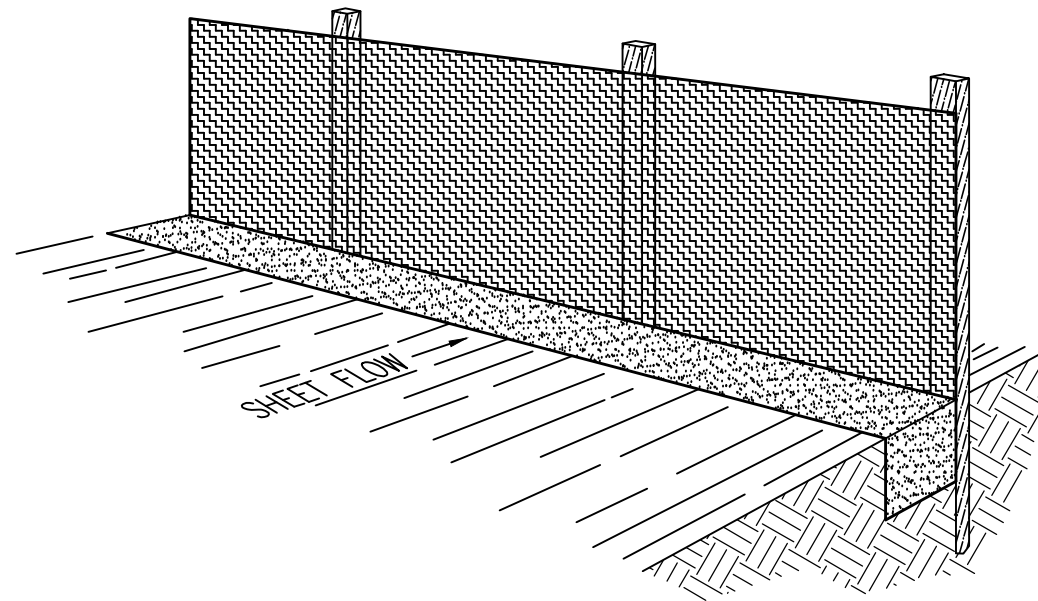


Project Info.	
Engineer:	J. NATE REEVE
Drafter:	C. KINGSLEY
Begin Date:	NOVEMBER 2016
Name:	RIVERSIDE PLACE SUBDIVISION PHASE 3
Number:	6626-01

Sheet	10
9	Sheets

## Notes:

- Describe all BMP's to protect storm water inlets:  
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
  - Equipment / building / concrete wash areas:  
To be performed in designated areas only and surrounded with silt fence barriers.
  - Soil contaminated by soil amendments:  
If any contaminants are found or generated, contact environmental engineer and contacts listed.
  - Areas of contaminated soil:  
If any contaminants are found or generated, contact environmental engineer and contacts listed.
  - Fueling area:  
To be performed in designated areas only and surrounded with silt fence.
  - Vehicle maintenance areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Vehicle parking areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Equipment storage areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Materials storage areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Waste containment areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Service areas:  
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:  
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
  - Maintenance
    - Maintain all construction equipment to prevent oil or other fluid leaks.
    - Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
    - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
    - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
    - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
  - Fueling
    - If fueling must occur on-site, use designated areas away from drainage.
    - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
    - Cover retention area with an impervious material and install in in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
    - Use drip pans for any oil or fluid changes.
  - Washing
    - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
    - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
    - Use phosphate-free, biodegradable soaps.
    - Do not permit steam cleaning on-site.
- Spill Prevention and Control
  - Minor Spills:  
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
    - Contain the spread of the spill.
    - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
    - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up and properly dispose of contaminated soil.
    - If the spill occurs during rain, cover the impacted area to avoid runoff.
    - Record all steps taken to report and contain spill.
  - Major Spills:  
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
  - Maintain good housekeeping practices.
  - Enclose or cover building material storage areas.
  - Properly store materials such as paints and solvents.
  - Store dry and wet materials under cover, away from drainage areas.
  - Avoid mixing excess amounts of fresh concrete or cement on-site.
  - Perform washout of concrete trucks offsite or in designated areas only.
  - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
  - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
  - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
  - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
  - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
  - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
  - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
  - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. this should be confirmed by survey or other means acceptable to the engineer of record.
  - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
  - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
  - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the engineer of record of the governing agency.
  - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the engineer of record.
  - Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
  - Erosion control devices will be modified as need as the project progresses and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
  - Part III.D.4 of general permit UTR300000 identifies the minimum inspection requirements.
  - Part II.D.4.C identifies the minimum inspection report requirements.
  - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.



## Perspective View

Figure 2

### INSTALLATION

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

TABLE 1: Recommended Maximum Slope Lengths for Silt Fence (Richardson & Middlebrooks, 1991)	
Slope Steepness (%)	Max. Slope Length m (ft)
<2%	30.5m (100ft)
2-5%	22.9m (75ft)
5-10%	15.2m (50ft)
10-20%	7.6m (25ft)
>20%	4.5m (15ft)

### PREFABRICATED SILT FENCE ROLLS

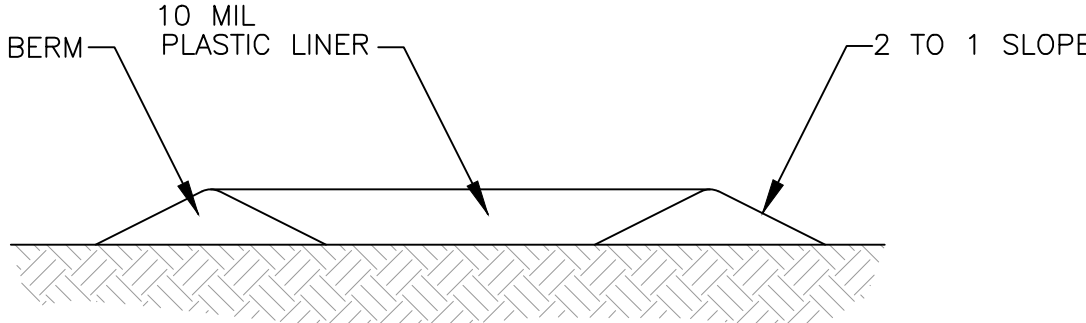
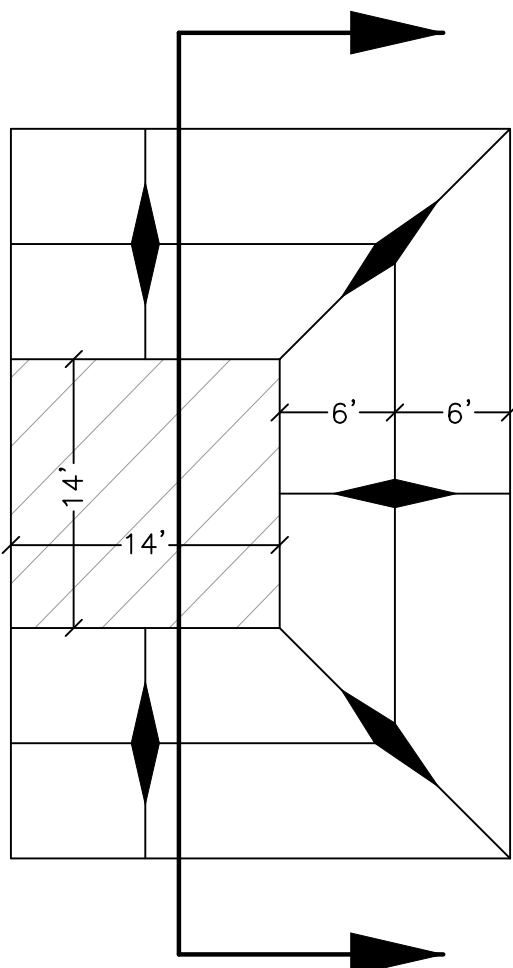
- \*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- \*Unroll the silt fence, positioning the post against the downstream wall of the trench.
- \*Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
- \*Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
- \*Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

### FIELD ASSEMBLY:

- \*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- \*Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing

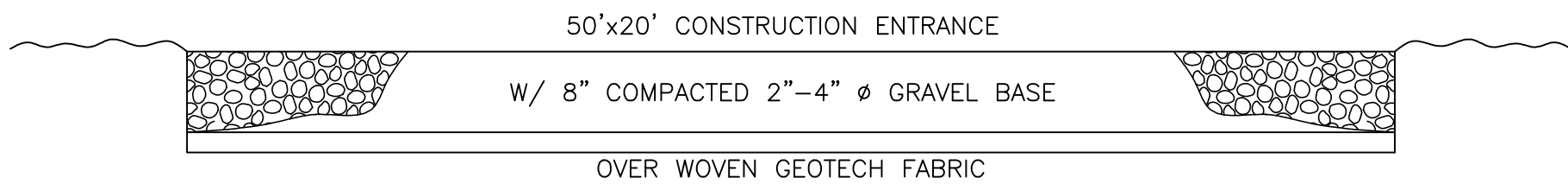
## Silt Fence Detail

SCALE: NONE

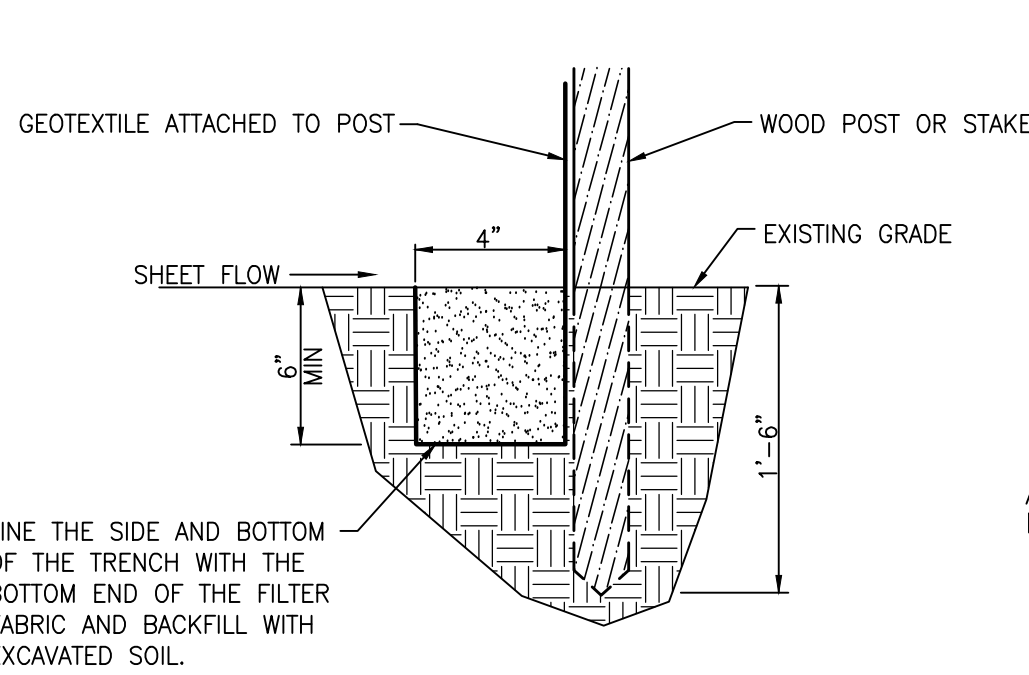


## Concrete Washout Area w/ 10 mil Plastic Liner

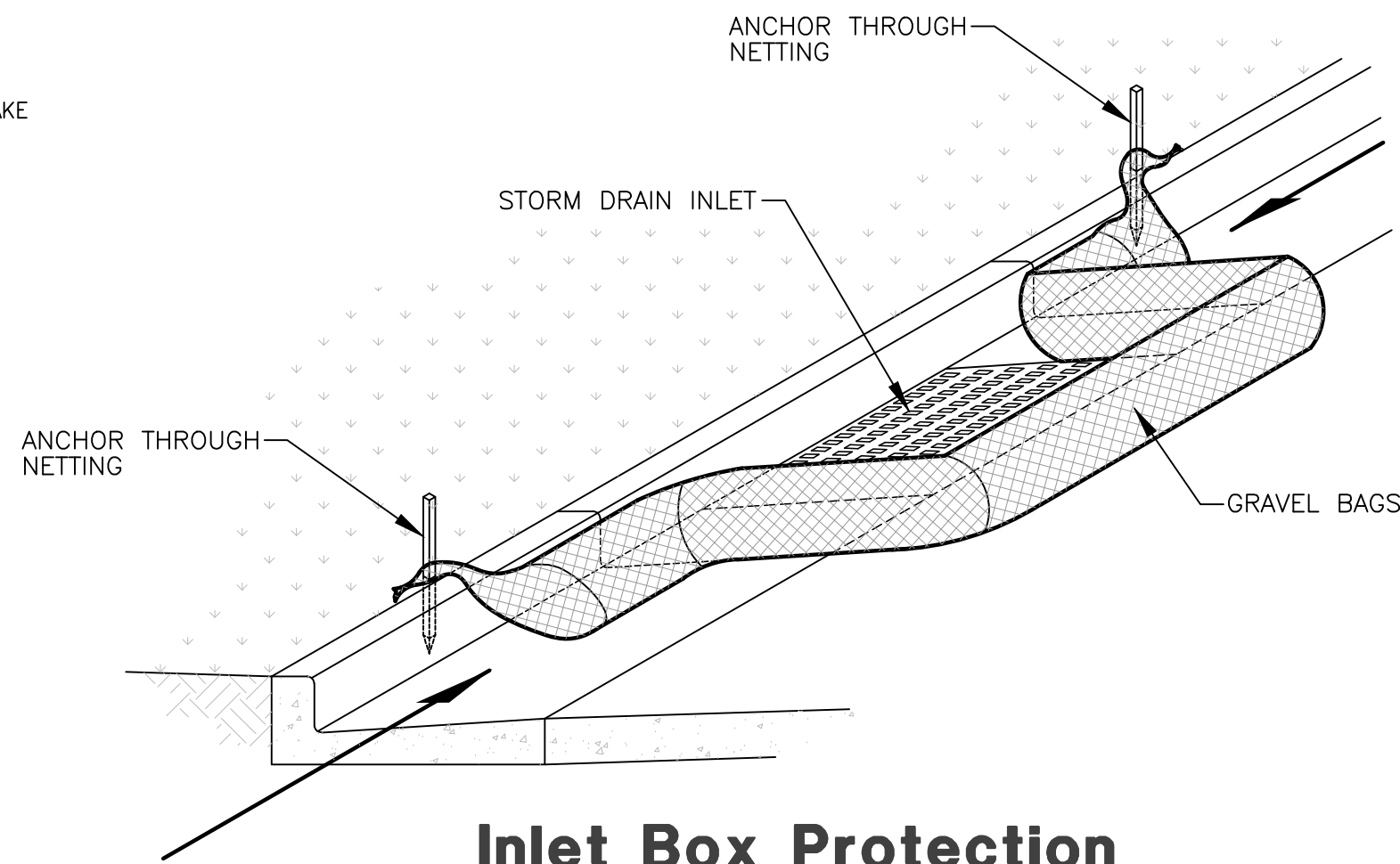
SCALE: NONE



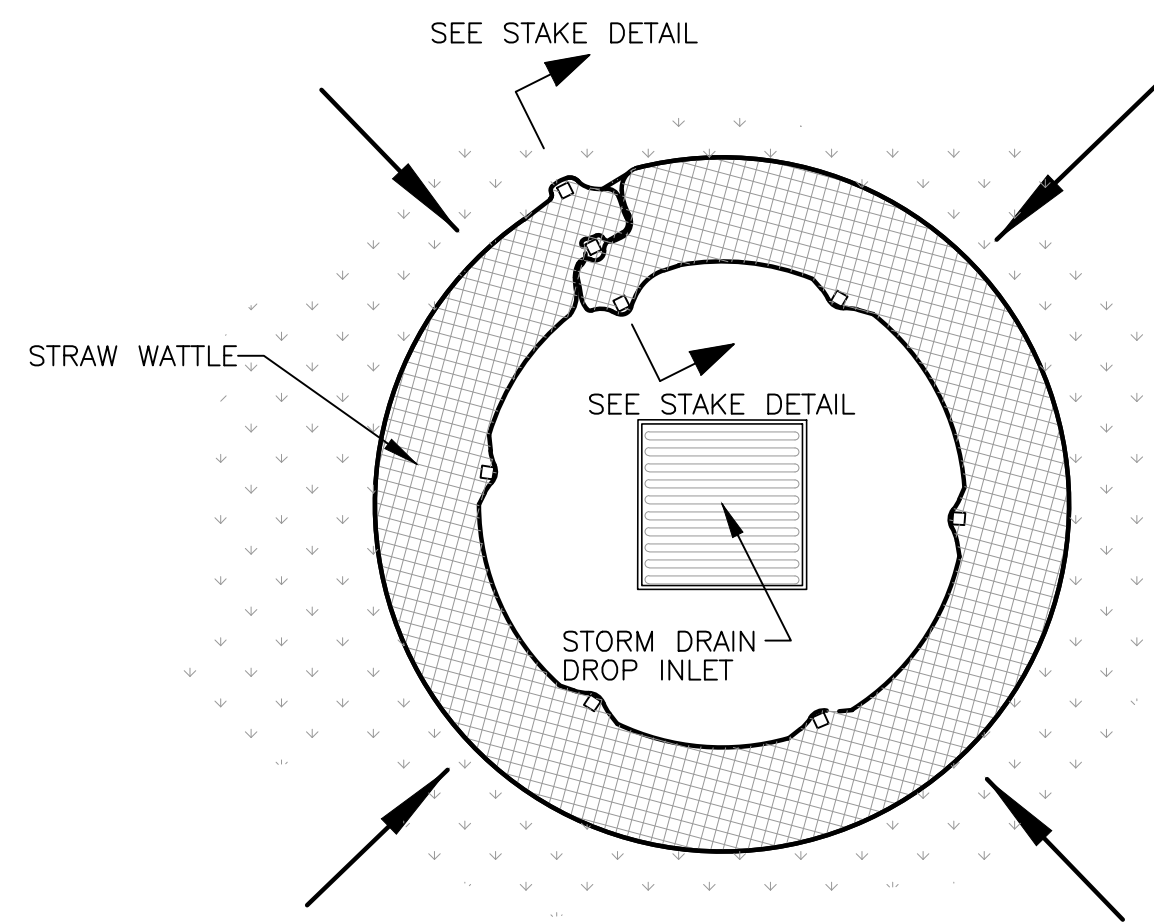
## Cross Section 50' x 20' Construction Entrance



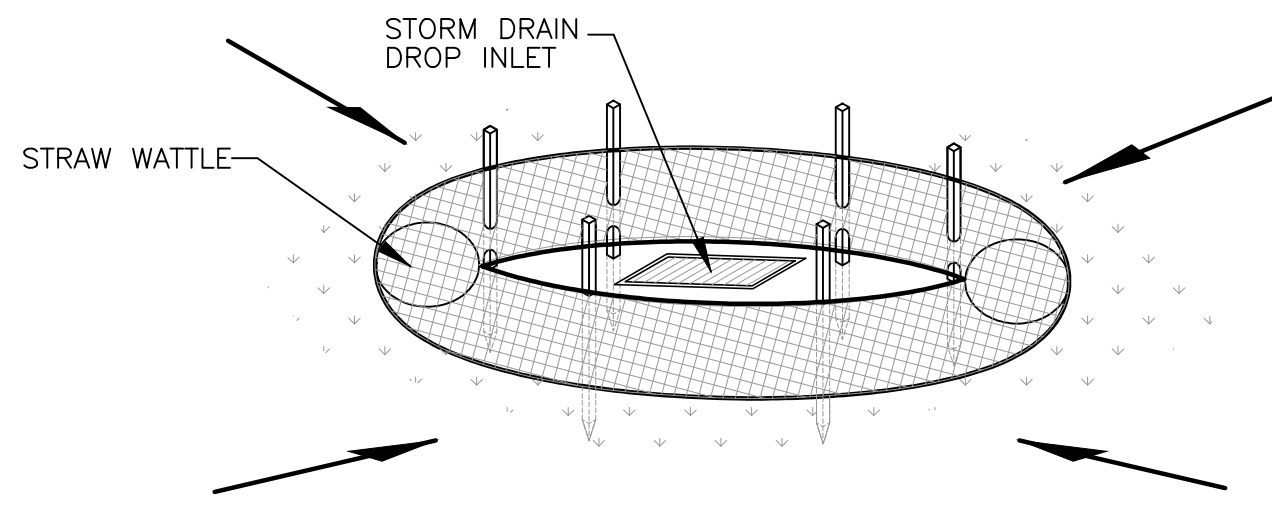
## Section



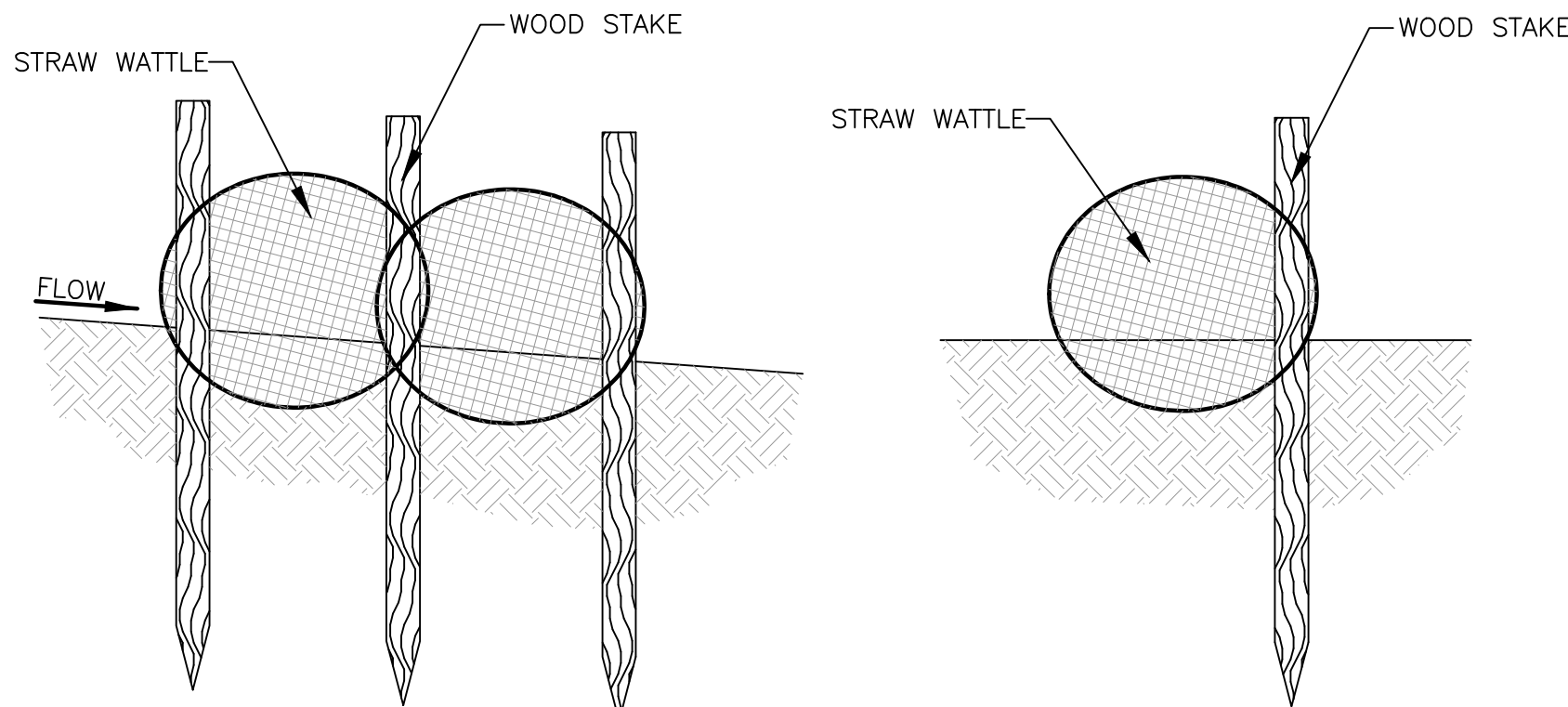
## Inlet Box Protection



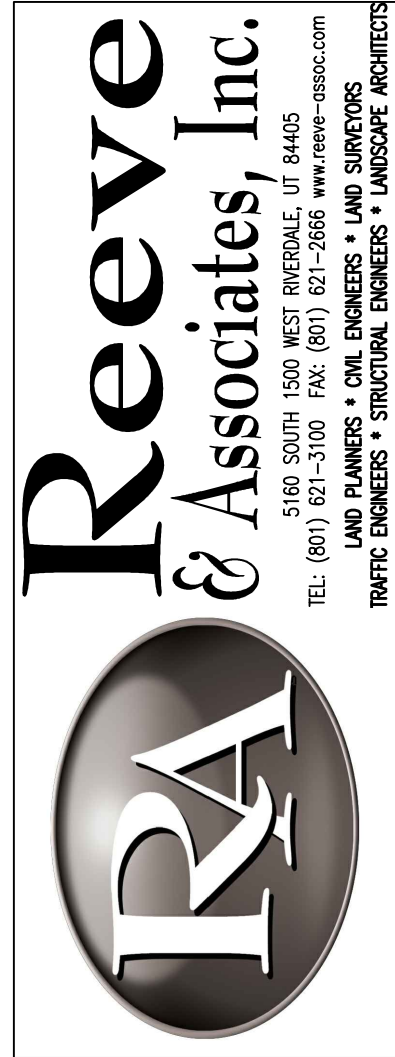
## Plan View



## Drop Inlet Protection



## Stake Detail

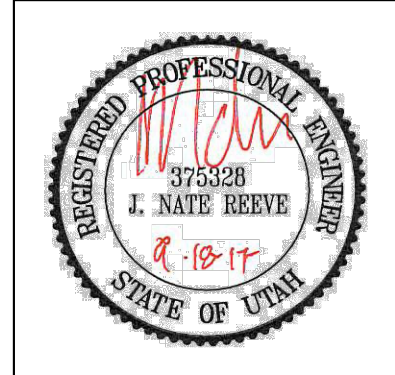


REVISIONS	DESCRIPTION
DATE	
08-07-17	CK Updated Road Grades
09-18-17	CK Modified Phasing

## Riverside Place Subdivision Phase 3

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

## Storm Water Pollution Prevention Plan Details



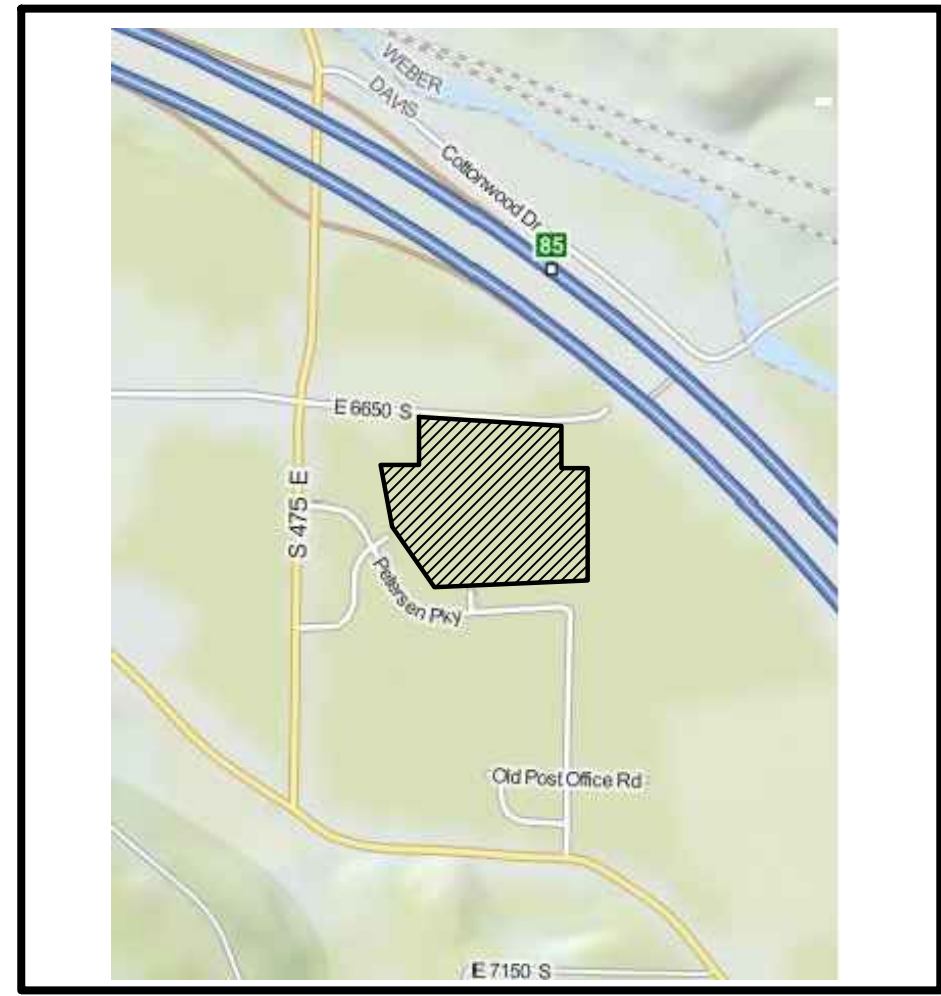
### Project Info.

Engineer:  
J. NATE REEVE  
 Drafter:  
C. KINGSLEY  
Begin Date:  
NOVEMBER 2016  
Name:  
RIVERSIDE PLACE  
SUBDIVISION  
PHASE 3  
Number: 6626-01

Sheet	10
10	Sheets

1. 08/07/17 CK - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.
2. 09/18/17 CK - UPDATED PHASE LINES.

SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
AUGUST 2017



### Vicinity Map

NOT TO SCALE



## Sheet Index Key Map

NOT TO SCALE

**Sheet 1 - Cover/Index Sheet**  
**Sheet 2 - Notes/Legend**  
**Sheet 2.1 - Street Cross-Section**  
**Sheet 3 - Pebble Creek Drive - 21+50.00 - 25+50.00**  
**Sheet 4 - Pebble Creek Drive - 25+50.00 - 28+00.00**  
**Sheet 5 - Grading & Drainage Plan**  
**Sheet 6 - Utility Plan**  
**Sheet 7 - Storm Water Pollution Prevention Plan Exhibit**  
**Sheet 8 - Storm Water Pollution Prevention Plan Details**

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

**Doug Brady**  
King's Gate Development  
11 Gatehouse Lane  
Sandy, Utah, 84092  
PH: (801) 792-5123

Blue Stakes Location Center  
**Call: Toll Free**  
**1-800-662-4111**  
Two Working Days Before You Dig

REVISIONS	
DATE	DESCRIPTION
09-18-17	CK Phase Lines

**Riverside Place Subdivision  
Phase 4**  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

## Cover/Index Sheet



Engineer:  
J. NATE REEVE, P.E.

Drafter:  
C. KINGSLEY

Begin Date:  
AUGUST 2017

Name:  
RIVERSIDE PLACE  
SUBDIVISION  
PHASE 4

Number: 6626-01

Sheet	<b>8</b>
<b>1</b>	Sheets

General Notes:

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UN-INCORPORATED), INDIVIDUAL PRODUCT MANUFACTURERS, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), AND THE DESIGN ENGINEER. THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW GEOTECHNICAL RECOMMENDATIONS FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, RETAINING WALLS AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH THE PROJECT GEOTECHNICAL ENGINEER.
- TRAFFIC CONTROL, STRIPING & SIGNAGE TO CONFORM TO CURRENT GOVERNING AGENCIES TRANSPORTATION ENGINEER'S MANUAL AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD, INCLUDING OBTAINING REQUIRED INSPECTIONS.
- ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH BY THE GEOTECHNICAL ENGINEER.
- CATCH SLOPES SHALL BE GRADED AS SPECIFIED ON GRADING PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAGMEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY HIMSELF BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS HE MAY PREFER OF THE LOCATIONS OF THE PROPOSED WORK AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK. IF, DURING THE COURSE OF HIS EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO HIM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, HE SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING HIS BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, HE HAS RELIED AND IS RELYING ON HIS OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON HIS OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR. TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR, CONTRACTOR SHALL ACKNOWLEDGE THAT HE HAS NOT RELIED SOLELY UPON OWNER- OR ENGINEER-FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING HIS BID.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
- CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE HIGHEST QUALITY ARE TO BE USED.
- CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS IN THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.
- CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH LOCAL, STATE AND NATIONAL SAFETY CODES, ORDINANCES, OR REQUIREMENTS FOR EXCAVATION AND TRENCHES.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
- ALL CONSTRUCTION ON THIS PROJECT SHALL CONFORM TO THE DEVELOPMENT STANDARDS OF SOUTH WEBER CITY AND THE CITY OF SOUTH WEBER DRAWINGS CONTAINED THEREIN. SOUTH WEBER CITY PUBLIC WORKS REQUIREMENTS SHALL BE MET.
- ELEVATIONS SHOWN AT THE CURB LINE ARE TOP OF CURB ELEVATIONS.

Utility Notes:

- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, INTERNET.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS (BY OTHERS). PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CONTRACTOR SHALL POT HOLE ALL UTILITIES TO DETERMINE IF CONFLICTS EXIST PRIOR TO BEGINNING ANY EXCAVATION. NOTIFY ENGINEER OF ANY CONFLICTS. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES TO WHICH NEW UTILITIES WILL BE CONNECTED. PRIOR TO COMMENCING ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE REQUIRED PROCEDURES.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT HIS EXPENSE.
- ALL VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE.
- CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE.
- CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOX WITH NON-SHRINKING GROUT, INCLUDING PIPE VOIDS LEFT BY CUTTING PROCESS, TO A SMOOTH FINISH.
- CONTRACTOR SHALL GROUT WITH NON-SHRINK GROUT BETWEEN GRADE RINGS AND BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX.
- SILT AND DEBRIS IS TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DE-WATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- MAINTAIN A MINIMUM 18" VERTICAL SEPARATION DISTANCE BETWEEN ALL UTILITY CROSSINGS.
- CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL BOLTED FITTINGS MUST BE GREASED AND WRAPPED.
- UNLESS SPECIFICALLY NOTED OTHERWISE, MAINTAIN AT LEAST 2 FEET OF COVER OVER ALL STORM DRAIN LINES AT ALL TIMES (INCLUDING DURING CONSTRUCTION).
- ALL WATER LINES SHALL BE INSTALLED A MINIMUM OF 60" BELOW FINISHED GRADE.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, PIPE EDGE TO PIPE EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, THE SEWER LINE AND WATER LINE SHALL BE LAID IN SEPARATE TRENCHES AND THE BOTTOM OF THE WATER LINE SHALL BE AT LEAST 18" ABOVE THE TOP OF THE SEWER LINE.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.
- THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.
- WATER LINE PIPE SHALL BE DUCTILE IRON CLASS-51. WASHOUT ASSEMBLIES SHALL CONSIST OF A KUPFERLE FOUNDRY CO. 2" BLOW-OFF HYDRANT (OR CITY-APPROVED EQUIV.) PLACED IN A BOX LOCATED IN THE PARK STRIP. WATER LINES SHALL BE ADJUSTED IN DEPTH AND GATE VALVES IN LOCATION SO AS NOT TO INTERFERE WITH STORM DRAIN CROSSINGS.
- SANITARY SEWER LATERALS SHALL BE GREEN, AND FOUNDATION DRAIN LATERALS SHALL BE WHITE TO PREVENT CONFUSION. FOUNDATION DRAIN MANHOLE LIDS SHALL BE MARKED "DRAIN" AND SHALL BE UNVENTED.
- SECONDARY WATER LINE SHALL BE PVC C-900 CLASS 200 DR-14. ALL SECONDARY WATER VALVE LIDS SHALL BE STAMPED "IRRIGATION".
- ALL WATER LINE CONSTRUCTION TO BE PER SOUTH WEBER WATER IMPROVEMENT DISTRICTS STANDARDS AND SPECIFICATIONS.

Geotechnical Report Notes

- ALL LOTS ARE SUBJECT TO THE REQUIREMENTS OF THE GEOTECHNICAL REPORT PREPARED BY GSH DATED DECEMBER 3, 2015.
- THE SHALLOW TO MODERATELY SHALLOW GROUNDWATER ENCOUNTERED AT THE SITE MAY AFFECT THE INSTALLATION OF UTILITIES.
- GSH RECOMMENDS THAT THE TOP OF HABITABLE FLOOR SLABS BE ESTABLISHED A MINIMUM 3.0 FEET ABOVE MEASURED GROUNDWATER OR A MINIMUM 1.5 FEET ABOVE THE LEVEL CONTROLLED BY A SUBDRAIN SYSTEM. A SUBDRAIN SYSTEM WILL DEPEND ON THE AVAILABILITY OF A DOWN GRADIENT POINT OF GRAVITY DISCHARGE SUCH AS A LAND DRAIN. THE DEPTH OF THE LAND DRAIN WILL CONTROL THE ALLOWABLE DEPTH FOR FOUNDATIONS.
- QUALIFIED GEOTECHNICAL ENGINEER FROM GSH WILL NEED TO VERIFY THAT ALL NON-ENGINEERED FILLS, TOPSOIL, DELETERIOUS MATERIAL AND/OR DISTURBED SOILS HAVE BEEN COMPLETELY REMOVED PRIOR TO THE PLACEMENT OF STRUCTURAL SITE GRADING FILLS, FLOOR SLABS, FOOTINGS, FOUNDATIONS, OR RIGID PAVEMENTS.
- NATURAL OR IMPORTED FINE-GRAINED COHESIVE SOILS ARE NOT RECOMMENDED FOR USE AS TRENCH BACKFILL IN STRUCTURALLY LOADED AREAS.
- ON SITE GRANULAR SOILS MAY BE REUTILIZED AS SITE GRADING FILLS IF THEY MEET REQUIREMENTS OF GEOTECHNICAL REPORT. FINE GRAINED CLAY/SILT SOILS ARE NOT RECOMMENDED FOR RE-UTILIZATION AS STRUCTURAL FILL.

Survey Control Note:

THE CONTRACTOR OR SURVEYOR SHALL BE RESPONSIBLE FOR FOLLOWING THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS) MODEL STANDARDS FOR ANY SURVEYING OR CONSTRUCTION LAYOUT TO BE COMPLETED USING REEVE & ASSOCIATES, INC. SURVEY DATA OR CONSTRUCTION IMPROVEMENT PLANS. PRIOR TO PROCEEDING WITH CONSTRUCTION STAKING, THE SURVEYOR SHALL BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON AN ALTA SURVEY, IMPROVEMENT PLAN, OR ANY ELECTRONIC DATA PROVIDED. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN FIVE (5) EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY REEVE & ASSOCIATES, INC. AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION STAKING.

- W— = PROPOSED CULINARY WATER LINE  
—EX.W— = EXISTING CULINARY WATER LINE  
—SS— = PROPOSED SANITARY SEWER LINE  
—EX.SS— = EXISTING SANITARY SEWER LINE  
—SD— = PROPOSED STORM DRAIN LINE  
—EX.SD— = EXISTING STORM DRAIN LINE  
—LD— = PROPOSED LAND DRAIN LINE  
—EX.LD— = EXISTING LAND DRAIN LINE  
—SW— = PROPOSED SECONDARY WATER LINE  
—EX.SW— = EXISTING SECONDARY WATER LINE  
—IRR— = PROPOSED IRRIGATION LINE  
—EX.IRR— = EXISTING IRRIGATION LINE  
—OHP— = EXISTING OVERHEAD POWER LINE  
—TEL— = EXISTING TELEPHONE LINE  
—GAS— = EXISTING NATURAL GAS LINE  
— = EXISTING EDGE OF PAVEMENT  
X X X = FENCE LINE  
— — — = DITCH/SWALE FLOWLINE  
● = PROPOSED FIRE HYDRANT  
○ = EXISTING FIRE HYDRANT  
● = PROPOSED MANHOLE  
○ = EXISTING MANHOLE  
● = PROPOSED SEWER CLEAN-OUT  
X = PROPOSED GATE VALVE  
I = EXISTING GATE VALVE  
■ = PROPOSED WATER METER  
■ = EXISTING WATER METER  
■ = PROPOSED CATCH BASIN

Legend

- = EXISTING CATCH BASIN  
☼ = EXISTING SPRINKLER  
☼ = PLUG W/ 2" BLOW-OFF  
● = AIR-VAC ASSEMBLY  
▼ = PROPOSED REDUCER  
☐ = PLUG & BLOCK  
☐ = STREET LIGHT  
T = SIGN  
BLDG = BUILDING  
BVC = BEGIN VERTICAL CURVE  
C&G = CURB & GUTTER  
CB = CATCH BASIN  
C.F. = CUBIC FEET  
C.F.S. = CUBIC FEET PER SECOND  
CL = CENTERLINE  
DI = DUCTILE IRON  
EP = EDGE OF PAVEMENT  
EVC = END VERTICAL CURVE  
FC = FENCE CORNER  
FF = FINISH FLOOR  
FFE = FINISH FLOOR ELEVATION  
FG = FINISHED GRADE  
FH = FIRE HYDRANT  
FL = FLOW LINE  
GB = GRADE BREAK  
HDPE = HIGH DENSITY POLYETHYLENE PIPE  
INV = INVERT  
IRR = IRRIGATION  
LD = LAND DRAIN

- L.F. = LINEAR FEET  
NG = NATURAL GRADE  
O.C. = ON CENTER  
PC = POINT OF CURVE  
PRC = POINT OF REVERSE CURVE  
PRVC = POINT OF REVERSE VERTICAL CURVE  
PT = POINT OF TANGENT  
PP = POWER/UTILITY POLE  
P.U.E. = PUBLIC UTILITY EASEMENT  
R/C = REBAR & CAP  
RCB = REINFORCED CONCRETE BOX  
RCP = REINFORCED CONCRETE PIPE  
RIM = RIM OF MANHOLE  
R.O.W. = RIGHT-OF-WAY  
SD = STORM DRAIN  
SS = SANITARY SEWER  
SW = SECONDARY WATER  
TBC = TOP BACK OF CURB  
TOE = TOE OF SLOPE  
TOP = TOP OF SLOPE  
TOW = TOP OF WALL  
TSW = TOP OF SIDEWALK  
VPI = VERTICAL POINT OF INTERSECT.  
W = CULINARY WATER  
WM = WATER METER  
■ = NEW PAVEMENT  
■ = NEW CONCRETE

Erosion Control General Notes:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT OPEN FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE GOVERNING AGENCIES.

Maintenance:

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

EXPPOSED SLOPES:

- ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:
- Spraying DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
  - TRACKING STRAW PERPENDICULAR TO SLOPES
  - INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

Flood Information Data

FLOOD ZONE DESIGNATION "X" PER F.E.M.A. FLOOD INSURANCE RATE MAPS, COMMUNITY PANEL NUMBERS 49011C0089E DATED JUNE 18, 2007.

AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

(THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THE SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP OR THE LOCATION OF THE FLOOD ZONE BOUNDARY. IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THE SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.)



REVISIONS	DESCRIPTION
DATE	Phase Lines
09-18-17	CK

Riverside Place Subdivision Phase 4

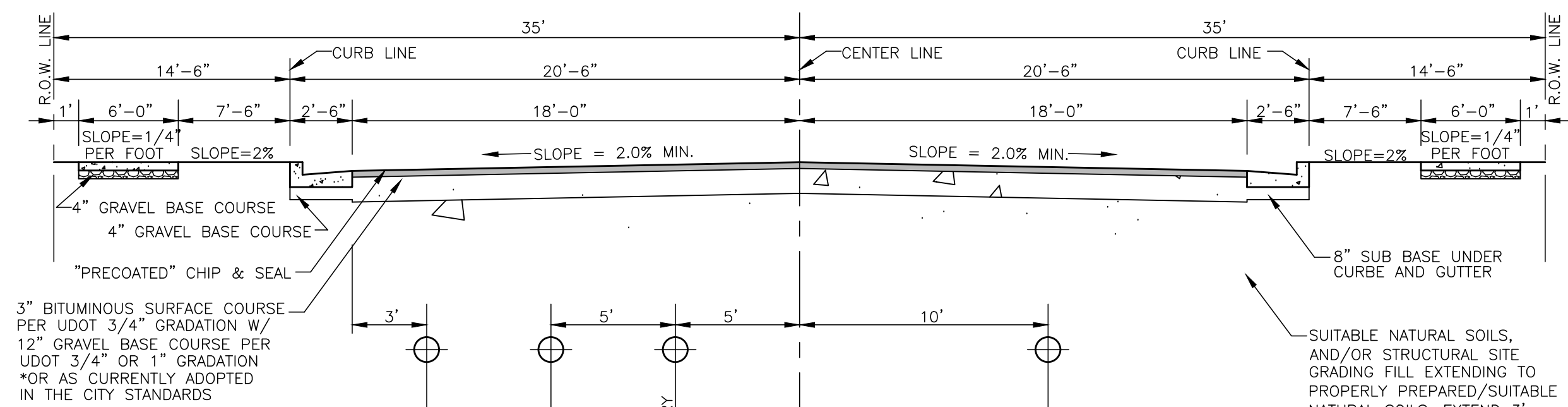
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Notes/Legend



<b>Project Info.</b>	
Engineer:	J. NATE REEVE, P.E.
Drafter:	C. KINGSLEY
Begin Date:	AUGUST 2017
Name:	RIVERSIDE PLACE
	SUBDIVISION
	PHASE 4
Number:	6626-01

Sheet	8
2	Sheets

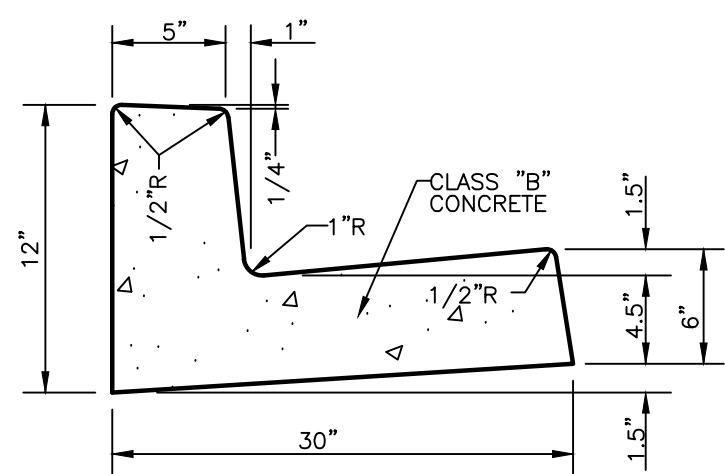


### Street Section (70' R.O.W.)

SCALE: NONE

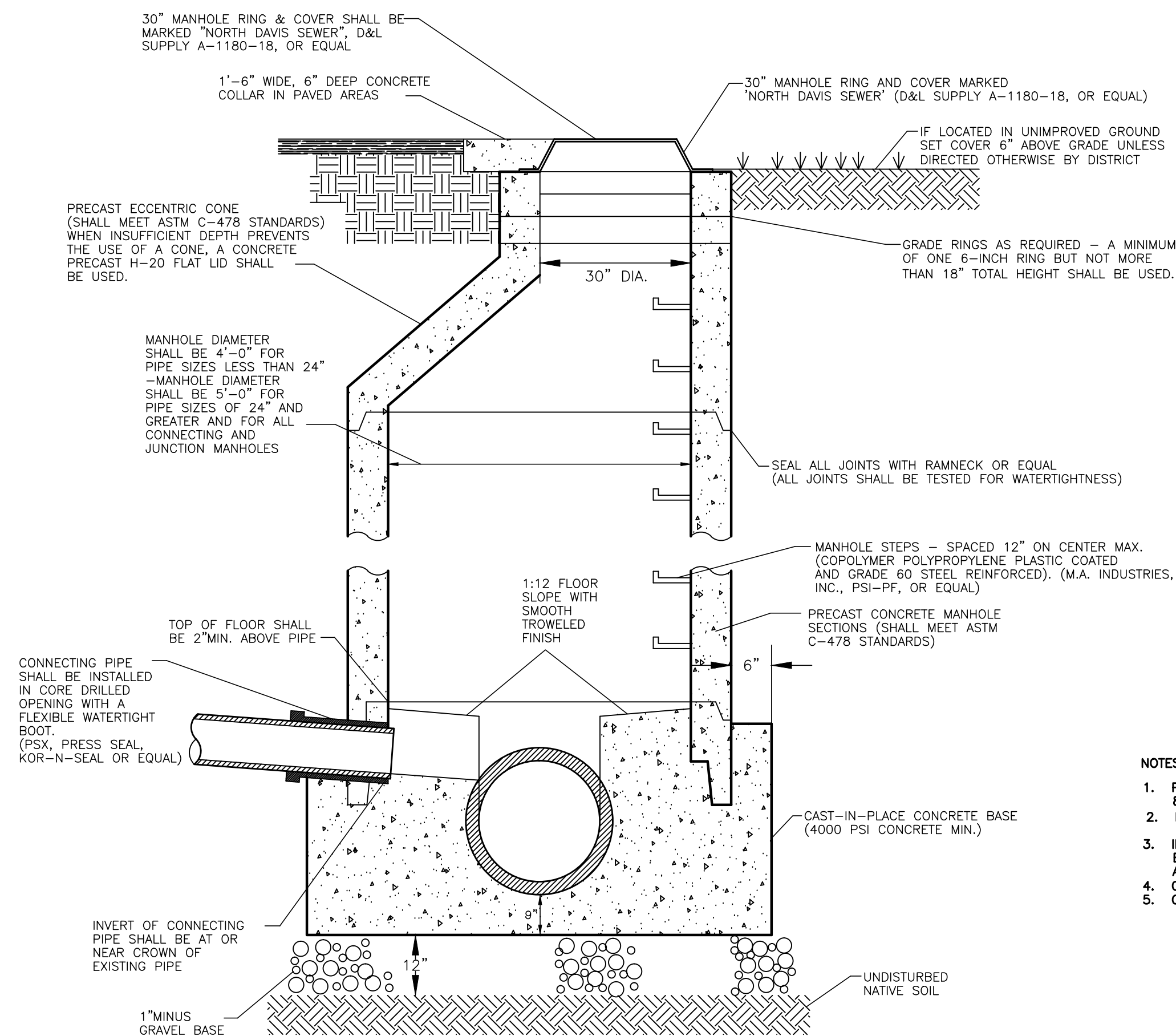
CANYON MEADOWS DRIVE, FIRTH FARMS ROAD

(SEE GSH GEOTECHNICAL STUDY  
DEC. 3, 2015)



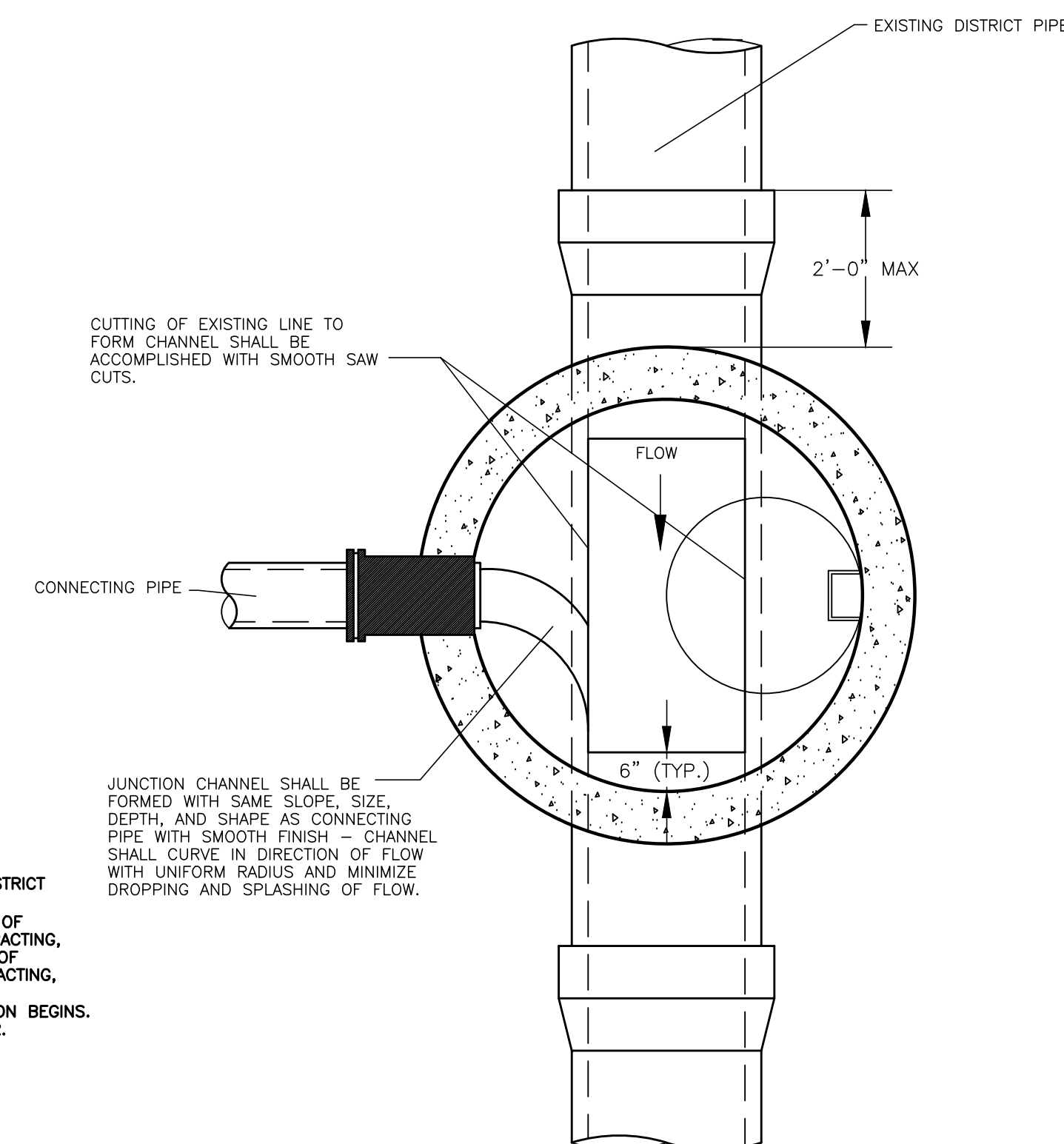
### On-Site 'L' Type Curb & Gutter

SCALE: NONE



NOTES:

1. PERMIT REQUIRED FROM CENTRAL WEBER SEWER IMPROVEMENT DISTRICT 800-713-3011 BEFORE CONNECTION TO 30" RCP.
2. INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING SEWER AND OTHER UTILITIES, PROPER BACKFILLING, COMPACTING, INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING SEWER AND OTHER UTILITIES, PROPER BACKFILLING, COMPACTING, AND PROPERLY PLACING AND COMPACTING.
3. CONTRACTOR SHALL NOTIFY DISTRICT 48 HOURS BEFORE INSTALLATION BEGINS.
4. CONTRACTOR SHALL GUARANTEE WORK FOR A PERIOD OF ONE YEAR.



STREET SECTION	R.O.W. MEDIAN	T&C TO T&C	TO T&C	T&C TO PL	PHOSPHOR	SIDWALK	BACK OF SIDEWALK TO PL
STANDARD RESIDENTIAL	70'-0"	61'-0"	20'-8"	14'-8"	7'-8"	6'-0"	1'-0"
ALTERNATE RESIDENTIAL	60'-0"	61'-0"	20'-8"	8'-8"	6'-8"	4'-0"	1'-0"
COLLECTOR	78'-0"	67'-0"	23'-8"	9'-8"	7'-8"	6'-0"	1'-0"
MAJOR ARTERIAL	94'-0"	65'-0"	32'-8"	16'-8"	7'-8"	6'-0" **	1'-0"
RAIL INTERSECTION	110'-0"	81'-0"	60'-8"	16'-8"	7'-8"	6'-0" **	1'-0"

\* THE "ALTERNATE RESIDENTIAL" STREET SECTION MAY BE APPROVED BY THE CITY WHERE THE ROAD IS AN EXTENSION OF AN EXISTING SIXTY FOOT WIDE RIGHT-OF-WAY.

\*\* IF SIDEWALK IS LOCATED AGAINST THE TBC, IT MUST BE A MINIMUM OF 8 FEET IN WIDTH

**STANDARD STREET SECTION**

EXCEPT FOR CANYON MEADOWS DRIVE & FIRTH FARMS ROAD

SEE DETAIL TO THE LEFT FOR THESE ROADS

## Central Weber Sewer District Standard Manhole Connection Detail

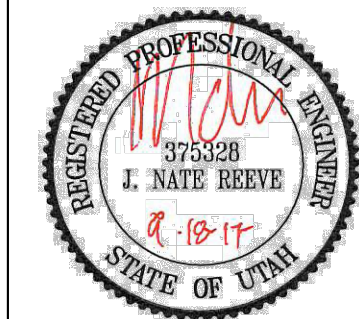
SCALE: NONE

Revised: 09-18-17

Riverside Place Subdivision  
Phase 4

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Pebble Creek Drive  
21+50.00 - 25+50.00



Project Info.

Engineer:  
J. NATE REEVE, P.E.  
Drafter:  
C. KINGSLEY  
Begin Date:  
AUGUST 2017  
Name:  
RIVERSIDE PLACE  
SUBDIVISION  
PHASE 4  
Number: 6626-01

Sheet  
3  
8  
Sheets

Key Map

NOT TO SCALE



Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND COUNTY REQUIREMENTS.

CULINARY WATER

NOTE: 5' MIN. COVER REQUIRED OVER CW LINES  
W/8 - 8" DIP W/POLY WRAP WATER LINE  
W/10 - 10" DIP W/POLY WRAP WATER LINE  
W - 1" TYPE K COPPER SERVICE LATERAL

SANITARY SEWER

SS/4 - 4" PVC SDR 35 SERVICE LATERAL  
SS/8 - 8" PVC SDR-35 SEWER LINE

STORM DRAIN

SD/15 - 15" RCP STORM DRAIN

SECONDARY WATER

SW/8 - 8" PVC C-900 DR-14  
SECONDARY WATER LINE  
SW - SECONDARY SERVICE LATERAL  
PER CITY STANDARDS

TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	CH Length
C1	84°48'03"	220.50'	326.35'	201.35'	S52°01'06"E	297.37'
C2	84°48'03"	179.50'	265.67'	163.91'	S52°01'06"E	242.08'

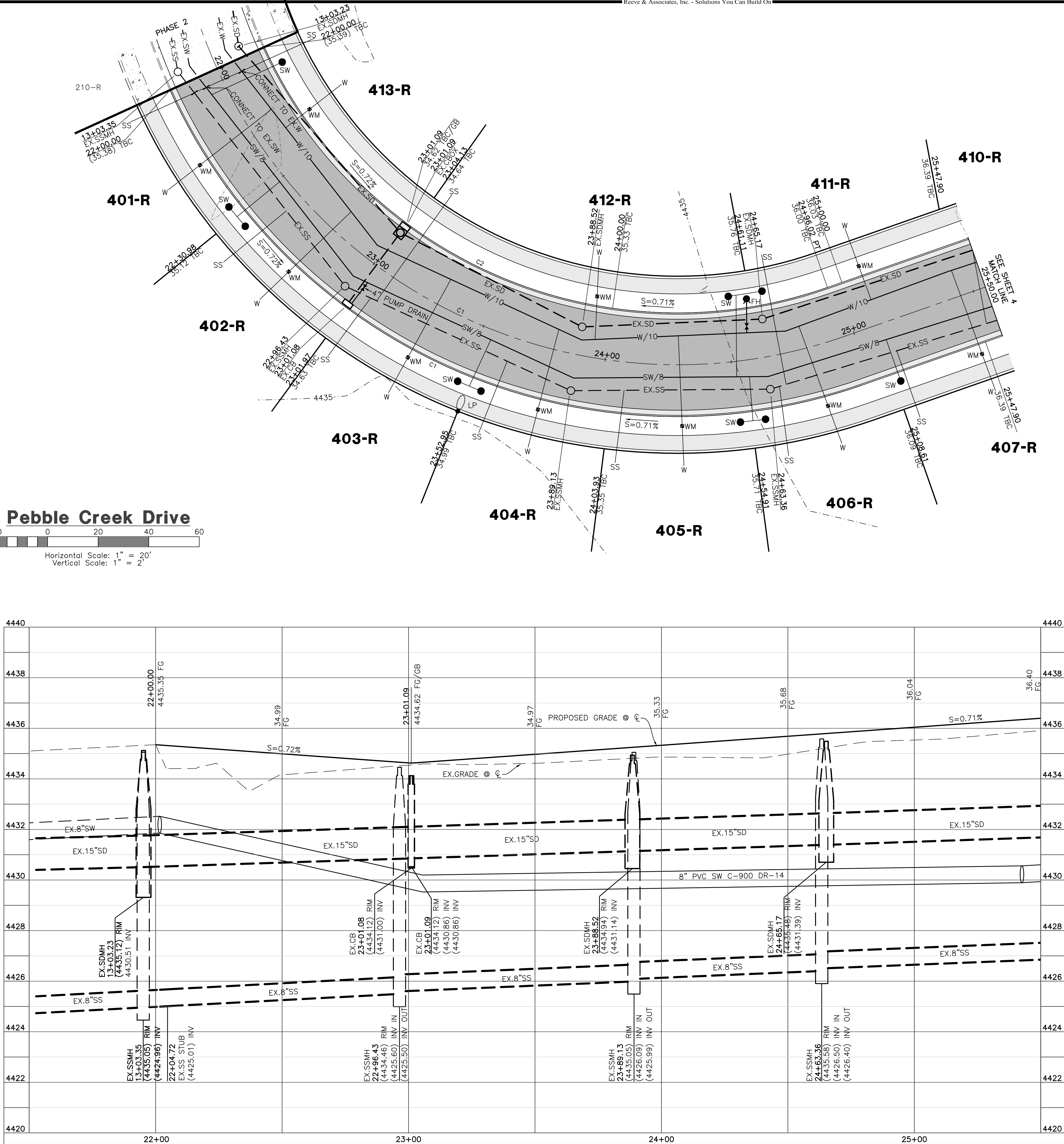
Centerline Curve Data

#	Delta	Radius	Length	Tangent	Chord	CH Length
C1	98°20'18"	200.00'	343.27'	231.45'	S45°14'59"E	302.66'

Blue Stakes Location Center

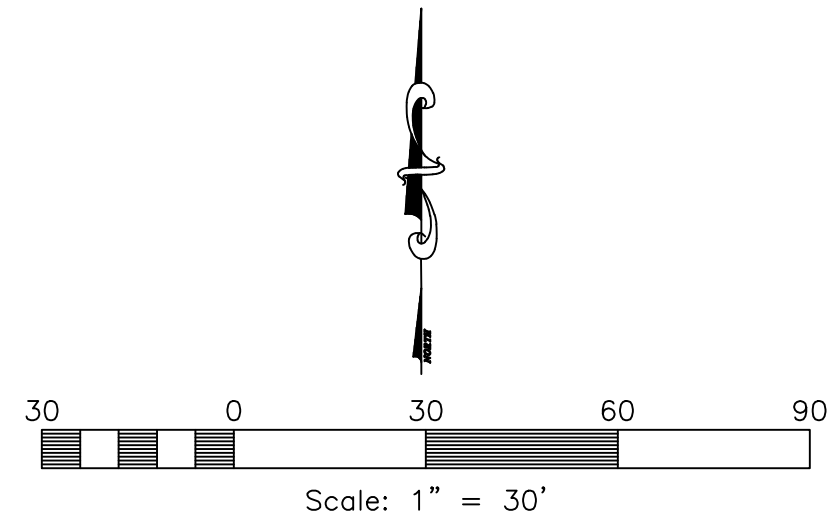
Call: Toll Free  
1-800-662-4111

Two Working Days Before You Dig





PROJECT BENCHMARK - POINT 101, NW ¼ SECTION 28,  
T5N, R1W, SLB&M.  
EL. - 4231.192' (NAVD 88 PER RTK VRS OBSERVATION)



Revised: 09-18-17

# Riverside Place Subdivision Phase 4

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

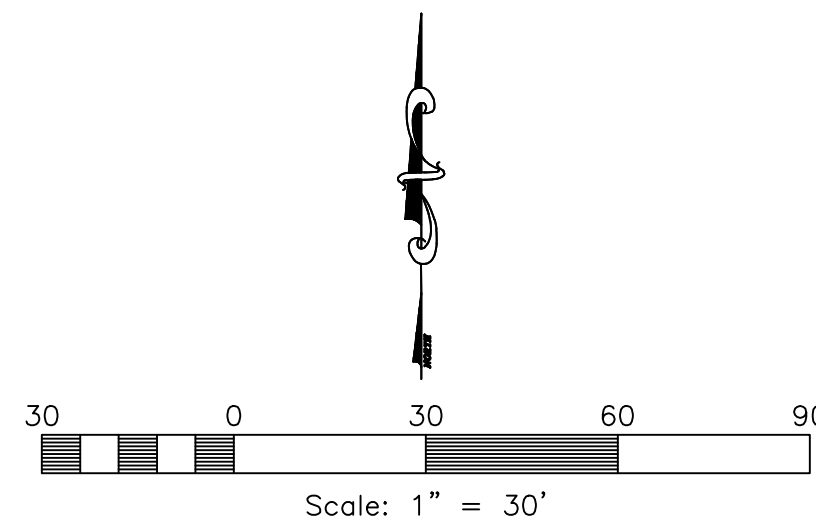
## Grading & Drainage Plan



Engineer: J. NATE REEVE, P.E.  
 Drafter: C. KINGSLEY  
 Begin Date: AUGUST 2017  
 Name: RIVERSIDE PLACE  
 SUBDIVISION  
 PHASE 4  
 Number: 6626-01

Sheet	<b>8</b>
<b>5</b>	Sheets

REVISIONS	
DATE	DESCRIPTION
09-18-17	CK Phase Lines



Revised: 09-18-17

# Riverside Place Subdivision Phase 4

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

## Utility Plan



Engineer: J. NATE REEVE, P.E.  
 Drafter: C. KINGSLEY  
 Begin Date: AUGUST 2017  
 Name: RIVERSIDE PLACE  
 SUBDIVISION  
 PHASE 4  
 Number: 6626-01

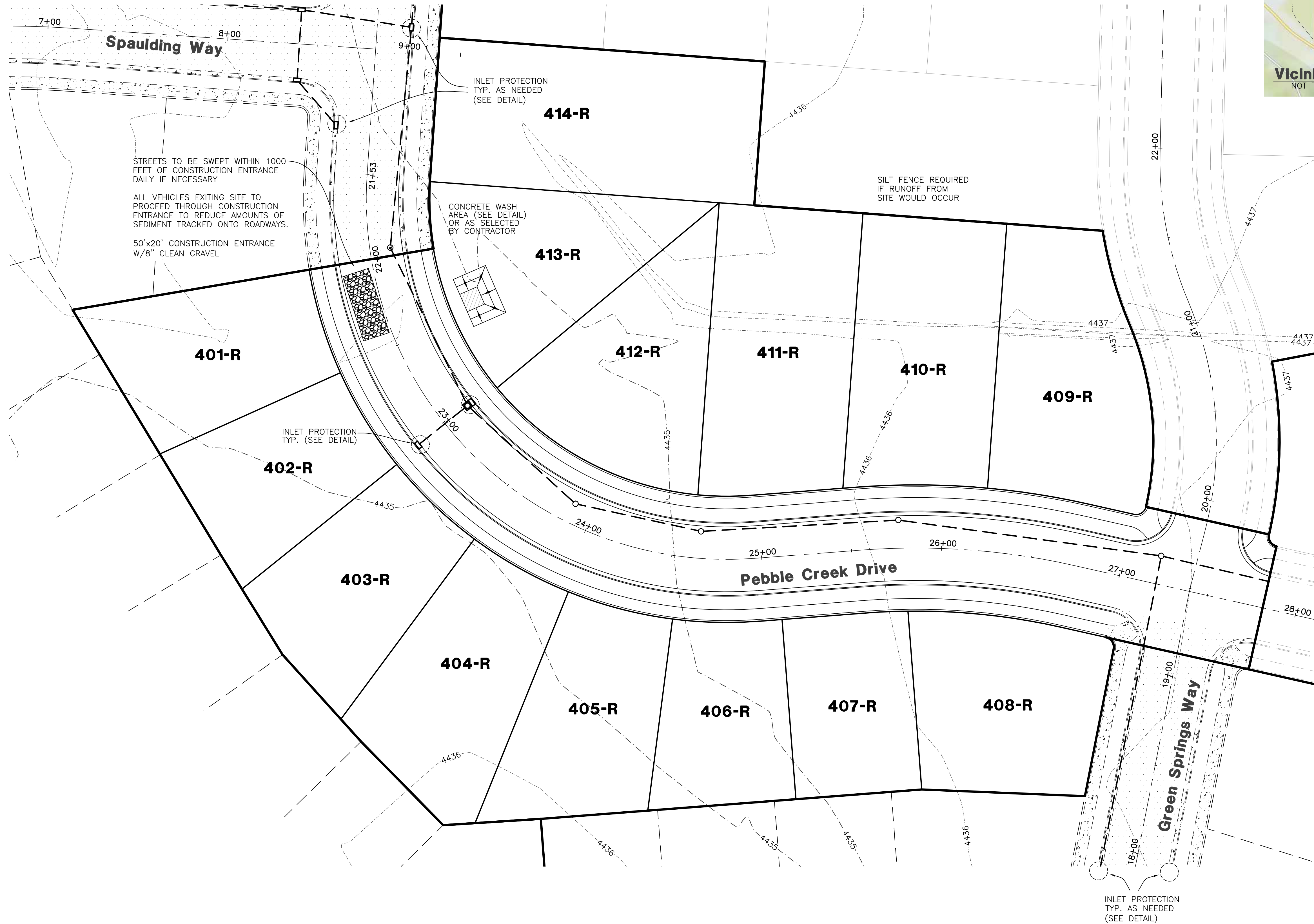
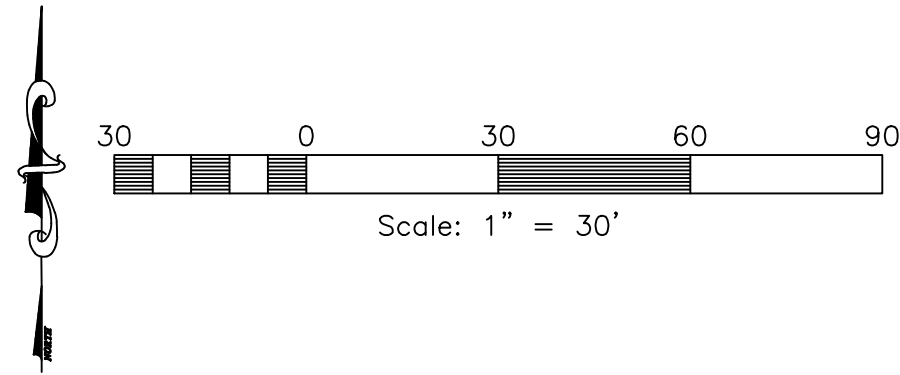
Sheet	8
6	Sheets

REVISIONS	
DATE	DESCRIPTION
09-18-17	CK Phase Lines

# Riverside Place Subdivision Phase 4

## Storm Water Pollution Prevention Plan Exhibit

SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
AUGUST 2017

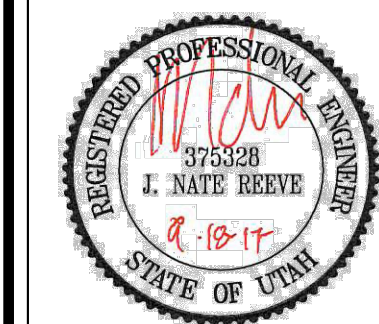


Revised: 09-18-17

Riverside Place Subdivision  
Phase 4

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Storm Water Pollution  
Prevention Plan Exhibit



### Project Info.

Engineer: J. NATE REEVE, P.E.  
Drafter: C. KINGSLEY  
Begin Date: AUGUST 2017  
Name: RIVERSIDE PLACE  
SUBDIVISION  
PHASE 4  
Number: 6626-01

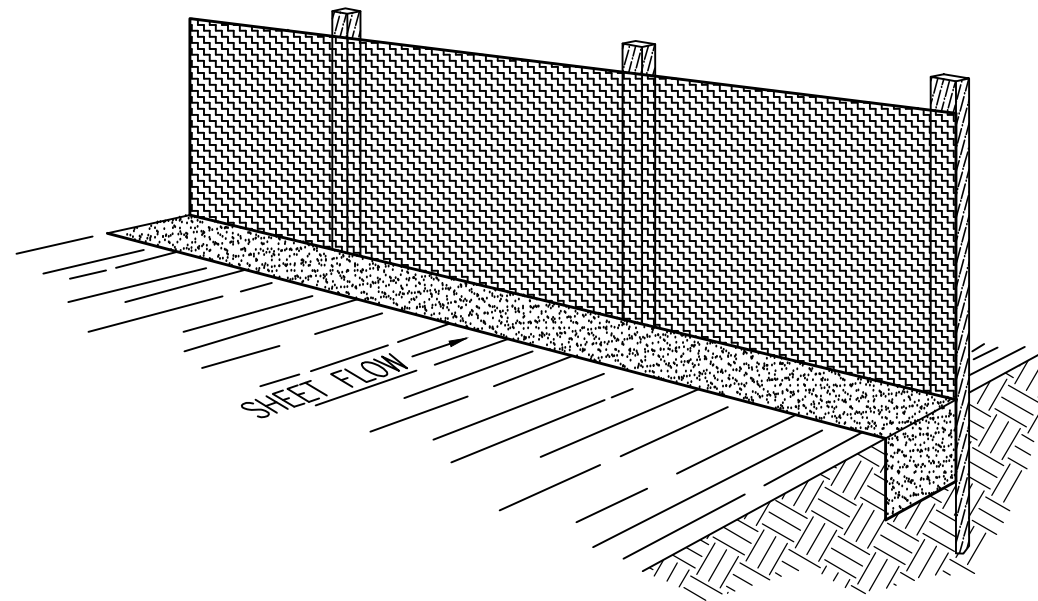
Sheet 7 of 8  
8  
Sheets

### Construction Activity Schedule

- PROJECT LOCATION.....SOUTH WEBER CITY, WEBER COUNTY, UTAH
- PROJECT BEGINNING DATE.....SEPTEMBER 2017
- BMP'S DEPLOYMENT DATE.....SEPTEMBER 2017
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....DOUG BRADY (801) 792-5123
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER

Notes:

- Describe all BMP's to protect storm water inlets:  
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
  - Equipment / building / concrete wash areas:  
To be performed in designated areas only and surrounded with silt fence barriers.
  - Soil contaminated by soil amendments:  
If any contaminants are found or generated, contact environmental engineer and contacts listed.
  - Areas of contaminated soil:  
If any contaminants are found or generated, contact environmental engineer and contacts listed.
  - Fueling area:  
To be performed in designated areas only and surrounded with silt fence.
  - Vehicle maintenance areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Vehicle parking areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Equipment storage areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Materials storage areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Waste containment areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Service areas:  
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:  
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
  - Maintenance
    - Maintain all construction equipment to prevent oil or other fluid leaks.
    - Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
    - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
    - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
    - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
  - Fueling
    - If fueling must occur on-site, use designated areas away from drainage.
    - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
    - Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
    - Use drip pans for any oil or fluid changes.
  - Washing
    - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
    - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
    - Use phosphate-free, biodegradable soaps.
    - Do not permit steam cleaning on-site.
- Spill Prevention and Control
  - Minor Spills:  
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
    - Contain the spread of the spill.
    - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
    - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up and properly dispose of contaminated soil.
    - If the spill occurs during rain, cover the impacted area to avoid runoff.
    - Record all steps taken to report and contain spill.
  - Major Spills:  
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
  - Maintain good housekeeping practices.
  - Enclose or cover building material storage areas.
  - Properly store materials such as paints and solvents.
  - Store dry and wet materials under cover, away from drainage areas.
  - Avoid mixing excess amounts of fresh concrete or cement on-site.
  - Perform washout of concrete trucks offsite or in designated areas only.
  - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
  - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
  - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
  - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
  - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
  - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
  - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
  - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. this should be confirmed by survey or other means acceptable to the engineer of record.
  - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
  - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
  - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the engineer of record of the governing agency.
  - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the engineer of record.
  - Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
  - Erosion control devices will be modified as need as the project progresses and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
  - Part III.D.4 of general permit UTR300000 identifies the minimum inspection requirements.
  - Part II.D.4.C identifies the minimum inspection report requirements.
  - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.



Perspective View

Figure 2

INSTALLATION

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

TABLE 1: Recommended Maximum Slope Lengths for Silt Fence (Richardson & Middlebrooks, 1991)		
Slope Steepness (%)	Max. Slope Length m (ft)	
<2%	30.5m (100ft)	
2-5%	22.9m (75ft)	
5-10%	15.2m (50ft)	
10-20%	7.6m (25ft)	
>20%	4.5m (15ft)	

PREFABRICATED SILT FENCE ROLLS

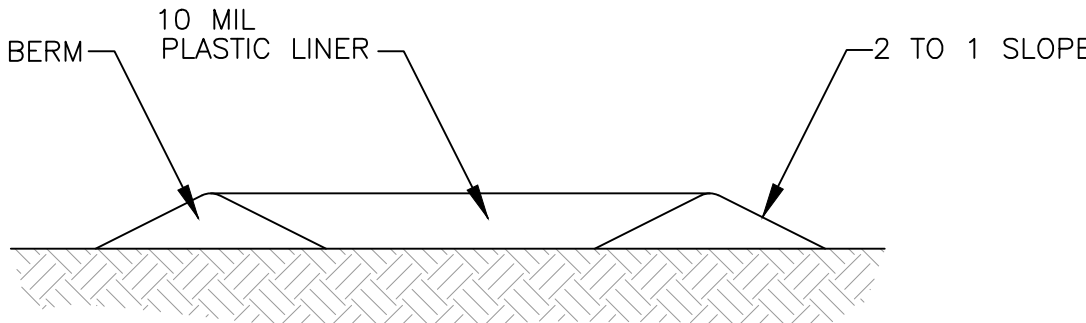
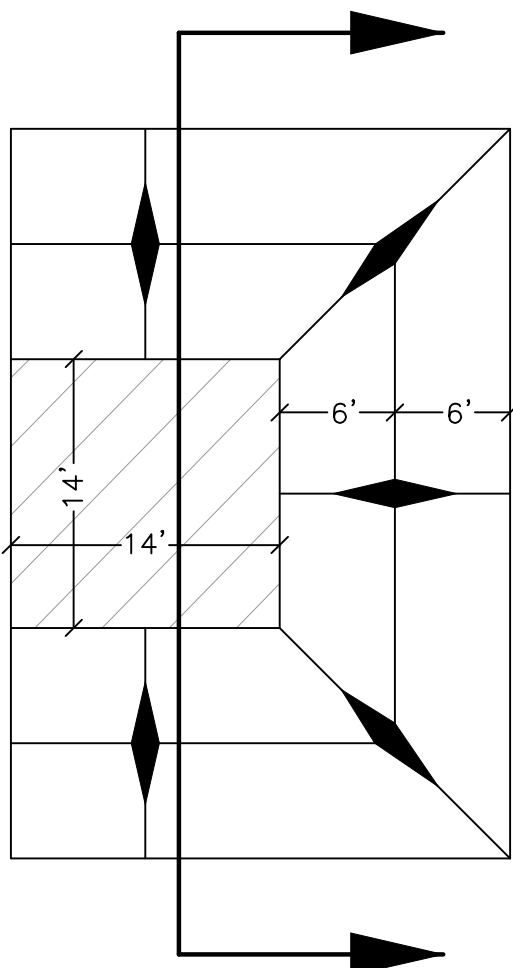
- \*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- \*Unroll the silt fence, positioning the post against the downstream wall of the trench.
- \*Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
- \*Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
- \*Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

FIELD ASSEMBLY:

- \*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- \*Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing

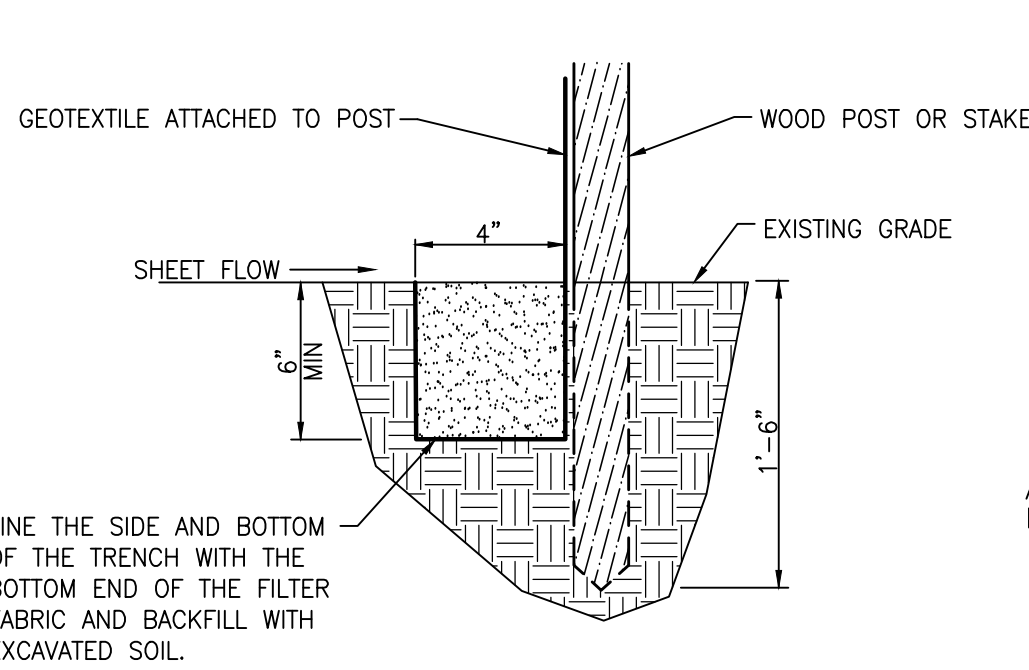
Silt Fence Detail

SCALE: NONE

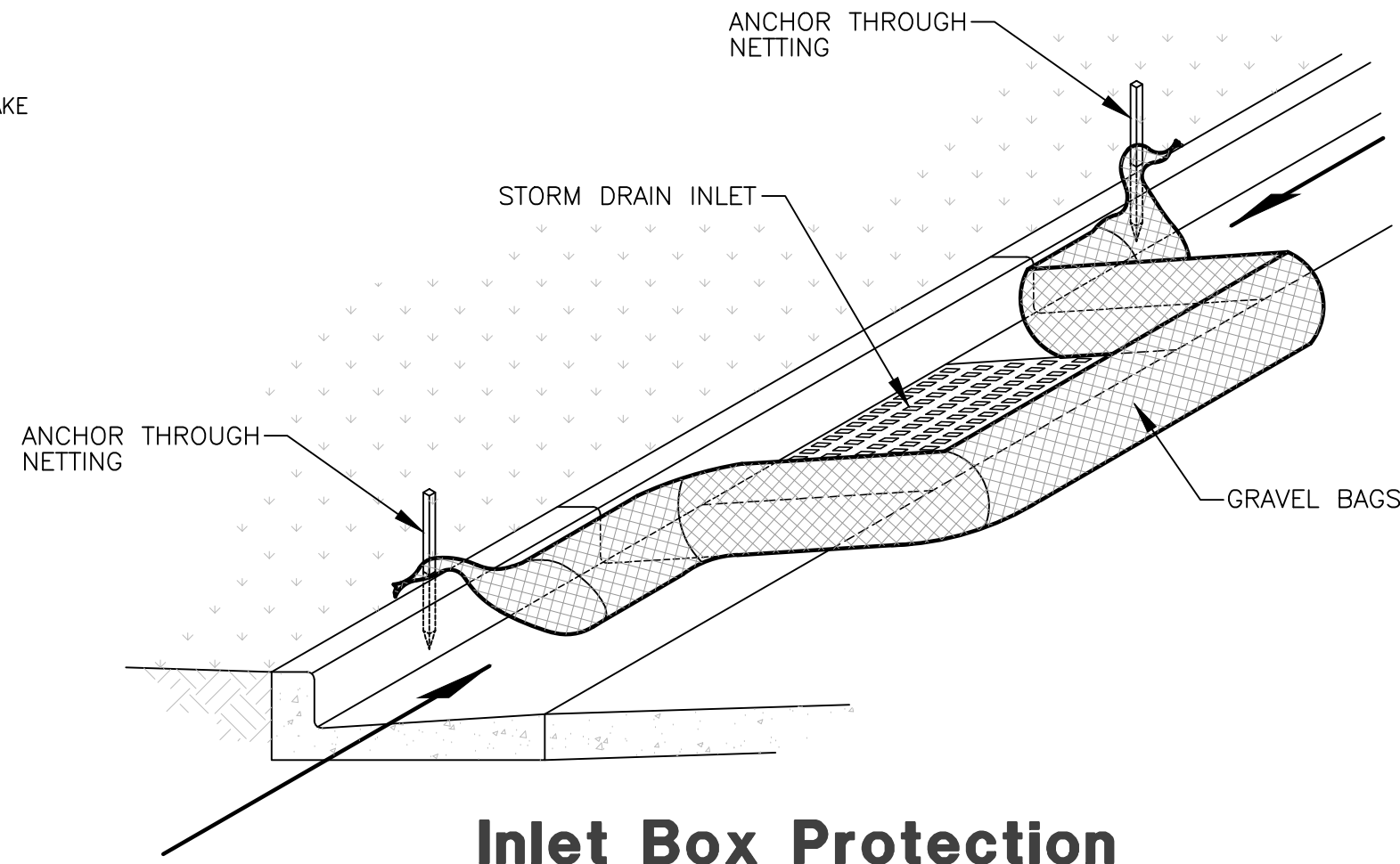


Concrete Washout Area  
w/ 10 mil Plastic Liner

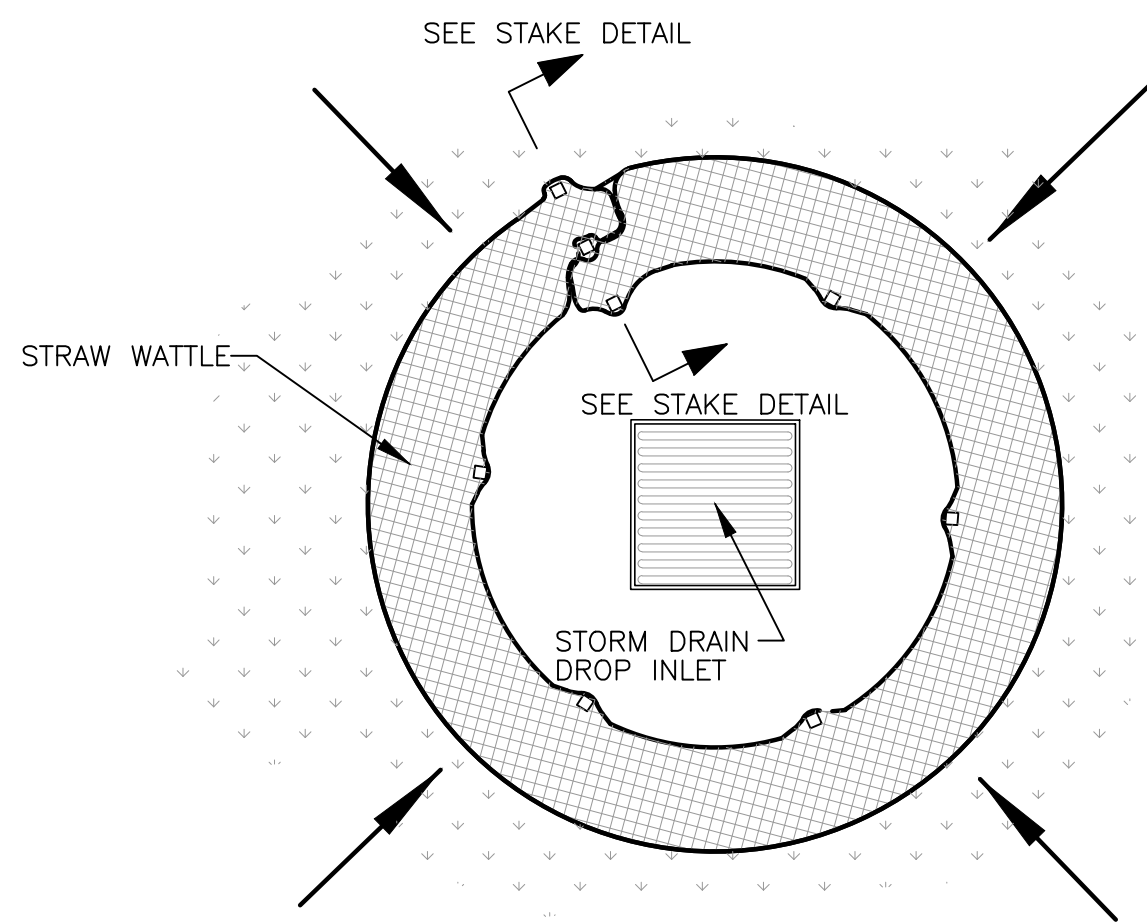
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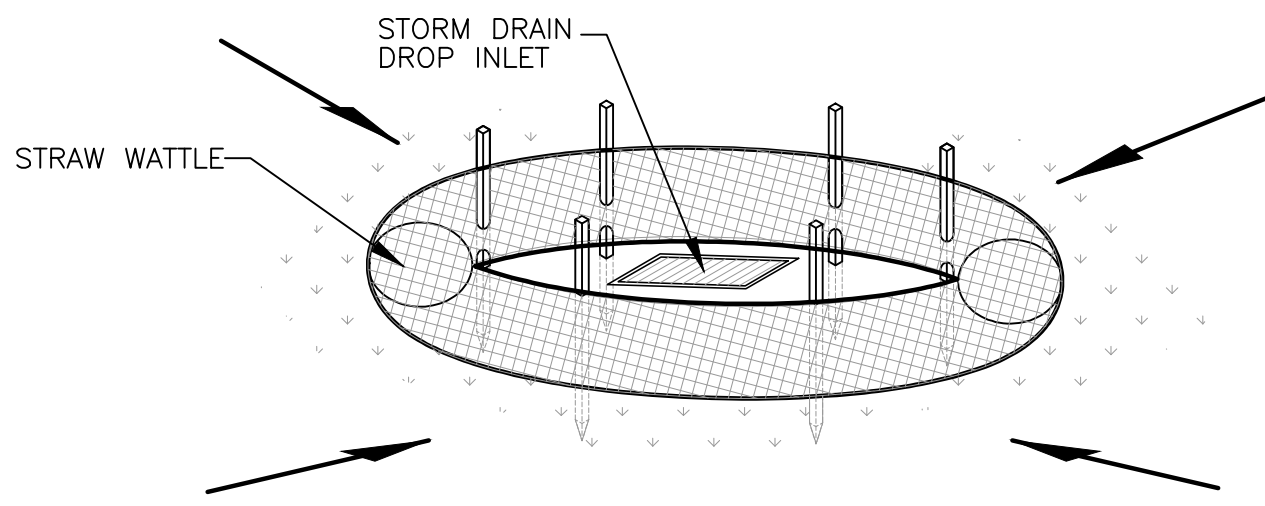
Section



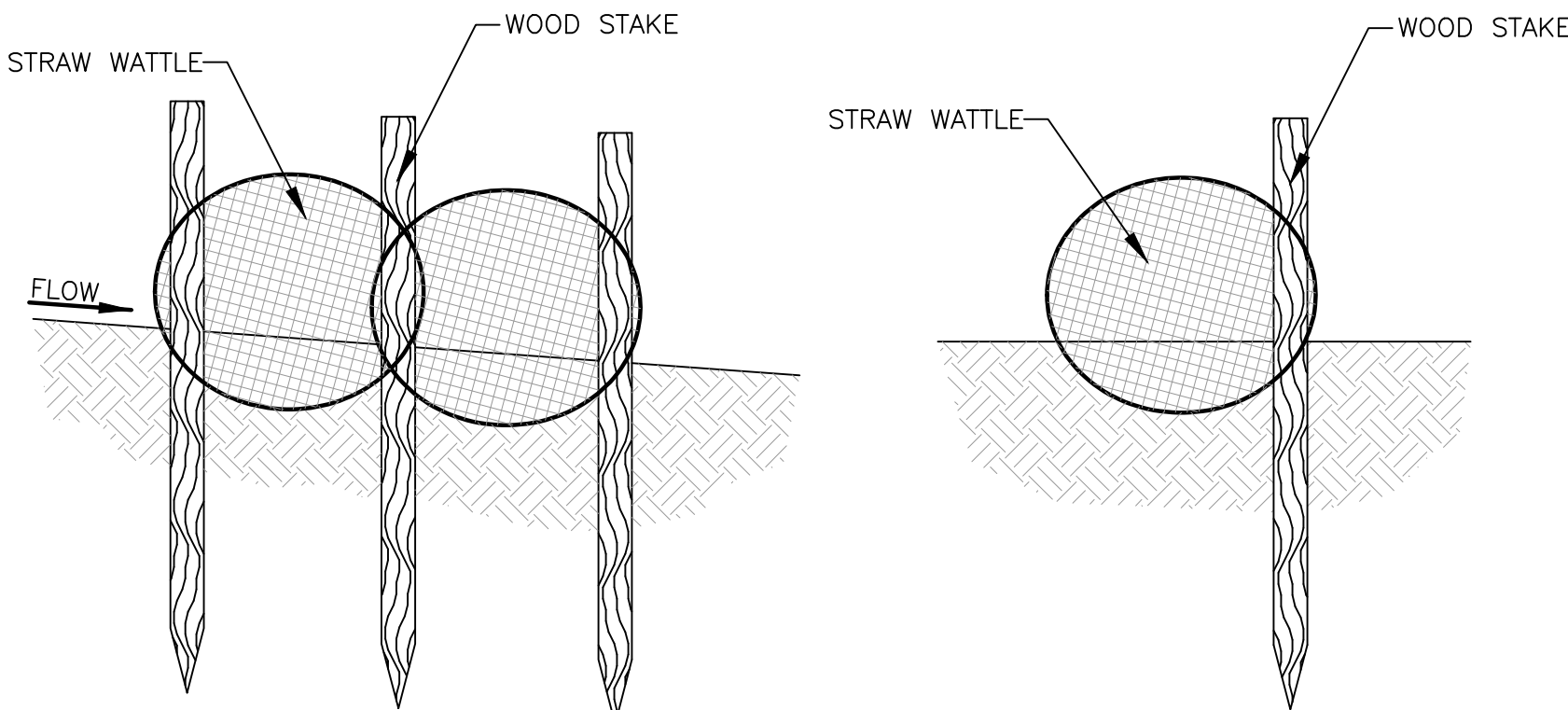
Inlet Box Protection



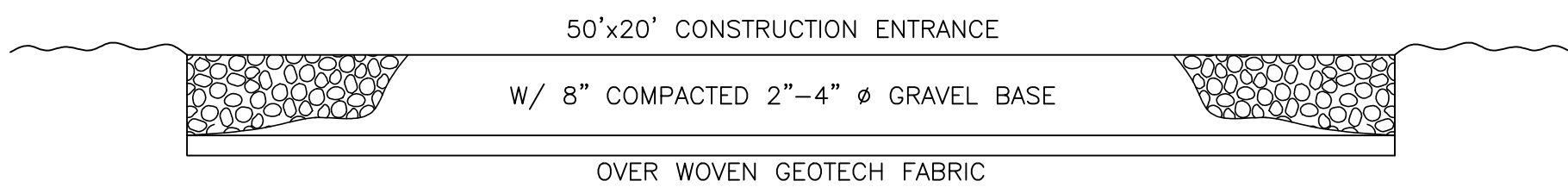
Plan View



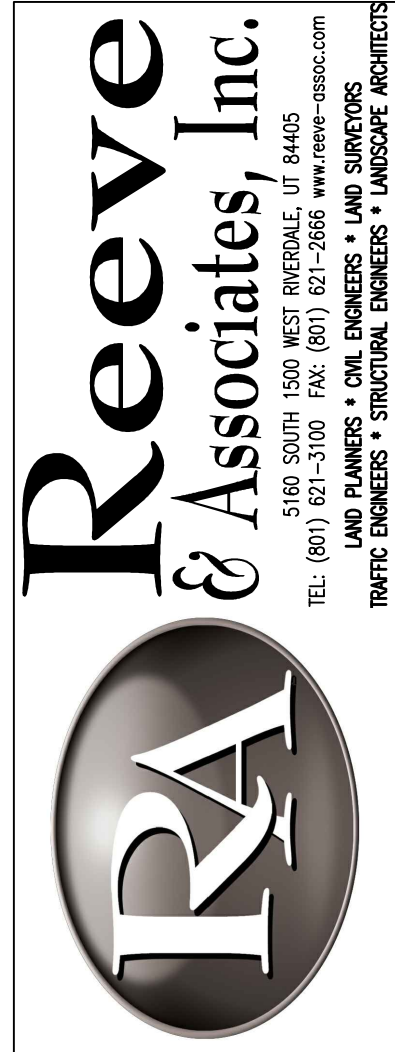
Drop Inlet Protection



Stake Detail



Cross Section 50' x 20' Construction Entrance

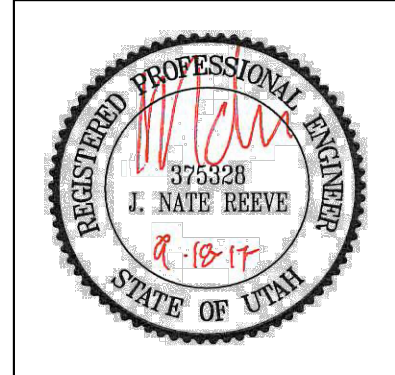


REVISIONS	DATE	DESCRIPTION
09-18-17	CK	Phase Lines

Riverside Place Subdivision  
Phase 4

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Storm Water Pollution  
Prevention Plan Details



Project Info.

Engineer:  
J. NATE REEVE, P.E.  
Drafter:  
C. KINGSLEY  
Begin Date:  
AUGUST 2017  
Name:  
RIVERSIDE PLACE  
SUBDIVISION  
PHASE 4  
Number: 6626-01

Sheet	8
8	Sheets

SHEET

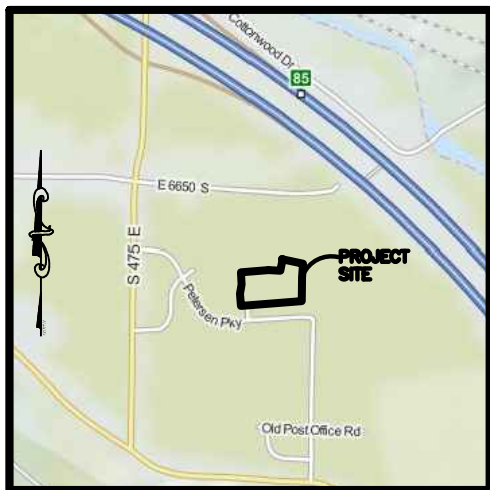
1 of 1

# Riverside Place Subdivision Phase 3

PART OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN, U.S. SURVEY  
CITY OF SOUTH WEBER, DAVIS COUNTY, UTAH  
SEPTEMBER, 2017

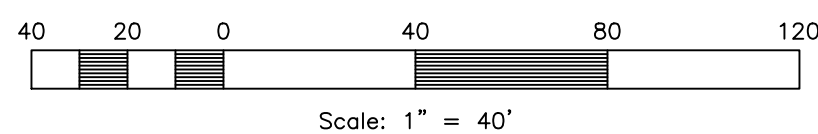
## Legend

- = FOUND MONUMENT
- = SET STREET MONUMENT
- = SET 5/8" REBAR AND PLASTIC CAP  
STAMPED "REEVE & ASSOCIATES"
- = BOUNDARY LINE
- = LOT LINE
- = ADJOINING PROPERTY
- = EASEMENTS
- = MONUMENT TIE LINE
- = 50' POWERLINE EASEMENT



**Vicinity Map**

(NOT TO SCALE)



## Boundary Description

PART OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF RIVERSIDE PLACE SUBDIVISION PHASE 2, SAID POINT BEING N00°36'59"E ALONG THE LINE BETWEEN THE WEST QUARTER CORNER AND THE NORTHWEST QUARTER CORNER OF SAID SECTION 28, 1268.99 FEET AND S89°23'21"E 756.10 FEET FROM THE WEST QUARTER CORNER OF SAID SECTION 28; AND RUNNING THENCE ALONG THE EASTERLY LINES OF RIVERSIDE PLACE SUBDIVISION PHASE 2, THE FOLLOWING THREE (3) N04°25'00"W 92.31 FEET; (2) N10°34'05"E 72.46 FEET; (3) N04°25'08"W 92.31 FEET; THENCE N85°34'51"E 211.98 FEET; THENCE S87°38'59"E 90.62 FEET; THENCE N11°04'18"E 83.23 FEET; THENCE ALONG A TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 5.50 FEET, AN ARC LENGTH OF 8.49 FEET, A DELTA ANGLE OF 88°24'38", A CHORD BEARING OF N33°08'01"W, AND A CHORD LENGTH OF 7.67 FEET; THENCE S77°20'20"E 165.49 FEET; THENCE S04°07'05"W 100.74 FEET; THENCE S01°16'53"W 183.55 FEET TO THE NORTH LINE OF PETERSEN PARKWAY SUBDIVISION; THENCE S85°34'52"W ALONG SAID NORTH LINE, 464.26 FEET TO THE SOUTHEAST CORNER OF RIVERSIDE PLACE PHASE 2, SAID POINT ALSO BEING THE POINT OF BEGINNING.

CONTAINING 127,245 SQUARE FEET OR 2.921 ACRES MORE OR LESS

## Narrative

THE PURPOSE OF THIS PLAT IS TO DIVIDE THIS PROPERTY INTO LOTS AND STREETS. THE BOUNDARY WAS DETERMINED BY PHASE LINES AND THE SURROUNDING SUBDIVISIONS. THE SOUTH BOUNDARY LINE WAS DETERMINED BY RETRACING AND MATCHING CANYON MEADOWS PUD. THE WEST BOUNDARY LINE WAS DETERMINED BY RETRACING AND MATCHING RIVERSIDE PLACE SUBDIVISION PHASE 2. THE NORTH AND EAST BOUNDARY LINES WERE ESTABLISHED BY THE PHASE LINES FOR THE OVERALL LAYOUT OF RIVERSIDE PLACE SUBDIVISION. ALL BOUNDARY CORNERS AND REAR LOT CORNERS WERE SET WITH A 5/8" REBAR AND PLASTIC CAP STAMPED "REEVE & ASSOCIATES". ALL FRONT LOT CORNERS WERE SET WITH A LEAD PLUG IN THE TOP BACK OF CURB AT THE EXTENSION OF THE SIDE LOT LINES.

## Basis of Bearings

THE BASIS OF BEARINGS FOR THIS PLAT IS THE SECTION LINE BETWEEN THE WEST QUARTER CORNER AND THE NORTHWEST CORNER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, SHOWN HEREON AS "N00°36'39"E".

## Notes

1. ALL PUBLIC UTILITY EASEMENTS ARE 10 FEET IN WIDTH UNLESS OTHERWISE SPECIFIED.
2. ALL LOTS ARE SUBJECT TO THE REQUIREMENTS OF THE GEOTECHNICAL REPORT PREPARED BY GSH, DATED DECEMBER 3, 2015.
3. R = BASEMENTS ARE NOT ALLOWED DUE TO THE PRESENCE OF HIGH GROUNDWATER AND NO LAND DRAIN SYSTEM AVAILABLE.
4. ALL STREETS ARE PUBLIC RIGHT-OF-WAYS

## Curve Table

#	RADIUS	ARC LENGTH	CHD. LENGTH	TANGENT	CHD. BEARING	DELTA
C1	60.00'	16.07'	16.03'	8.09'	N77°54'23"E	15°21'00"
C2	60.00'	59.61'	57.19'	32.53'	N41°46'03"E	56°55'40"
C3	60.00'	14.61'	14.57'	7.34'	N06°19'48"E	13°56'51"
C4	100.00'	20.44'	20.40'	10.26'	N05°12'59"E	11°42'38"
C5	63.00'	81.93'	76.28'	47.91'	N48°19'35"E	74°30'34"
C6	28.00'	36.41'	33.90'	21.30'	N48°19'35"E	74°30'34"
C7	5.50'	8.49'	7.67'	5.35'	N33°08'01"W	88°24'38"
C8	5.50'	8.79'	7.89'	5.65'	N56°51'59"E	91°35'22"

### SOUTH WEBER CITY PLANNING COMMISSION

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_  
BY THE SOUTH WEBER CITY PLANNING COMMISSION.

CHAIRMAN, SOUTH WEBER CITY PLANNING COMMISSION

### SOUTH WEBER CITY ENGINEER

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

SOUTH WEBER CITY ENGINEER DATE

### SOUTH WEBER CITY COUNCIL

PRESENTED TO THE SOUTH WEBER CITY COUNCIL THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_  
AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

SOUTH WEBER CITY MAYOR ATTEST: CITY RECORDER

### SOUTH WEBER CITY ATTORNEY

APPROVED BY THE SOUTH WEBER CITY ATTORNEY THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_

SOUTH WEBER CITY ATTORNEY

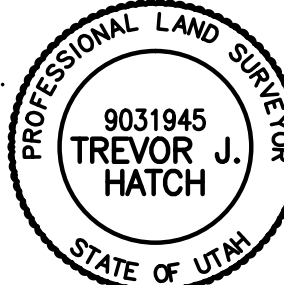
### SURVEYOR'S CERTIFICATE

I, **TREVOR J. HATCH**, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-25-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF **RIVERSIDE PLACE SUBDIVISION PHASE 3** IN **SOUTH WEBER CITY, DAVIS COUNTY, UTAH**, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE **DAVIS COUNTY** RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND; I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **SOUTH WEBER CITY, DAVIS COUNTY** CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

9031945

UTAH LICENSE NUMBER



### OWNERS DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THE PLAT AND NAME SAID TRACT **RIVERSIDE PLACE SUBDIVISION PHASE 3**, AND DO HEREBY DEDICATE TO PUBLIC USE ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES ALSO TO GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREON AS PUBLIC UTILITY EASEMENT, THE SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE AND MAY BE AUTHORIZED BY THE GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN SUCH EASEMENTS; AND HEREBY GRANT A TEMPORARY TURN AROUND EASEMENT AS SHOWN HEREON TO BE USED BY THE PUBLIC UNTIL SUCH TIME THAT THE ROAD IS EXTENDED. THE TEMPORARY TURN AROUND EASEMENT SHALL BE REVOKED AND NULLIFIED AT THE EVENT OF THE EXTENSION OF THE ROAD WITHOUT FURTHER WRITTEN DOCUMENT AND THE ENCUMBERED LAND WITHIN THE AFFECTED LOTS SHALL BE RELEASED FOR THE FULL AND EXCLUSIVE USE AND BENEFIT OF THE LOT OWNERS.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

### ACKNOWLEDGMENT

STATE OF UTAH )ss.  
COUNTY OF \_\_\_\_\_ )

ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, \_\_\_\_\_ (AND) \_\_\_\_\_ SIGNER(S) OF THE ABOVE OWNER'S DEDICATION AND CERTIFICATION, WHO BEING BY ME DULY SWORN, DID ACKNOWLEDGE TO ME \_\_\_\_\_ SIGNED IT FREELY, VOLUNTARILY, AND FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC

### ACKNOWLEDGMENT

STATE OF UTAH )ss.  
COUNTY OF \_\_\_\_\_ )

ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, \_\_\_\_\_ (AND) \_\_\_\_\_ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE \_\_\_\_\_ AND \_\_\_\_\_ OF SAID CORPORATION AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC

### PROJECT INFORMATION

Surveyor: **T. HATCH** Project Name: **RIVERSIDE PLACE PHASE 3**  
Designer: **D. CAVE** Number: **6626-01**  
Begin Date: **9-21-2017** Scale: **1"=40'**  
Revision: \_\_\_\_\_  
Checked: \_\_\_\_\_

### DAVIS COUNTY RECORDER

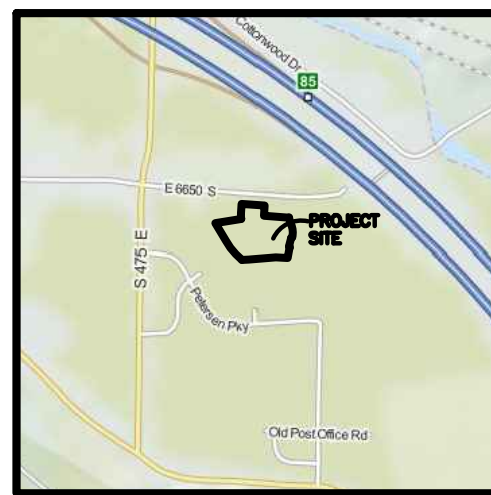
ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_  
FILED FOR RECORD  
AND RECORDED, \_\_\_\_\_ AT  
\_\_\_\_\_ IN BOOK \_\_\_\_\_ OF  
THE OFFICIAL RECORDS, PAGE \_\_\_\_\_

RECORDED FOR:

DAVIS COUNTY RECORDER

DEPUTY,





**Vicinity Map**  
(NOT TO SCALE)

### Boundary Description

PART OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 211-R, RIVERSIDE PLACE SUBDIVISION PHASE 2, SAID POINT BEING N00°36'39"E ALONG THE LINE BETWEEN THE WEST QUARTER CORNER AND THE NORTHWEST QUARTER CORNER OF SAID SECTION 28, 1803.94 FEET AND S89°23'21"E 489.65 FEET FROM THE WEST QUARTER CORNER OF SAID SECTION 28; THENCE ALONG THE EAST BOUNDARY LINES OF RIVERSIDE PLACE SUBDIVISION PHASE 2, THE FOLLOWING THREE (3) COURSES: (1) N80°22'55"E 203.16 FEET; (2) ALONG A NON-TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 164.86 FEET, AN ARC LENGTH OF 38.98 FEET, A DELTA ANGLE OF 1°32'51", A CHORD BEARING OF N02°50'57"W, AND A CHORD LENGTH OF 38.89 FEET; (3) N03°55'30"E 78.30 FEET; THENCE S85°49'29"E 180.83 FEET; THENCE S04°10'30"W 80.00 FEET; THENCE S85°49'29"E 193.76 FEET; THENCE ALONG A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 235.00 FEET, AN ARC LENGTH OF 54.98 FEET, A DELTA ANGLE OF 1°32'41", A CHORD BEARING OF S16°06'57"E, AND A CHORD LENGTH OF 54.85 FEET; THENCE ALONG A REVERSE CURVE TURNING TO THE RIGHT WITH A RADIUS OF 165.00 FEET, AN ARC LENGTH OF 102.51 FEET, A DELTA ANGLE OF 35°35'50", A CHORD BEARING OF S05°01'09"E, AND A CHORD LENGTH OF 100.87 FEET; THENCE S77°21'16"E 70.00 FEET; THENCE ALONG A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 5.50 FEET, AN ARC LENGTH OF 8.49 FEET, A DELTA ANGLE OF 90°04'43", A CHORD BEARING OF S32°17'59"E, AND A CHORD LENGTH OF 7.78 FEET; THENCE S12°46'40"W 70.00 FEET TO A POINT ON THE NORTH LINE OF LOT 305-R, RIVERSIDE PLACE SUBDIVISION PHASE 3; THENCE ALONG THE NORTH BOUNDARY LINES OF RIVERSIDE PLACE SUBDIVISION PHASE 3, THE FOLLOWING FIVE (5) COURSES: (1) N77°20'20"W 81.03 FEET; (2) ALONG A NON-TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 5.50 FEET, AN ARC LENGTH OF 8.49 FEET, A DELTA ANGLE OF 88°24'38", A CHORD BEARING OF S33°08'01"E, AND A CHORD LENGTH OF 7.67 FEET; (3) S11°04'18"W 83.23 FEET; (4) N87°38'59"W 90.62 FEET; (5) S85°34'51"W 211.98 FEET TO THE NORTHEAST CORNER OF LOT 219-R, RIVERSIDE PLACE SUBDIVISION PHASE 2; THENCE ALONG THE EASTERLY BOUNDARY LINES OF RIVERSIDE PLACE SUBDIVISION PHASE 2, THE FOLLOWING FIVE (5) COURSES: (1) S85°34'51"W 54.26 FEET; (2) N44°30'55"W 65.00 FEET; (3) N42°05'36"W 65.00 FEET; (4) N31°14'02"W 65.00 FEET; (5) N31°10'21"W 159.01 FEET TO THE SOUTHWEST CORNER OF LOT 211-R, RIVERSIDE PLACE SUBDIVISION PHASE 2, SAID POINT ALSO BEING THE POINT OF BEGINNING.

CONTAINING 181,614 SQUARE FEET OR 4.169 ACRES MORE OR LESS

### Narrative

THE PURPOSE OF THIS PLAT IS TO DIVIDE THIS PROPERTY INTO LOTS AND STREETS. THE BOUNDARY WAS DETERMINED BY PHASE LINES AND THE SURROUNDING SUBDIVISIONS. THE SOUTH BOUNDARY LINE WAS DETERMINED BY RETRACING AND MATCHING RIVERSIDE PLACE SUBDIVISION PHASES 2 AND 3. THE WEST BOUNDARY LINE WAS DETERMINED BY RETRACING AND RIVERSIDE PLACE SUBDIVISION PHASE 2. THE NORTH AND EAST BOUNDARY LINES WERE ESTABLISHED BY THE PHASE LINES FOR THE OVERALL LAYOUT OF RIVERSIDE PLACE SUBDIVISION. ALL BOUNDARY CORNERS AND REAR LOT CORNERS WERE SET WITH A 3/8" REBAR AND PLASTIC CAP STAMPED "REEVE & ASSOCIATES". ALL FRONT LOT CORNERS WERE SET WITH A LEAD PLUG IN THE TOP BACK OF CURB AT THE EXTENSION OF THE SIDE LOT LINES.

### Basis of Bearings

THE BASIS OF BEARINGS FOR THIS PLAT IS THE SECTION LINE BETWEEN THE WEST QUARTER CORNER AND THE NORTHWEST CORNER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, SHOWN HEREON AS "N00°36'39"E".

### Notes

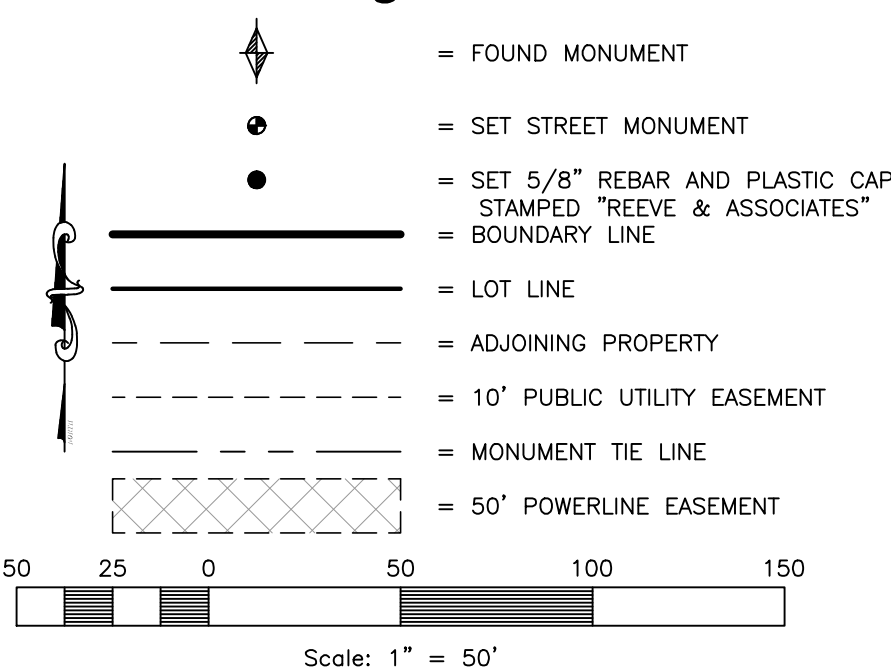
1. ALL PUBLIC UTILITY EASEMENTS ARE 10 FEET IN WIDTH UNLESS OTHERWISE SPECIFIED.
2. ALL LOTS ARE SUBJECT TO THE REQUIREMENTS OF THE GEOTECHNICAL REPORT PREPARED BY GSH, DATED DECEMBER 3, 2015.
3. R = BASEMENTS ARE NOT ALLOWED, DUE TO THE PRESENCE OF HIGH GROUNDWATER AND NO LAND DRAIN SYSTEM AVAILABLE.
4. EASEMENT OVER LAP ON THE EAST LINE OF SUBJECT PROPERTY, OVERLAP DIMENSIONED IN DETAIL A, SHOWN HEREON
5. ALL STREETS ARE PUBLIC RIGHT-OF-WAYS

WEST QUARTER CORNER OF SECTION 25, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. (FOUND BCM DATED 1941)

### Curve Table

#	RADIUS	ARC LENGTH	CHD LENGTH	TANGENT	CHD BEARING	DELTA
C1	164.86	38.98	38.89	19.58	N02°50'57"W	1°32'51"
C2	235.00	54.98	54.85	27.61	S16°06'57"E	1°32'41"
C3	165.00	102.51	100.87	52.97	S05°01'09"E	35°35'50"
C4	5.50	8.65	7.78	5.51	S32°17'59"E	90°04'43"
C5	5.50	8.49	7.67	5.35	S33°08'01"E	88°24'38"
C6	199.66	286.07	269.73	182.75	S52°01'20"E	84°52'41"
C7	400.00	125.80	125.29	63.43	S86°19'27"E	18°01'12"
C8	164.86	85.90	84.94	43.95	S24°30'13"E	29°51'00"
C9	164.86	129.54	126.23	68.32	S61°56'30"E	45°01'14"
C10	164.86	28.80	28.76	14.44	S89°27'24"E	10°00'33"
C11	435.00	80.33	80.22	40.28	N89°57'23"E	10°34'51"
C12	435.00	56.48	56.44	28.28	S81°02'01"E	7°26'21"
C13	5.50	8.63	7.77	5.49	N57°43'13"E	89°52'53"
C14	234.86	59.90	59.74	30.11	S16°53'40"E	14°36'44"
C15	234.86	59.91	59.75	30.12	S31°30'30"E	14°36'56"
C16	234.86	59.91	59.75	30.12	S46°07'27"E	14°36'58"
C17	234.86	59.91	59.75	30.12	S60°44'26"E	14°36'58"
C18	234.86	59.91	59.75	30.12	S75°21'23"E	14°36'58"
C19	234.86	48.36	48.27	24.26	S88°33'45"E	11°47'49"
C20	365.00	23.60	23.59	11.80	N87°25'59"E	3°42'15"
C21	365.00	85.21	85.02	42.80	S84°01'37"E	1°22'33"
C22	164.86	37.22	37.21	18.72	N03°08'37"W	12°57'31"
C23	164.86	1.69	1.69	0.85	N03°37'49"E	0°35'19"

### Legend



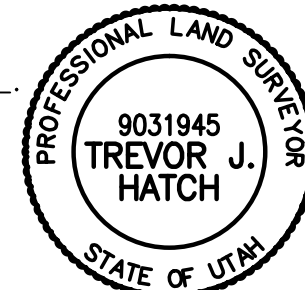
### SURVEYOR'S CERTIFICATE

I, **TREVOR J. HATCH**, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-25-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF **RIVERSIDE PLACE SUBDIVISION PHASE 4** IN **SOUTH WEBER CITY, DAVIS COUNTY, UTAH**, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE **DAVIS COUNTY** RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND; I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **SOUTH WEBER CITY, DAVIS COUNTY** CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

9031945

UTAH LICENSE NUMBER



### OWNERS DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THE PLAT AND NAME SAID TRACT **RIVERSIDE PLACE SUBDIVISION PHASE 4**, AND DO HEREBY DEDICATE TO PUBLIC USE ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES ALSO TO GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREON AS PUBLIC UTILITY. THE SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE AND MAY BE AUTHORIZED BY THE GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN SUCH EASEMENTS.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

### ACKNOWLEDGMENT

STATE OF UTAH )ss.  
COUNTY OF \_\_\_\_\_ )

ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, \_\_\_\_\_ (AND) \_\_\_\_\_ SIGNER(S) OF THE ABOVE OWNER'S DEDICATION AND CERTIFICATION, WHO BEING BY ME DULY SWORN, DID ACKNOWLEDGE TO ME \_\_\_\_\_ SIGNED IT FREELY, VOLUNTARILY, AND FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC

### ACKNOWLEDGMENT

STATE OF UTAH )ss.  
COUNTY OF \_\_\_\_\_ )

ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, \_\_\_\_\_ (AND) \_\_\_\_\_ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE \_\_\_\_\_ AND \_\_\_\_\_ OF SAID CORPORATION AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC

### PROJECT INFORMATION

Surveyor: **T. HATCH**  
Designer: **D. CAVE**  
Begin Date: **9-18-2017**  
Project Name: **RIVERSIDE PLACE PHASE 4**  
Number: **6626-01**  
Scale: **1"=50'**  
Revision: \_\_\_\_\_  
Checked: \_\_\_\_\_

### DAVIS COUNTY RECORDER

ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_  
FILED FOR RECORD  
AND RECORDED, \_\_\_\_\_ AT \_\_\_\_\_  
IN BOOK \_\_\_\_\_ OF \_\_\_\_\_  
THE OFFICIAL RECORDS, PAGE \_\_\_\_\_

RECORDED FOR:

DAVIS COUNTY RECORDER

DEPUTY,

### SOUTH WEBER CITY PLANNING COMMISSION

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
BY THE SOUTH WEBER CITY PLANNING COMMISSION.

CHAIRMAN, SOUTH WEBER CITY PLANNING COMMISSION

### SOUTH WEBER CITY ENGINEER

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

SOUTH WEBER CITY ENGINEER

DATE

### SOUTH WEBER CITY COUNCIL

PRESENTED TO THE SOUTH WEBER CITY COUNCIL THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

SOUTH WEBER CITY MAYOR

ATTEST:

CITY RECORDER

### SOUTH WEBER CITY ATTORNEY

APPROVED BY THE SOUTH WEBER CITY ATTORNEY THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

SOUTH WEBER CITY ATTORNEY





# *Community and Economic Development*

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Davis County Administration Building - 61 S. Main Street - Farmington Utah 84025  
Telephone: (801) 451-3279- Fax: (801) 451-3281  
Barry Burton/Director

## **PHASES 3 & 4 FINAL PLAT REVIEW RIVERSIDE PLACE SUBDIVISION By Barry Burton**

November 2, 2017

### **General Information:**

Neither Phase 3 nor Phase 4 as proposed are the same as the phasing approved as part of Preliminary Plat. That in itself is not a problem, but the way these phases are being proposed does create some issues. Both phases stay within the allowed 30 lots with one access and the lot arrangement is according to the approved preliminary plat. All lots meet requirements for area and lot width. However, in both phases, there is a corner lot where the proposal does NOT include both streets on which the lots front. This does not meet the requirements of our ordinance. Each of these phases will have to be expanded to include the entire street frontage for those two corner lots; and if they do that, it would make sense to add the lots on the other side of those street additions to one of the phases.

### **Geotechnical:**

The geotechnical report indicates the entire subdivision site has high ground water and there is no land/footing drain available. The plats both have all of the lots labeled with an "R" indicating they are restricted and there will be no basements allowed.

### **Recommendation:**

Due to the fact that both of these plats need to be revised, I recommend tabling these proposals to allow developers to make the necessary alterations.

## Phases 3 and 4 Final Plat Riverside Place

Brandon Jones

I just spoke with Barry. If you read his review memo, he is recommending tabling this subdivision. They are proposing phasing it differently than was shown in the preliminary plans. Plus they two corner lots that only have street on one side of the lot. Therefore, they need to add additional street to their plans. The Planning Commission has made is very clear to me that they don't want to see anything that has a bunch of "subject to's". So, I agree with Barry's recommendation. Barry is going to call Scott Heagy (the guy that was going to come in Tim's place) and see if they still want to be on the agenda, knowing that it will likely get tabled. I can supply a memo as a formality, but it would basically say the same thing as Barry's memo and recommend tabling the item.